

Ridgway Town Council
Special Meeting Agenda
Wednesday, August 3, 2022

Pursuant to the Town's Electronic Participation Policy, the meeting will be conducted both in person and via a virtual meeting portal. Members of the public may attend in person at the Community Center, located at 201 N. Railroad Street, Ridgway, Colorado 81432, or virtually using the meeting information below.

Join Zoom Meeting

<https://us02web.zoom.us/j/84274364234?pwd=VXdWMjNrVEhJdGpvcHVQK1ZOeGRiQT09>

Meeting ID: 842 7436 4234

Passcode: 790492

Dial by your location

+1 346 248 7799 US

+1 253 215 8782 US

6:00 p.m.

ROLL CALL Councilors Polly Enochs, Kevin Grambley, Beth Lakin, Terry Schuyler, JT Thomas, Mayor Pro Tem Russ Meyer and Mayor John Clark

PUBLIC COMMENTS Established time for the public to address the Council regarding any item not otherwise listed on the agenda. Comments will be limited to 5 minutes per person.

PUBLIC HEARINGS Public comments will be limited to 5 minutes per person; discussion of each item may be limited to 20 minutes.

1. **Application:** Preliminary Plat for Subdivision and Planned Unit Development; **Location:** Town of Ridgway, Block 30, Lots 1-12; **Zone:** Historic Residential (HR); **Applicant:** David Bruce; **Owner:** Ridgway Homes, LLC

POLICY MATTERS Public comments will be limited to 5 minutes per person; overall discussion of each item may be limited to 20 minutes.

2. Review and action on Development Agreement between Ridgway Homes, LLC and the Town of Ridgway - Town Attorney.

ADJOURNMENT

AGENDA ITEM #1

To: Town of Ridgway Planning Commission
Cc: Preston Neill, Ridgway Town Manager
From: TJ Dlubac, CPS, Contracted Town Planner
Date: July 29, 2022
Subject: Yellow Brick Lane Sketch Plan and Preliminary Plat for Subdivision and PUD Staff Report for August 3rd Special Town Council Meeting

APPLICATION INFORMATION

Request: Request for a Sketch Plan and Preliminary Plat for Subdivision and Planned Unit Development (PUD)
Legal: Lots 1-12, Block 30
Address: N/A
General Location: North of and adjacent to Fredrick Street; east of and adjacent to N. Laura Street; and south of and adjacent to Otto Street
Parcel #: 430516200001
Zone District: HR Historic Residential District
Current Use: Vacant
Applicant: David Bruce, Ridgway Homes, LLC
Owner: Paul Major, Ridgway Homes, LLC

PROJECT REVIEW

BACKGROUND

The subject property is located east of and adjacent to Laura Street, south of Otto Street. The property is described as Lots 1-12, Block 30, Town of Ridgway. The lots are currently vacant with no existing structures or improvements on them. Further, no adjacent roadways, including the alley to the east, are improved. The property to the north, across Otto St., is zoned Light Industrial 1 LI-1 District and the remaining three sides of the property are zoned Historic Residential HR District. Adjacent land uses are single-family homes to the east, southeast, south, and southwest and storage facility in the industrial park to the northeast. The property across Laura St to the west is vacant. As it sits today, the Laura Street right-of-way is only a half-width. A map showing the location of this property can be seen in Figure 1.



Figure 1. Property location

The parcel was approved for 14 residential units through a Sketch Plan application on September 28, 2021. This original subdivision layout included three duplexes and two four-plexes, separated garages

off the alley, and common areas. Due to logistical issues of maintenance of the common areas and separated garages, the applicant decided to redesign the layout of the project which necessitated a revised Sketch Plan to be submitted and reviewed. While the changes made were determined to be significant requiring a new Sketch Plan to be submitted, since many of the large project elements such as utilities, infrastructure, and density were already discussed and understood through the previous Sketch Plan process, staff was supportive of a combined Sketch Plan and Preliminary Plat/PUD Plan submittal for this project.

The Ridgway Town Council has supported the pursuit of grant funding through HB 1271, administered through the Colorado Department of Local Affairs (DOLA) in the amount of \$750,000 to fund public infrastructure required for this project. Earlier this month, the Town was notified that the request was awarded.

REQUEST

The applicant is requesting to subdivide the 0.98 acre parcel into 14 residential lots and a 15th lot dedicated for storm water management. Furthermore, the applicant is requesting to rezone the property to Planned Unit Development (PUD) to allow a variety of housing types and costs to keep the units affordable for the local workforce. If approved, the density of the project would be 14.3 units per acre. The 14 residential units will be:

<i>Bed/Baths</i>	<i>Area Median Income (AMI)</i>	<i>No. of Units Provided</i>
2/2	60%	4
3/3	80%	4
3/3 + Garage	100%	4
3/3 + Garage	120%	2

CODE REQUIREMENTS

The purpose of a sketch plan is to understand how a proposed development may impact the community in areas such as utilities, streets, traffic, land use, master plan conformity, zoning regulation conformity, etc. The following are various town documents, plans, studies, standards, and/or regulations which have been reviewed while evaluating the requested Sketch Plan:

- 2019 Town of Ridgway Master Plan
- §7-4-5-(A) Informal Review and Sketch Plan
- §7-3-5 "R" Low Density Residential District
- §7-3-8 "FD" Future Development District
- §7-3-15(A) Dimensional Requirements
- §6-6 Residential Design Standards
- §7-4-6 Required Improvements
- §7-4-7 Design Standards
- Ch. 9 Water and Sewer

RMC §7-3-16(B) CRITERIA FOR A PUD

A Planned Unit Development must meet the following conditions for approval:

- (1) It shall be in general conformity with the Town's Master Plan.
- (2) All landowners within the PUD shall consent, in writing, to the PUD.

RMC §7-3-16(E) PROCEDURES:

- (1) PUDs shall be reviewed with the same procedures for review of subdivisions as found in Subsection 7-4-5 Subdivision Procedures. A public hearing shall be held on the PUD pursuant to the Review Procedures of Section 7-3-23.
- (2) Approval of the PUD by the Town is purely discretionary. If the Town and the applicant do not agree on all required conditions and the plan, the Town may deny approval, or the Town may unilaterally impose conditions. If the developer does not accept the conditions, that development must adhere to standard dimensional, subdivision, and zoning requirements.

RMC §7-3-16(F) REQUIRED IMPROVEMENTS AND STANDARDS:

The PUD Plan shall provide for construction of the same improvements required for subdivisions in Subsection 7-4-6 and design standards of subsection 7-4-7.

RMC §7-3-16(G) ADDITIONAL REQUIREMENTS:

The PUD shall also show the location, size, and number of dwelling units, proposed uses for all buildings and shall further set out the location of all proposed parking areas, streets, sidewalks, bike paths, and other improvements and structures. Where appropriate, parameters, limits, or specifications may be approved in lieu of exact locations, numbers, and sizes.

RMC §7-4-5 SUBDIVISION PROCEDURE

(B) Preliminary Plat: (1) The preliminary plat shall be submitted, together with all other documents required by this Subsection (B), to the Town at least 30 days before the regular meeting of the Planning Commission at which the subdivider desires it to be considered. The Town staff will review the submittals and advise the subdivider of any material deficiencies. The Town staff will schedule it for a Planning Commission agenda once it determines that the submittals, as submitted and as supplemented pursuant to staff request for deficient material, have been submitted in substantial conformity with the requirements of this subsection (B). In order to be scheduled for an upcoming Planning Commission meeting, substantially conforming submittals, including information noted by staff as deficient, must have been received at least seven days prior to the day on which the agenda for that meeting is to be distributed.

RMC §7-4-7 DESIGN STANDARDS

- (A) All subdivisions shall conform to the minimum design standards of, this Section. The Town Council may allow deviation from these standards if it determines that unusual topography or a hardship exists, or that alternative standard will more effectively protect the quality of the subdivision and the public welfare, or more effectively achieve the purposes of these Subdivision Regulations.



ANALYSIS

MASTER PLAN GOALS

This parcel is identified as *Town Core Neighborhoods* on the Future Land Use Map of the 2019 Master Plan. This anticipates the following land uses and development patterns:

Maximum Density / Height	6 to 12 du/ac; 3 stories
Primary Uses:	Single-family homes, duplexes, and smaller multi-family residential uses.
Supporting Uses	Professional offices and service businesses, limited retail, parks and recreational facilities, community gardens, civic and government facilities.
Characteristics	<ul style="list-style-type: none"> The Town Core is the commercial heart of Ridgway with a unique historic character, pedestrian-oriented development pattern, and vibrant mix of uses, including those oriented towards the community and tourists. Historic preservation and adaptive reuse of existing structures are a priority to maintain the historic character of this area. New development should respect the character of existing development. Residential uses are encouraged as supporting uses, particularly in the stories above commercial uses or as standalone multifamily buildings, townhomes, or attached single-family housing. Sidewalks, public art, lighting, street trees, and other streetscape enhancements are encouraged to improve the walkability and experience of pedestrians.

The project should be in general conformance with the goals and policies identified within the 2019 Master Plan and the Future Land Use Map. Figure 2 depicts the Future Land Use classification of the subject property and surrounding area. The Master Plan provides important insight into the community's vision. Though these goals are not firm requirements, it is important that the applicant showcase the various ways their project meets these goals.

While the density does exceed the density identified Town Core Neighborhood land use classification of the 2019 Master Plan, this density is consistent with the Sketch Plan approved in September 2021 on this property. During the September discussions on the Sketch Plan, Planning Commission sited the transitional nature of this site, the massing and site layout of the homes, and the desire to provide attainable housing as factors to support the increased density.

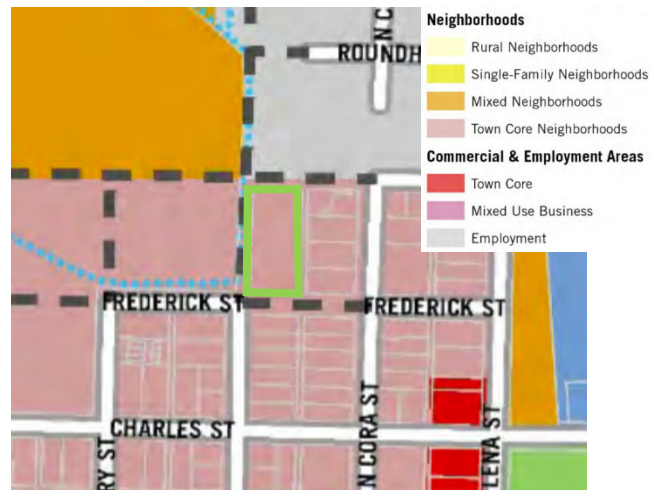


Figure 2. Future Land Use Map

The following Goals and Policies identified in the 2019 Master Plan were considered when evaluating this project's conformance with the plan.

- *Policy COM-1.1: Workforce Housing:* Partner with surrounding jurisdictions to provide housing for those employees working in Ouray County.
- *Policy COM-1.2: Private Sector Responsibilities:* Acknowledge the role of the private sector (and non-privates) as a necessary partner in addressing the community's affordable and workforce housing needs.
- *Policy COM-1.3: Public-Private Partnerships:* Explore opportunities to partner with private and non-profit developers on the construction of affordable and workforce housing.
- *Goal COM-2:* Encourage a diversity of housing options that meet the needs of residents.
- *Policy Com-2.1: Diversity of Housing Types:* Encourage the development of a variety of housing sizes, types, tenure types, densities, and prices.
- *Policy COM-2.2: Housing Options:* Support the development of a range of housing options in Ridgway, including but not limited to townhomes.
- *Policy COM-2.3: Resident-Occupied Housing:* Support strategies that maintain resident-occupied housing in Ridgway.
- *Policy CHR-1.1: Neighborhood Character:* Encourage the development of neighborhoods that enhance and reflect the character of Ridgway through quality design.
- *Policy CHR-1.2: Neighborhood Walkability and Bikeability:* Enhance walkability and bikeability within existing neighborhoods and between other areas of town.
- *Policy GRO-1.1: Directed Growth:* Direct growth to occur in a concentric fashion from the core outward, in order to promote efficient and sustainable Town services, strengthen the Historic Town Core and existing neighborhoods, and preserve the rural character of the surrounding landscape.
- *Policy GRO-1.4: Underutilized Areas:* Encourage infill development on vacant parcels and the redevelopment or adaptive reuse of or underutilized parcels or structures in the Historic Town Core of other areas where infrastructure and services are already in place.
- *Policy GRO-1.5: Design of New Development:* Ensure new development and infill/redevelopment is compatible with the surrounding area or neighborhood.
- *Policy GRO-1.7: Transitions:* Ensure smooth transitions and/or compatibility between distinct land uses.
- *Goal GRO-2:* Ensure public infrastructure, utilities, facilities, and services are sufficient to meet the needs of resident's ad businesses as the town grows.
- *Policy GRO-2.1: Growth Pays for Growth:* The costs of extending or expanding town infrastructure should be borne by the developer and not the Town or residents.
- *Policy GRO-2.2: Adequate Public Facilities:* Proposed development should demonstrate that town facilities and infrastructure have the capacity to serve the development.
- *Policy GRO-4.7: Connectivity of New Development:* Encourage new development to connect to existing biking and pedestrian facilities throughout the town.

- *Policy GRO-5.4: Parking Requirements:* Support the use of on-street parking to maximize the use of available resources.

LAND USES & ZONING

While the applicant is requesting a PUD for this property to address the unique development patterns proposed, the allowed uses must be either allowed or conditionally allowed in the underlying zone district. Single-family, duplexes, and townhomes with four or fewer units are all uses allowed by right in the underlying HR District.

The intent of the HR District is to coincide with the historic residential core of Ridgway and accommodate a variety of housing types at medium-density as well as other activities which are compatible with such uses. The project appears to meet the intent of the HR District.

While there is no minimum lot size for a PUD, being approximately one acre of HR District zoned property, there is adequate area to develop the property in a unique way that will provide additional public benefits which could be supported by a PUD.

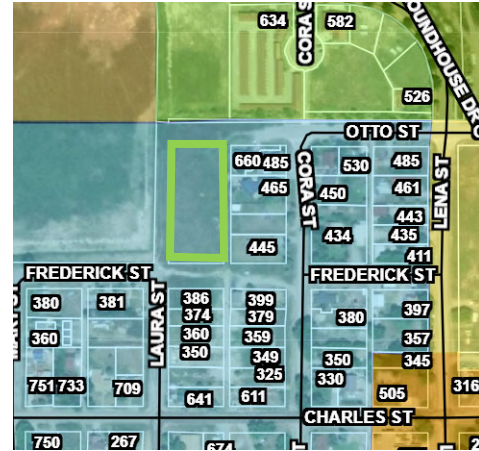


Figure 3: Zoning Map

AFFORDABLE HOUSING

The applicant states that the homes will have the following minimum level of affordability:

- 4 units at 60% (AMI)
- 4 units at 80% AMI;
- 4 units at 100% AMI;
- 2 units at 120% AMI

The application proposes that the units will be permanently deed restricted to ensure the project remains affordable. The applicant submitted sample deed restriction documents. A recommended condition of approval is that these documents be drafted specific to Yellow Brick Lane and submitted to the Town for review prior to the Preliminary Plat and PUD being executed by the Town.

DIMENSIONAL STANDARDS

Section §7-3-15(A) sets forth the required dimensional standards which shall be met for various uses allowed within a particular zone district. While the applicant has submitted a PUD request, the underlying HR District is the appropriate starting point to determine the impacts the proposal will have on the neighborhood. The proposed dimensional standards are provided within the PUD Guide document and in the table below:

Exhibit 1: Dimensional Requirements: YBL PUD

Use		Minimum Lot		Max. Lot Coverage (%)	Min. Setbacks (ft)				Structure Height
		Width (ft)	Size (sf)		Front	Rear ⁽¹⁾	Side ⁽¹⁾	Max. Side on Corner Lot	
YBL PUD	Townhome	25	1900	60	10	8	3 ^(7,9)	5 ⁽⁸⁾	27

Currently existing notes in RMC 7-3-15 - Dimensional and Off-Street Parking Requirements

⁽¹⁾ When the rear or side lot line abuts an alley, the setback shall be a minimum of two feet

⁽⁷⁾ If a single-family or duplex dwelling is five feet or less from the side property line, a fire suppression system is required. Fire suppression systems are required in all other buildings per Notes specific to the Yellow Brick Lane Townhomes Planned Unit Development

⁽⁸⁾ SMPA has allowed for a reduced easement from 10' to 5' on the west side of Lot 11, the covered porch structure can encroach up to, but not within 5 feet of the property line.

⁽⁹⁾ If a single family townhome shared partition wall is set on a side yard property line, then the setback will be 0 feet

The following table identifies the proposed dimensional standards for each of the 14 lots within the subdivision. The orange highlighted standards are where the proposed standard does not meet the underlying zoning district standard and, therefore, a variation is being requested through the PUD process.

Lot #	Lot Use	Lot Area	Lot Width	Street Frontage	Front yard setback (ft.)	Direction	Distance (ft.)	Direction	Distance (ft.)	Rear yard setback (ft.)	Lot Coverage (%)	Maximum Lot Height (ft.)	Parking Spaces
1	Single Family Residential	2671	35.93	Frederick St	10	East	0	West	10	8	24%	27	1
2	Single Family Residential	2249	30.25	Frederick St	10	East	10	West	0	8	32%	27	2
3	Single Family Residential	2249	30.25	Frederick St	10	East	0	West	10	8	28%	27	2
4	Single Family Residential	3386	45.56	Frederick St	10	East	10	West	0	8	22%	27	2
5	Single Family Residential	3576	25.19	N Laura St	10	South	5	North	0	8	31%	27	2
6	Single Family Residential	3577	25.20	N Laura St	10	South	0	North	5	8	36%	27	2
7	Single Family Residential	3577	25.20	N Laura St	10	South	5	North	0	8	31%	27	2
8	Single Family Residential	3577	25.20	N Laura St	10	South	0	North	5	8	36%	27	2
9	Single Family Residential	3577	25.20	N Laura St	10	South	5	North	0	8	31%	27	2
10	Single Family Residential	3575	25.19	N Laura St	10	South	0	North	5	8	36%	27	2
11	Single Family Residential	2318	31.16	Otto St	10	East	0	West	5 ⁽¹⁾	8	27%	27	1
12	Single Family Residential	1991	26.78	Otto St	10	East	5	West	0	8	37%	27	2
13	Single Family Residential	1989	26.70	Otto St	10	East	0	West	5	8	32%	27	2
14	Single Family Residential	2987	29.18	Otto St	10	East	10	West	0	8	24%	27	2
Tract A	Stormwater Detention	1277	28.07	Otto St	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Ridgway Municipal Code - Historic Residential													
		3000	25	n/a	15		3; 7.5 side street			8; 2 from alley	60%	27	2

Lot-By-Lot Dimensional Standards

The table below identifies the required dimensional standards of the HR District and the proposed deviations from those standards. Following the table is a description or analysis of the various standards.

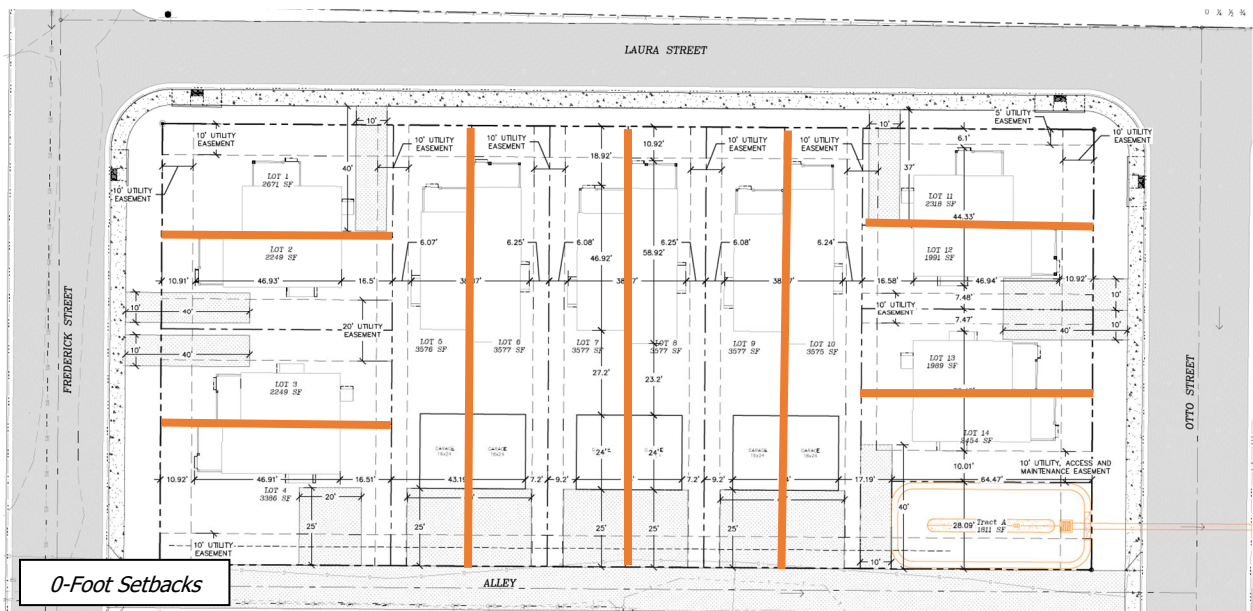
<i>Standard</i>	<i>Single-Family & Duplex</i>	<i>Deviations Requested</i>
<i>Lot Size</i>	3,000sf	Lots 1: 2,671sf Lots 2 & 3: 2,249sf Lots 11: 2,318sf Lots 12: 1,991sf Lots 13: 1,989sf Lots 14: 2,454sf
<i>Front Setback</i>	15'	TBD with building permit
<i>Side Setback</i>	3'	0' for internal shared lot lines between townhome units

Lot Coverage: The maximum lot coverage for single-family uses in the HR District is 60%. All lots, per the Yellow Brick Townhomes Table of Lot Uses, Lot Dimensions, setbacks, and Off-Street Parking provided within the Project Narrative dated July 18, 2022, meet the maximum lot coverage. The maximum lot coverage is 37% on Lot 12.

Building Height: The PUD proposed buildings not exceeding the maximum height limit of 27'. The proposed building elevations included in the application materials measures 18+/-' to the top of the 2nd

floor. Per the RMC, the building height is measured from the midpoint of the roof pitch. This will need to be properly labeled in the PUD.

Side Setbacks: Since the Town does not have a townhome lot type that allows for common wall lot lines to have a 0' setback, a deviation from the required 5' setbacks is needed to allow shared party wall lot lines. The graphic below uses orange lines to identify the lot lines for which a 0' setback is being requested as part of the PUD:



Lot Size: The minimum lot sizes of the underlying HR District standards are 3,000sf for single-family and duplex uses. The lots where the residences are located range in size from 2,098sf to 4,146sf. The Yellow Brick Lane Townhomes Table of Lot uses, Lot Dimensions, setbacks, and Off-Street Parking provided within the Project Narrative dated July 18, 2022, identify the lots that do not meet this minimum square footage.

RESIDENTIAL DESIGN STANDARDS

All residential development in the HR District must comply with Section 6-6, Residential Design Standards, of the Town of Ridgway Building Regulations. Any provision of these sections which are unable to be met by the project may request deviations from standards following the procedures set forth in Sec. 6-6-6 Deviations.

This section includes, but is not limited to, the following provisions:

- Varied roof structures that are compatible with those on adjacent homes (*Sec. 6-6-4(C)(1)*)
- Installation of sidewalks (*Sec. 6-6-4(D)*)
- Landscaping requirements (*Sec. 6-6-4(G)*)
- No two townhome structures of substantially similar elevations shall be located adjacent to each other (*Sec. 6-6-5(A)(4)*)

The applicant is proposing to install sidewalks within the adjacent roadway rights-of-way.

Sec. 6-6-5(A)(4) requires that no two adjacent duplex units have substantially similar elevations. The applicant has submitted samples of what the elevations would look like but has not provided details for all units. The applicant has requested that this be a component that is reviewed at the time of building permit, therefore, staff has recommended a condition that the elevations be submitted, reviewed, and approved by the Town prior to the Preliminary Plat and PUD being signed and executed by the Town. The sample elevations are below:



LANDSCAPE PLAN

The applicant has provided a landscape plan with the submitted materials. Upon review of the plan, there appear to be some deficiencies in it meeting the standards of Sec. 7-7-7 of the RMC which will need to be addressed. Although the landscaping is being calculated at a comprehensive level rather than a site level, if the Landscape Plan is included in the PUD Guide, the approach is acceptable and can be implemented at the time of building permit.

The applicant has noted that the Landscape Plan was unable to be updated to address comments provided by Town staff nor updates to incorporate changes to the Preliminary Plat layout. Staff does have some concerns that the landscaping plan may change based on lot area changes, the location of drainage easements, and where utility lines are anticipated to be installed. To ensure the landscape plan is accurate, staff is recommending a condition that the landscape plan be updated to reflect the new subdivision layout and the proposed utility plan and approved by town staff prior to the Preliminary Plat and PUD being signed and executed by the Town.

PARKING, ACCESS, AND ROADWAYS

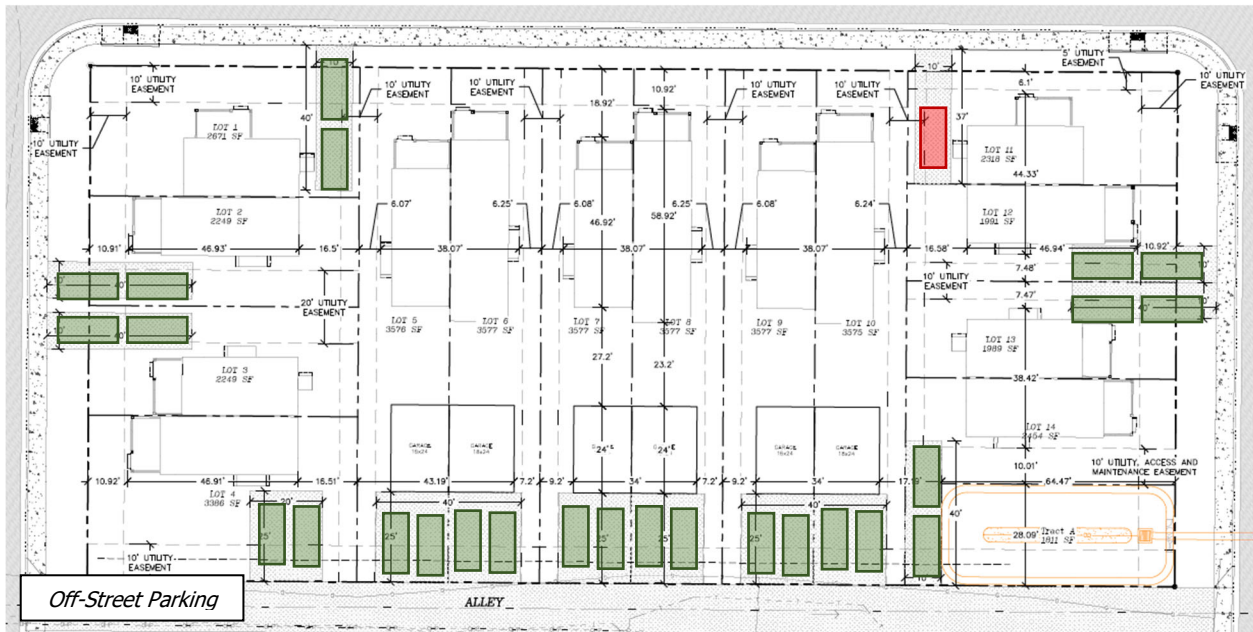
The three roads around the property are not improved (Otto St to the north, Laura St to the west, and Frederick St to the south). All three of these roads, plus the alley to the east, will have to be improved in conjunction with this project. Please see additional information under Roadway Improvements.

Access: Each of the proposed lots and residential units will have frontage on a public street, however, vehicular access for lots 4 – 10 and 14 will be provided through the alley along the eastern border of the property. Lots 2 and 3 will have access to Fredrick St.; Lots 1 and 11 will be accessed from N. Laura St., and Lots 12 and 13 will be accessed off of Otto St.

Off-Street Parking: The HR District, like other zone districts, requires two off-street parking spaces for single-family or duplex units and 1 space for all other uses. The RMC requires a total of 28 spaces ($2 \times 14 = 28$). A parking space is defined by Sec. 7-3-15(C)(2) as being a minimum of 8' wide by 20' long. The project is proposing to include 27 parking spaces with all lots except Lot 11 providing two off street parking spaces each. The driveway for lot 11 is only 37' where 40' is needed. The image below identifies the parking spaces that comply with the code standards with a green rectangle and the lots that do not comply with a red rectangle. It is also important to note that it Town Council concurs with staff's recommendation that the streets be redesigned to align the back of the sidewalk with the edge of the right-of-way, Lots 1, 2, 3, 12, and 13 will not be able to provide 2 parking spaces each as vehicles will extend over the sidewalk which would obscure travel on sidewalks.

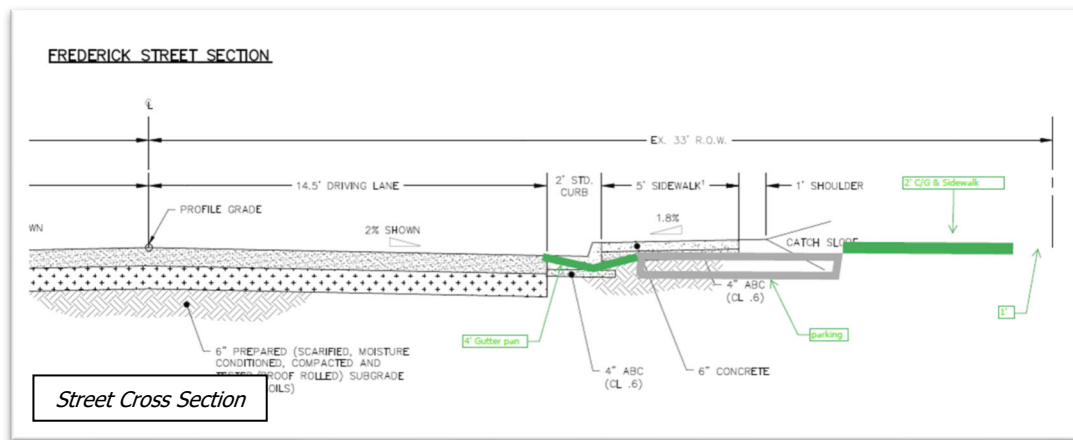
Also of note related to the parking, Sec. 7-3-15(C)(3) of the RMC prohibits backing onto public streets. Lots 1-3 and 11-13 do not meet this standard, however, Section 7.b.ii of the PUD Guide requests this Code provision be amended to allow backing onto public streets.

Because variance requests can be incorporated into PUD applications, separate variance requests are not necessary. However, if the Town Council approves the PUD, these two provisions – reduction in off-street parking requirements for two lots and allowing backing out onto public streets – will be allowed.



Alley: The preliminary plat shows the alley is 16 feet. Sec. 7-4-7(C)(13) of RMC requires a minimum of 20' width for alleys. The question of the alley width was brought up at the time of the original Sketch Plan in September 2021, but no definitive answer was given at that time. The 16-foot alley continues to be proposed which is not consistent with the current alley design standards. Even though the alley does not meet current standards, staff feels the existing width of the alley is adequate as proposed but would be in favor of any additional width dedicated by the applicant. The alley will be improved with a 10' travel land as detailed on Sheet G2.01 of the Civil Plan Set.

Roadway Improvements: All roadways adjacent to the property will need to be improved in conjunction with this project. However, the applicant is requesting that some concessions be made to allow the project to remain affordable. While a full street section is required per the RMC which includes paved road, sidewalk, curb, and gutter, for the entire lengths of adjacent streets in a manner that makes meaningful connections to existing roadways, the applicant is proposing gravel surface treatments for all three roads. Additionally, sidewalks are proposed on all adjacent roadways. The proposed cross section includes an “attached sidewalk” which leaves a large strip of land that is within the public right-of-way but not part of the roadway infrastructure (see proposed cross section below). Given the lack of off-street parking for guests and the proposed half-width of right-of-way, staff has recommended that the cross section for all roadways be amended to place the sidewalk 1’ inside the property line, the curb and gutter be changed to be a 4’ gutter pan adjoining the driving lanes and the area between the gutter pan and the sidewalk be available for parking.



Laura St: Since there is only 1/2 right-of-way available on Laura St, the Town is amenable to a temporary condition where the full width right-of-way is designed, however, the interim installation is 1/2 width but still allows for 2-way traffic. The applicant’s engineering firm has designed Laura Street as a partial right-of-way that allows for two-way traffic. Laura Street will be constructed as a partial right-of-way with the intention of being completed once the western half of the right-of-way is able to be acquired.

As depicted on the Preliminary Plat, this portion of Laura Street appears to have a varying right-of-way width. Since the other side of the right-of-way is not within the scope of this project, staff does note that the reason for the varying width is unknown but that at the point in the future when the full width right-of-way is obtained, the west side of Laura St. should be made to be parallel to that of the east side so the road lies evenly within the right-of-way.

Otto St: The applicant is proposing to connect Otto St. to the existing roadway improvements in Cora St.

Deviations from the Town’s design standards may be allowed by the Town Council. The Planning Commission, at their hearing, did acknowledge and confirm they were comfortable with allowing gravel streets for all required roadway improvements for this project. If Town Council concurs with this, approving the application as conditioned would allow this variation from design standards.

UTILITIES

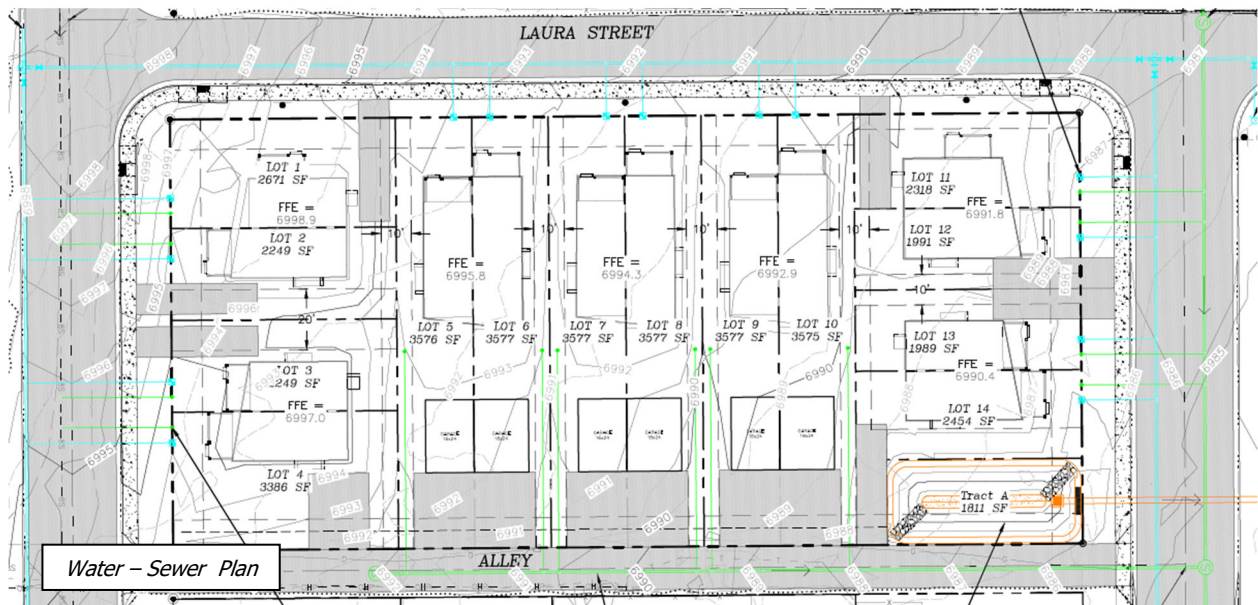
Although water and sewer are available in the area of this project, there are currently no water or service main lines directly adjacent to this property. These utilities will need to be extended to serve this project. The alignments (both horizontal and vertical) have been provided in the preliminary plans.

There appears to be adequate supply and capacity in both the water treatment and sanitary sewer treatment systems to serve the proposed 14 units.

Sewer: Sewer main lines are proposed to extend west in Otto St. ROW and also extend into the alley to the east of the property as part of this project. The applicant is proposing Lots 1-4 to connect to the existing sanitary sewer line in Frederick St ROW. Lots 1-4 will connect to the proposed main line in Otto St while Lots 5-10 will connect to the proposed extension in the alley.

Given the depth of some sewer lines in this area, the applicant will need to demonstrate that all standards can be met with the proposed layout. The alignment for the sewer is currently shown in Otto Street. The preferred alignment is in Laura Street.

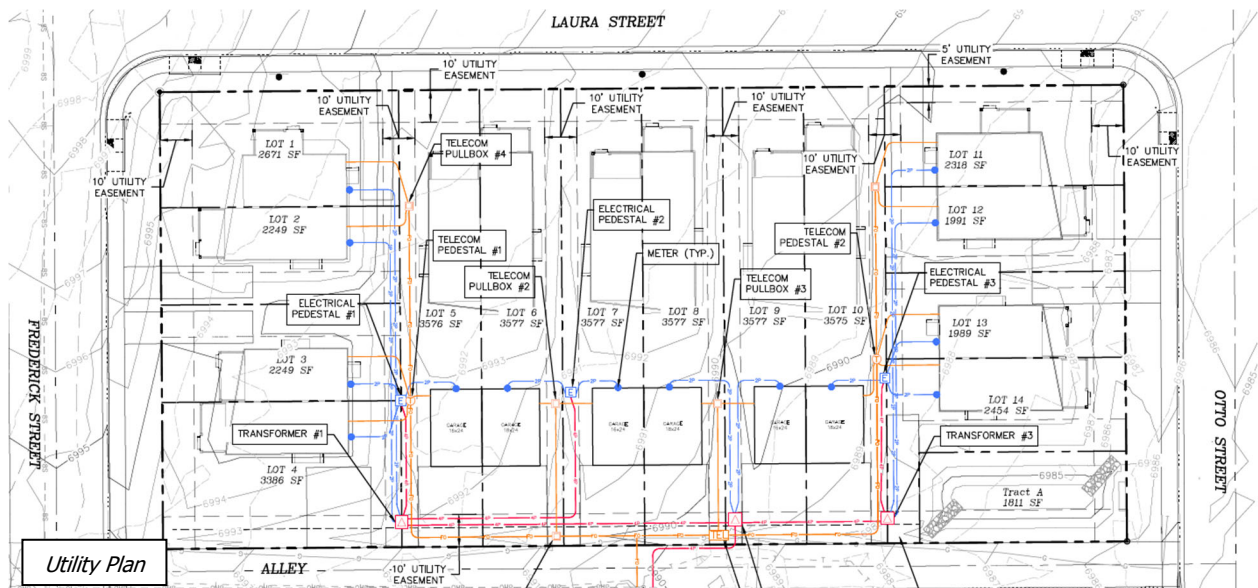
Water: The preliminary plan identifies existing water lines in Otto St east of the project site and in Fredrick St west of the project site to serve the proposed development. Lots 11-14 are proposed to connect to extension of the water line in Frederick St. that will connect to the existing 6" water line in Cora St. Meanwhile, Lots 1-4 will access the extension in Otto St. that loops back to Cora St. and Lots 5-10 will be served by the new water line in Laura St.



Stormwater: The applicant is proposing that Tract A at the northeast corner of the project be dedicated to Ridgway Homes, LLC to manage stormwater. This infrastructure is needed to capture and manage stormwater to be released at historic rates. The maintenance responsibilities will be memorialized in plat notes on the Preliminary Plat and the Development Agreement which will be presented to the Town Council as well.

Dry Utilities: Because the project proposed reduced utility easements on front and side property lines to meet the character of the neighborhood, staff requested that confirmation be provided by all dry

utility providers (e.g., elec. gas, fiber, cable, phone, etc.) that the proposed easements were adequate and to provide a utility plan demonstrating that the utilities could be placed in the proposed easement.



PUBLIC NOTICE AND PUBLIC COMMENT

The applicant has submitted a hearing application, associated fees, final plat materials, and other required support materials for this public hearing to the Town.

The property has been posted and proper notification has been completed by the Town in accordance with RMC §7-4-13.

As of the drafting of this staff report, no public comments either for or against the request have been received.

PLANNING COMMISSION RECOMMENDATION

At their regular meeting on May 31, 2022, the Town of Ridgway Planning Commission recommended approval of the Sketch Plan for the Yellow Brick Lane Subdivision and Planned Unit Development with the following condition by a vote of 6-0:

1. The Preliminary Plat and PUD Plan for Yellow Brick Lane be approved by the Town Council and all conditions of such approval be met.

At their regular meeting on May 31, 2022, the Town of Ridgway Planning Commission recommended approval of the Preliminary Plat and Preliminary PUD Plan for the Yellow Brick Lane Subdivision with the following condition by a vote of 6-0:

1. The applicant shall address all outstanding planning and engineering comments identified in the review comment letters attached to this staff report to the satisfaction of Town Staff prior to the application being scheduled for consideration at the Town Council.

STAFF RECOMMENDATION – SKETCH PLAN

Upon review of the application against applicable Town standards, staff recommends that the Town of Ridgway Town Council approve the Yellow Brick Townhomes Subdivision Sketch Plan with the following conditions:

1. The Preliminary Plat and PUD Plan for Yellow Brick Townhomes Subdivision be approved by the Town Council and all conditions of such approval be met.
2. The Development Agreement for Yellow Brick Townhomes be approved by the Town Council.

STAFF RECOMMENDATION – PRELIMINARY PLAT & PUD PLAN

Upon review of the application against applicable Town standards, staff recommends that the Town of Ridgway Town Council approve the preliminary Plat and preliminary PUD plan application with the following condition:

1. The applicant shall address all outstanding planning and engineering comments identified in the review comment letters attached to this staff report to the satisfaction of Town Staff prior to the preliminary plat being executed by the Town.

ATTACHMENTS

1. Application and Support Materials
2. Staff review letter dated August 1, 2022





YELLOW BRICK LANE TOWNHOMES PROJECT NARRATIVE



Submitted to the Town of Ridgway, May 5, 2022

Amended July 18, 2022

By David Bruce, Project Lead

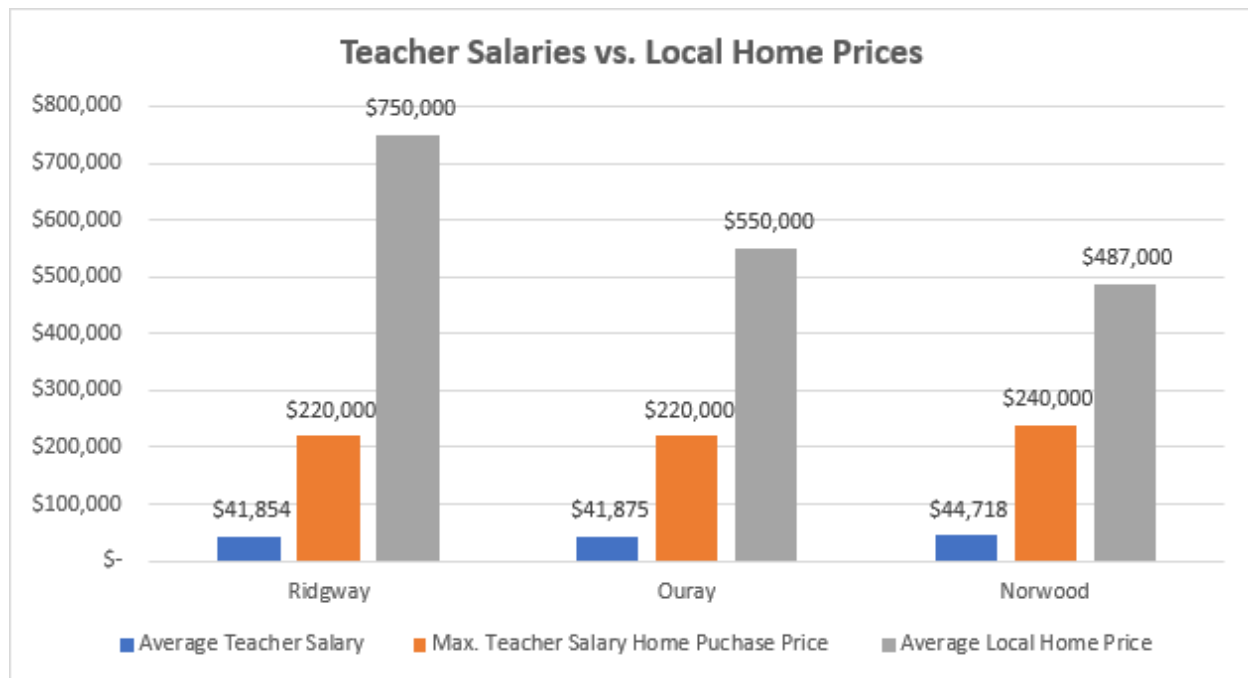
And Paul Major, Manager

Ridgway Homes, LLC



Part 1: The Rural Homes ‘Model’

Rural Homes: For Sale, For Locals is a pilot project to build new workforce housing in rural Colorado. By integrating donated land, prefabricated home design, and low-cost construction finance into a toolkit, we are restructuring the way rural homes can be financed affordably for our region’s essential workforce: teachers, medical professionals, immigrants, federal employees that earn between 60-120% of Area Median Income (AMI). Our ambition is to inform and refine a model that minimizes the cost of building single-family homes so that it can be replicated and scaled across rural Colorado. By adding new building stock to a housing market that is saturated with old, dilapidated homes or inflated by vacation markets, we are addressing – head on – key determinants of public health and long-term economic sustainability in the region. A telling example of this issue is the gap between what a teacher earns, the purchasing power of that teacher, and the prices of homes that are available in the market.



Data Sources: The purpose of this graph is to visualize the discrepancy between what a teacher (as an illustrative member of our local workforce) earns, the price of a unit that teacher can afford assuming less than 30% of monthly income goes towards mortgage payments, and relative price of homes that are available on the market. The data that informs this chart is sourced from: (1) Teacher salary information from Colorado School Finance Project Map: Average Teacher Salary Data from the CDE (Colorado Department of Education) from 2019-2020. These salary ranges were then turned into assumptions and verified as acceptable illustrations of teacher salaries by Ridgway's R-2 Superintendent Susan Lacy; Ouray R-1 Superintendent Tod Lokey; and Norwood's R-2 Superintendent Todd Bittner. (2) The Maximum Teacher Salary Home Purchase Price was calculated using a Net Present Value formula on Microsoft excel, using assumptions of (a) an affordable monthly payment price that was roughly 30% of a teacher's monthly income, discounted to about 24% of monthly income, given taxes and other cost of living expenses (b) a 4.5% interest rate and (c) a 30-year term. (3) the illustration of Average Local Home Prices was shaped by an MLS scan and market survey we asked real estate agent Felicia Discoe of Ridgway Real Estate to create 'Ouray Broker Pricing Opinion' for Ridgway and Ouray, meanwhile Arleen Boyd, Broker/Owner of Pine Cone Realty in Norwood to create an analysis for us in Norwood. Finally, Economic Planning & Systems, a land use economics consultant with an office based in Denver produced a market absorption analysis, called 'Rural Homes Project: Housing Market Study' dated June 22, 2021, which contains information on local employment and wages, housing supply and market trends for both the local for-sale and rental housing that has been included as part of our land use application. All source documentation has been included as part of our development application.



Part II: The Model Applied to Ridgway

Our goal is to attack the cost of building a house, so that it is affordable for the local workforce. Reducing the cost of constructing involves:

1. Getting donated land.

- The funding to purchase the western half of block 30 was donated to the project.
- An anonymous donor contributed \$1.2 million for to Ridgway Homes, LLC for the affordable housing developer to purchase the land.

2. Mitigating the costs of materials and labor:

- Factory-built, wood-framed home building process (modular homes) allows us to lock in prices 8 months before construction begins – guaranteeing pricing on ~85% of the cost of the house.
- The local labor force is (mostly) involved in high-end home construction. Even if compelled to work on affordable housing, the market sets a price of labor too expensive to build affordably.
- We are working with Fading West, based in Buena Vista, CO that builds modules in their factory. We ship the modules to site and finish the final ~15%.
- The cost of the final ~15% of the house will be managed by working with the same general contracting team that is already under construction on our Pinion Park project in Norwood Colorado. They are familiar with modular construction and coordinating with the modular manufacturer, Fading West.
- Another key component mitigating construction cost is an efficient and timely construction process. For example, building the foundations while we already have a civil contractor on site, will eliminate the added cost of multiple mobilizations; and reduce the overall construction timeline to reduce the fees associated with our contractor's general conditions.

3. Reduce the cost of construction finance:

- Partners across Colorado's community organizations and philanthropic entities are interested in new approaches to building affordable housing.
- Funders including:
 - Colorado Health Foundation
 - El Pomar Foundation
 - Kenneth King Foundation
 - Caring for Colorado
 - Dakota Foundation
 - Boettcher Foundation
 - Westmeath Foundation
 - Gates Family Foundation
 - Peter Kinney and Lisa Sandquist Foundation
- Foundations have provided "program related investments" (PRI) which is a below market loan at 0.5% interest rate for the construction revolving finance loan fund.
- The Town of Ridgway has partnered in securing \$750,000.00 through HB1271 funding for Department of Local Affairs Innovative Affordable Housing Strategies to assist in the funding for required public improvements.
- Ridgway Homes, LLC has been awarded a Housing Development Grant loan of up to \$4,000,000.00 for construction finance. The award letter has been included as an exhibit to this Project Narrative.



- Ridgway Homes, LLC has been awarded a Housing Development Grant of up to \$700,000.00 grant that will directly subsidize the cost of each home and lower the cost for the homebuyer. The award letter has been included with our development application materials.

4. Plan and design an efficient neighborhood

- Build contextual and appropriate density to offset the expense of per/unit of civil infrastructure, even with access to portions of Ridgway's \$750,000.00 HB1271 Innovative Affordable Housing Strategies grant money.
- Provide all-electric homes with Electric-Vehicle charging & Rooftop Photovoltaic Solar
 - i. This project will be the second pilot of a Tariff-On-Bill-Financing (TOBF) program we are developing with the Ridgway-based Colorado Clean Energy Fund (CCEF) and the San Miguel Power Authority (SMPA). Solar panels will be installed on every home, financed by CCEF. The debt service will be repaid by the homeowner through charges that are placed on the SMPA utility meter. In effect, this establishes Solar Panels on the homes without increasing the sales price of the home. TOBF is a great model for low-income and workforce housing.
- Utilize air source heat pump systems for the home heating and cooling to reduce overall energy use.
- Front porches for vibrant, community-centric streetscape that follow the design standards of the Ridgway Municipal Code.

Part III: 'The Yellow Brick Lane Townhomes' Site Plan

Yellow brick lane proposes 14 dwelling units on the 0.98 acre site, which is a higher density proposal than the 12 dwelling units prescribed in the Town of Ridgway's future land use masterplan. There are several reasons why the development is proposing a slightly higher density. First of all, building at higher density helps reduce and cost of development on a per unit basis and creates an alignment with the mission of building affordable and attainable housing for the workforce earning between 60%-120% AMI. Also, given the fixed costs of infrastructure (roads, water extension, and sewer extension), building two additional dwelling units reduces the per/unit cost of the civil improvements. Secondly, a site plan with 14 units, but with only 7 buildings constructed as townhomes, responds to the massing and scale of the adjacent neighborhood context. Three units will have frontage on Otto Street, three units will have frontage on Frederick Street, and Eight units have frontage on N Laura Street. However, only five buildings will be seen on N Laura Street and only two buildings will be seen on Otto Street and Frederick Street.

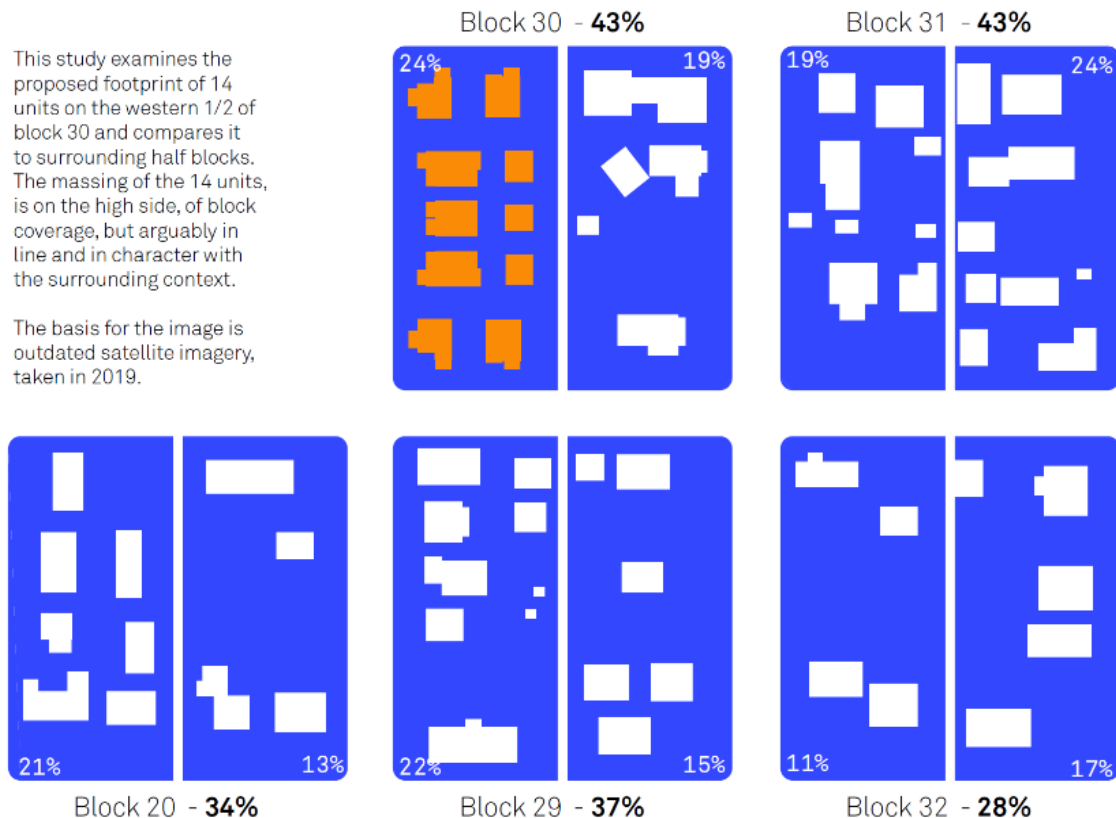
We propose that there is justification for building 14 dwelling units per acre in this specific location. The site is at a crossroads in current land use, future land use, and zoning, so this is an appropriate location for a higher density block. The western half of block 30 is currently an intersection of a ranch, residential neighborhood, and a storage facility. For current zoning, the site is in **historic residential**, but it is on the boundary of future development and light industrial zone. In the future land use plan, the site is in a town core neighborhood (12DU/acre), but adjacent to a mixed neighborhood (16DU/acre), and adjacent to an employment district. Given this confluence of current zoning and proposed future land use, this site could serve as a transition to the adjacent uses.

Most importantly, the more units we can build appropriately and contextually means the more homes we can construct that will be deed-restricted for the workforce who are currently struggling to find housing in town. This is an infill property, walking distance from town park and the amenities of



Sherman St., as well as biking distance from the schools: few other opportunities for affordable housing with proximity to the town center exist, and this unique opportunity should be maximized.

Despite higher density, we are still aiming to develop a neighborhood that blends into its context. For example, all units will provide off-street parking spaces and six out of the fourteen units will have a garage in addition to the off-street parking pad. Also, the lot coverage defined by the percentage of the lot covered by structures' footprints, is comparable to adjacent residential blocks (please see the graph below).



Based off of 8/26/2019 Google Earth Imagery - presumably most surrounding blocks have added lot coverage since 2019



DESIGN PRINCIPLES

Part IV: Waiver requests from Ridgway's Construction and Design Standards for Infrastructural Improvements.

A few infrastructure-related issues surfaced in the pre-application meeting with town staff, the joint work session with the Planning and Zoning Commission and Town Council Members, as well as during the sketch plan application hearing. The following notes outline some of the practical challenges we are facing complying with the Town's construction and design standards. The attached requests are for waivers from the Town's standards. The requests are based off not only practical challenges of the development site but also an overall request to reduce the infrastructure development cost and increase the affordability of these homes.



1. North Laura Street ROW to the west of the subject property is a variable width as it borders on the Wolf Ranch property line. Therefore, we request that the design and construction of the extension of North Laura Street, could be considered as a partial right of way.
 - Goff Engineering has designed a partial right-of-way that allows for 2- way traffic. It will be constructed as a partial right-of-way with the intention of being completed once the remaining portion of the ROW is able to be dedicated or obtained and property boundaries are adjusted.
 - For additional information, refer to sheet G2.01 in the accompanying preliminary plat and Goff Civil Engineering Construction Document Set.
2. 16' wide alley vs. 20' wide alley
 - Goff Engineering has designed a 14-foot-wide driving lane allowing two way travel inside of the platted 16' right of way. The drainage pattern has been revised to incorporate an inverted crown, with drainage conveyance to the stormwater detention pond. The 16' width as proposed is less than the 20' Town Standards given the nature of the existing property boundary on the existing plat. In the planning and zoning commission hearing for this application, we heard from Mayor John Clark that many alleys in Ridgway are 16' wide and this was not a concern to him or to the commission.
3. Gravel Roads instead of Asphalt paving
 - Given the surrounding context of gravel roads, we can directly reduce the cost of the units by matching the existing roads on Frederick and N Laura and building a gravel road section.
 - The design for the final gravel road section will be reviewed and approved by the Town's engineer prior to construction.

Part V: Design and Development Standards:

- We are in the process of working with EV Studio, an architecture firm based in Denver, to work through the site specific and lot specific designs of the homes to ensure that we will conform to the 2018 International Residential Code and the regulations of the RMC. They have issued us some schematic plans that are attached to this application, as BH-1, BH-2, and BH-3.
 - Here are some of our known design standards:
 - The siding will be DiamondKote - see Exhibit 1 to this document a color study for examples of how the elevations of N Laura Street could look. We have proposed a color for each lot in Exhibit 1. However, specific colors have not yet been assigned to each unit. We have provided the color attachment to show the color swatches and siding types that are available through the modular manufacturing process with Fading West. However, colors may change due to supply chain constraints, and we may have to pivot. We anticipate a full RMC design standard and architectural standard review during building permit review process.
 - Units will provide relief and contrast on front and side elevations
 - Units will provide a variation of building mass and height and respond to the existing development context
 - There are no garage doors on front elevations
 - We will provide color variations to avoid substantially similar elevations adjacent to each other.
 - The development will conform to Town's Development Standards described in RMC 6-6-4 *Residential Design Standards Development Standards*



- The architectural design of the units will conform to the Town's Architectural Standards described in RMC 6-6-5 *Residential Design Standards Architectural Standards*
- If proposed structures are deemed by Town Staff to be non-compliant with the Town's Architectural Standards RMC 6-6-5, we will request that Town Council consider RMC 6-6-6(3) *Residential Design Standards Deviations* that the proposed structures support the expansion of workforce housing options within the Town of Ridgway.
- The project will conform to RMC 7-7 *Landscape Regulations*
- Signage apart from 'No Parking Anytime' and 'Stop signs' as currently indicated on the application's preliminary plat and civil construction documents is currently unknown, however, all proposed signs will comply with RMC 7-3-17 – *Sign Regulations*.
- A table of Water & Sewer Consumption has been included as an attachment to this Narrative as Exhibit 2.



Exhibit 1: Elevation Study with DiamondKote Siding Colors



Yellow Brick Lane Townhomes
N. Laura Street Schematic Elevation

Lot 11
Light Gray

Lot 10
Cascade

Lot 9
Light Gray

Lot 8
Terra Bronze

Lot 7
Graphite

Lot 6
Light Gray

Lot 5
Emerald

Lot 1
Graphite



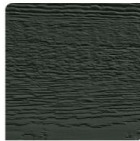
Cascade



Light Gray



Emerald



Terra Bronze



Graphite



DIAMOND KOTE®
Building Products

Exhibit 1: illustration of possible N Laura Street elevations and color options

- Lot 1: Light Gray
- Lot 2: Terra Bronze
- Lot 3: Cascade
- Lot 4: Graphite
- Lot 5: Emerald
- Lot 6: Light Gray
- Lot 7: Graphite
- Lot 8: Terra Bronze
- Lot 9: Light Gray
- Lot 10: Cascade
- Lot 11: Light Gray
- Lot 12: Emerald
- Lot 13: Graphite
- Lot 14: Light Gray



WATER DEMAND TABULATION	
# residential units	14
Occupancy (ppl/unit)	2.5
water usage (May-Nov) [GPD]	250
water usage (Dec-Apr) [GPD]	125
Annual Consumption [Gallons]	2,535,313
Annual Consumption [Acre Feet]	58.20
SEWERAGE GENERATION TABULATION	
# residential units	14
Occupancy (ppl/unit)	2.5
Sewer generation [GPD]	125
Annual Consumption [Gallons]	1,596,875
Annual Consumption [Acre Feet]	36.66

Exhibit 2: Table of Estimated Water and Sewage Consumption

Part VI: Statement of Objectives for a Planned Unit Development

Given the number of variances that will be required to develop the project, we request that the Yellow Brick Lane Townhomes application for development be reviewed as a Planned Unit Development.

Yellow Brick Lane Townhomes consists of 14 townhome units that will be permanently deed-restricted for the workforce. In order reasonably maximize the use of this site for the purpose of affordable workforce housing and develop the site economically, in a manner that is conducive to selling units between 60-120% of Ouray County's Area Median Income, we are requesting that the Town consider variances to the proposed density, variances to the Town's dimensional requirements, and variances to required improvements and infrastructural standards. In developing this project, we believe that we are providing significant public benefit to the Town, through both the development of affordable housing and the construction of Town infrastructure in three currently undeveloped Right of Ways. Despite the Planned Unit Development request, we believe that the project has been designed in a manner that will provide general conformity with the Town's Master Plan. Secondly, all uses proposed as part of this development are classified as permitted uses within the Town's Historic Residential Zoning District.

Specifically, this Planned Unit Development requests variances from the Historic Residential District's dimensional requirements for lot sizes, side yard setbacks, easement widths, and alley width. We also request deviations from required Improvements and Standards not only because the site presents some practical difficulties, such as a partial Right of Way on North Laura Street, but also because we can increase the affordability by proposing alternatives to the Town's Standards. Finally, this Planned Unit Development requests variances to the Town's Off-Street Parking Requirements, as we tried to prioritize the availability of off-street parking, even though the reduced lot size doesn't provide adequate 'Maneuvering Area'. The requested variances can be reviewed in the Planned Unit Development Guide attached to this application. Additional requests for variances are found in the Development Agreement Framework also attached to this application. A PUD plan has also been included to show the location, size, and number of dwelling units, proposed uses for all buildings, and location of all proposed parking areas, streets, sidewalks, and other improvements.



The attached Exhibit 3 compares the proposed Yellow Brick Lane dimensional requirements to the Historic Residential Single-Family and Duplex dimensional requirements.

Use		Minimum Lot		Max. Lot Coverage (%)	Min. Setbacks (ft)				Structure Height
		Width (ft)	Size (sf)		Front	Rear ⁽¹⁾	Side ⁽¹⁾	Max. Side on Corner Lot	
Historic Residential	Single-Family and Duplex	25	3000	60	15	8	3 ⁽⁷⁾	7.5	27
YBL PUD	Townhome	25	1900	60	10 ⁽⁸⁾	8	3 ^(7,9)	10 ⁽⁸⁾	27

Currently existing notes in RMC 7-3-15 - Dimensional and Off-Street Parking Requirements

⁽¹⁾ When the rear or side lot line abuts an alley, the setback shall be a minimum of two feet

⁽⁷⁾ If a single-family or duplex dwelling is five feet or less from the side property line, a fire suppression system is required. Fire suppression systems are required in all other buildings per the building Regulations, see Ridgway municipal Code Section 6-1. If any structure is less than five feet from the side property line, a site-specific geotechnical report is required as well as snow guards, brakes or other devices to prevent snow and ice shedding onto adjacent properties.

Notes specific to the Yellow Brick Lane Townhomes Planned Unit Development

⁽⁸⁾ SMPA has allowed for a reduced easement from 10' to 5' on the west side of Lot 11, the covered porch structure can encroach up to, but not within 5 feet of the property line.

⁽⁹⁾ If a single family townhome shared partition wall is set on a side yard property line, then the setback will be 0 feet

Exhibit 3: A comparison between proposed YBL PUD and RMC Historic Residential Dimensional Requirements

Front Yard Setback Variance

A front yard setback variance for all lots will be requested. Specifically, we will request Town Council to consider allowing this PUDs front yard setbacks to be 10'. This request is a result of the spatial requirements of designing a neighborhood block of Townhomes at higher density.

It is key to consider that each unit has an 8' long by 15' wide covered porch. Even though the building setback is at 10', in all cases, the enclosed space of the building will never be setback less than 15' from the front yard of the property line. We believe that front porches are an integral part of the proposed development's neighborhood streetscape. The project can be done without the front porches, but it would significantly hinder the quality of the project and the livability of the neighborhood. All proposed front yard setbacks are identified in the PUD Guide.

Side Yard Setback Variance

This is a project of townhomes, where the partition wall is set on the property line. Therefore, all units will have at least one condition where the side yard setback is 0 feet. The 0' partition wall will be constructed with a 2-layer 5/8" thick gypsum board that offers a 2-hour fire-protection. All proposed side yard setbacks are identified in the PUD Guide.

Secondly, we request a variance that the side yard setback on corner lots is reduced from 7.5 feet to 5 feet. This request is a result of the spatial requirements of the Tract A Stormwater Detention Pond and the 10' maintenance easement that surrounds that. Therefore, Lot 11 needs to be pushed further to the west in the PUD plan, relative to its mirror image of Lot 1. We have gotten approval from SMPA, the local electricity provider, and Clearnetworkx/Deeply Digital, the local broadband internet provider, to narrow of the easement width from 10' to 5' to make this site plan possible. The utilities have signed off on the dry utility plan and the plat. Their approval of this plan is attached as a letter to this project application. As a result, we are requesting that the required sideyard setback on a corner lot for the PUD will be 5 feet.



Lot Area Variance

To fit 14 units on the site and get more density, many lots are less than the required 3000 square foot lot area. We are requesting the minimum lot size for the PUD change to 1900 square feet. The lot areas of each lot are identified in the PUD Guide.

Off Street Parking Requirements Variances

Lots 1 and 11 only have one off-street parking space. They are 2BR/2BA units. We request a variance from the RMC's parking requirements that two off-street parking spaces are required. This is a consequence of proposing a higher-density site plan on this project site. The lots area is too small to provide two off-street parking spaces on these two lots.

Additionally, also as a result of smaller lot sizes, we need to request a variance from the RMC requirement that cars cannot back out onto public right-of-ways. All lots that do not meet the 3000 square foot minimum lot size for Historic Residential, do not have adequate maneuvering area to allow a car to fully turn around within the lot area and not back-out into a public Right of Way. Therefore, we request that Lots 1, 2, 3, 11, 12, and 13 all have a variance that they will be allowed to back-out into a public right of way. All requested off-street parking variances are identified in the PUD Guide.

To summarize this narrative for variance requests, we have attached a table as Exhibit 3 that tabulates all requested dimensional standards for this PUD. Any variance from the RMC has been highlighted in Orange.

Exhibit 2: Yellow Brick Lane Townhomes Table of Lot Uses, Lot Dimensions, Setbacks, and Offstreet Parking

Lot #	Lot Use	Lot Area	Lot Width	Street Frontage	Front yard setback (ft.)	Sideyard Setback				Rear yard setback (ft.)	Lot Coverage (%)	Maximum Lot Height (ft.)	Parking Spaces
						Direction	Distance (ft.)	Direction	Distance (ft.)				
1	Single Family Residential	2671	35.93	Frederick St	10	East	0	West	10	8	24%	27	1
2	Single Family Residential	2249	30.25	Frederick St	10	East	10	West	0	8	32%	27	2
3	Single Family Residential	2249	30.25	Frederick St	10	East	0	West	10	8	28%	27	2
4	Single Family Residential	3386	45.56	Frederick St	10	East	10	West	0	8	22%	27	2
5	Single Family Residential	3576	25.19	N Laura St	10	South	5	North	0	8	31%	27	2
6	Single Family Residential	3577	25.20	N Laura St	10	South	0	North	5	8	36%	27	2
7	Single Family Residential	3577	25.20	N Laura St	10	South	5	North	0	8	31%	27	2
8	Single Family Residential	3577	25.20	N Laura St	10	South	0	North	5	8	36%	27	2
9	Single Family Residential	3577	25.20	N Laura St	10	South	5	North	0	8	31%	27	2
10	Single Family Residential	3575	25.19	N Laura St	10	South	0	North	5	8	36%	27	2
11	Single Family Residential	2318	31.16	Otto St	10	East	0	West	5 ⁽¹⁾	8	27%	27	1
12	Single Family Residential	1991	26.78	Otto St	10	East	5	West	0	8	37%	27	2
13	Single Family Residential	1989	26.70	Otto St	10	East	0	West	5	8	32%	27	2
14	Single Family Residential	2987	29.18	Otto St	10	East	10	West	0	8	24%	27	2
Tract A	Stormwater Detention	1277	28.07	Otto St	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Ridgway Municipal Code - Historic Residential													
		3000	25	n/a	15	3: 7.5 side street				8: 2 from alley	60%	27	2

Exhibit 3: Summary table of Yellow Brick Lane lot uses, dimensions, setbacks, and parking



TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | www.town.ridgway.co.us

Official Use Only

Receipt # _____

Date Received: _____

Initials: _____

Planning Commission Hearing Request

General Information

Applicant Name	Ridgway Homes, LLC	Application Date	May 5, 2022
Mailing Address	PO Box 4222, Telluride, CO, 81435		
Phone Number	603 203 1342	Email	david@ruralhomesproject.co
Owner Name	Ridgway Homes, LLC		
Phone Number		Email	paul@ruralhomesproject.co
Address of Property for Hearing	Western 1/2 Block 30, Ridgway, CO, 81432		
Zoning District	Historic Residential		

Brief Description of Requested Action

Review of Sketchplan & Preliminary Plat Resubmittal

Action Requested and Required Fee Payable to the Town of Ridgway

<input type="checkbox"/> Temporary Use Permit per 7-3-18(C)	\$150.00	Subdivisions per 7-4 unless noted	
<input type="checkbox"/> Conditional Use per 7-3-19	\$250.00	<input checked="" type="checkbox"/> Sketch Plan	\$300.00 (+ \$10.00/lot or unit)
<input type="checkbox"/> Change in Nonconforming Use per 7-3-20	\$150.00	<input type="checkbox"/> Preliminary Plat	\$1,500.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Variances & Appeals per 7-3-21	\$250.00	<input checked="" type="checkbox"/> Preliminary Plat resubmittal	\$750.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Rezoning per 7-3-22	\$250.00	<input type="checkbox"/> Final Plat	\$600.00
<input type="checkbox"/> Other Reviews Pursuant to 7-3-23	\$250.00	<input type="checkbox"/> Minor Subdivision	\$450.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Variance to Floodplain Reg. per 6-2	\$150.00	<input type="checkbox"/> Lot Split	\$450.00
<input type="checkbox"/> Master Sign Plan Pursuant to 7-3-117	\$150.00	<input type="checkbox"/> Replat	\$150.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Deviations from Residential Design	\$175.00	<input type="checkbox"/> Plat Amendment	\$250.00
Standards per 6-6		<input type="checkbox"/> Planned Unit Dev. per 7-3-16	See Preliminary and Final Plat
<input type="checkbox"/> Other	\$_____	<input type="checkbox"/> Statutory Vested Rights per 7-5	\$1,500.00

Check will be mailed through bills.com

Applicant and owner shall be jointly and severally responsible for legal, engineering, planning, administrative and miscellaneous fees, including recording costs, if incurred. (R.M.C. 7-3-25(B) and 7-4-12(B)). Water and sewer tap fees and development excise taxes are due at approval of final plats.



Attachments Required

For All Applications

- ☒ Evidence of ownership or written notarized consent of legal owner(s).
- ☒ Information proving compliance with applicable criteria (see the Ridgway Municipal Code for criteria), this may include a narrative, site plans, and/or architectural drawings drawn to scale.

For Conditional Uses

- ☐ The site plan shall show the location of building(s), abutting streets, all dimensions, off-street parking requirements, and landscaping.
- ☐ Architectural drawings shall include elevations and details of building(s).

For Changes in Nonconforming Use

- ☐ Description of existing non-conformity.

For Variances

- ☐ The site plan shall show the details of the variance request and existing uses within 100 ft. of property.

For Rezoning

- ☐ Legal description, current zoning, and requested zoning of property.

For Subdivisions

- ☒ All requirements established by Municipal Code Section 7-4.
- ☒ Sketch plan submittals shall be submitted at least 21 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.
- ☐ Preliminary plat submittals shall be submitted at least 30 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered. **The applicant would like this submission to be considered at the May Planning Commission hearing**
- ☐ Final plat submittals shall be submitted at least 30 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.

Please note that incomplete applications will be rejected. Contact with a Planning Commission or Town Council member regarding your application constitutes ex parte communication and could disqualify that Commissioner or Councilor from participating in your hearing. Please contact staff with any questions.

David Bruce

Applicant Signature

May 5, 2022

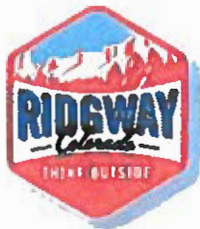
Date

Paul Major

Owner Signature

May 5, 2022

Date



TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | www.town.ridgway.co.us

**TOWN OF RIDGWAY, COLORADO
ACKNOWLEDGMENT OF FEES AND COSTS**

Ridgway Homes, LLC ("Applicant") and Ridgway Homes, LLC ("Owner") do hereby acknowledge that with the filing of an application, or seeking Town review under Chapter 7, Section 3 or Section 4 of the Town of Ridgway Municipal Code, that it is subject to the requisite fees and costs associated with such action, in accordance with 7-3-20 and 7-4-12, including out-of-pocket legal fees and/or engineering fees.

Applicant and Owner acknowledge that no plat shall be recorded, improvement accepted, lien released, building permit issued, tap approved or final approval action taken until all fees then due are paid to the Town.

Applicant and Owner acknowledge that the Town may suspend review of submittals, inspection of improvements, and processing of a subdivision, as it deems appropriate, unless all amounts are paid as due.

Applicant and Owner further acknowledges that unpaid fees may be certified to the Ouray County Treasurer for collection as delinquent charges against the property concerned.

Acknowledged this 5 day of May, 2022.

APPLICANT:

By: David Bruce

David Bruce, authorized signer
(print name)

PROPERTY OWNER:

Paul Major

By: _____

Paul Major, authorized signer
(print name)



May 5, 2022

To Town of Ridgway:

I would like to request a sketch plan review for our amended Yellow Brick Lane Townhome proposal on the western half of block 30, Ridgway, CO, 81432. Specifics regarding this proposal are outlined below:

1. A certificate of title is included in the folder of our application materials.
2. The total number of proposed dwelling units is 14, and maximum occupancy of 66.¹
3. The estimated total number of gallons per day of water system requirements is 350 gallons per unit; 4900 gallons per day for the subdivision. Our proposed source is the town municipal water system by purchasing taps.
4. The estimated total number of gallons per day of sewage to be treated is 250 gallons per unit; 3500 gallons per day for the subdivision. Our proposed means for sewage disposal is the municipal system by purchasing taps.
5. Electricity is available near the subdivision, and we will connect to other utilities as necessary to serve the subdivision.
6. Our estimated construction cost is \$7.595 million, including utilities, financed by a combination of cash, loans, grants, and land contributions.
7. There is legal access to the property, as demonstrated by the title.

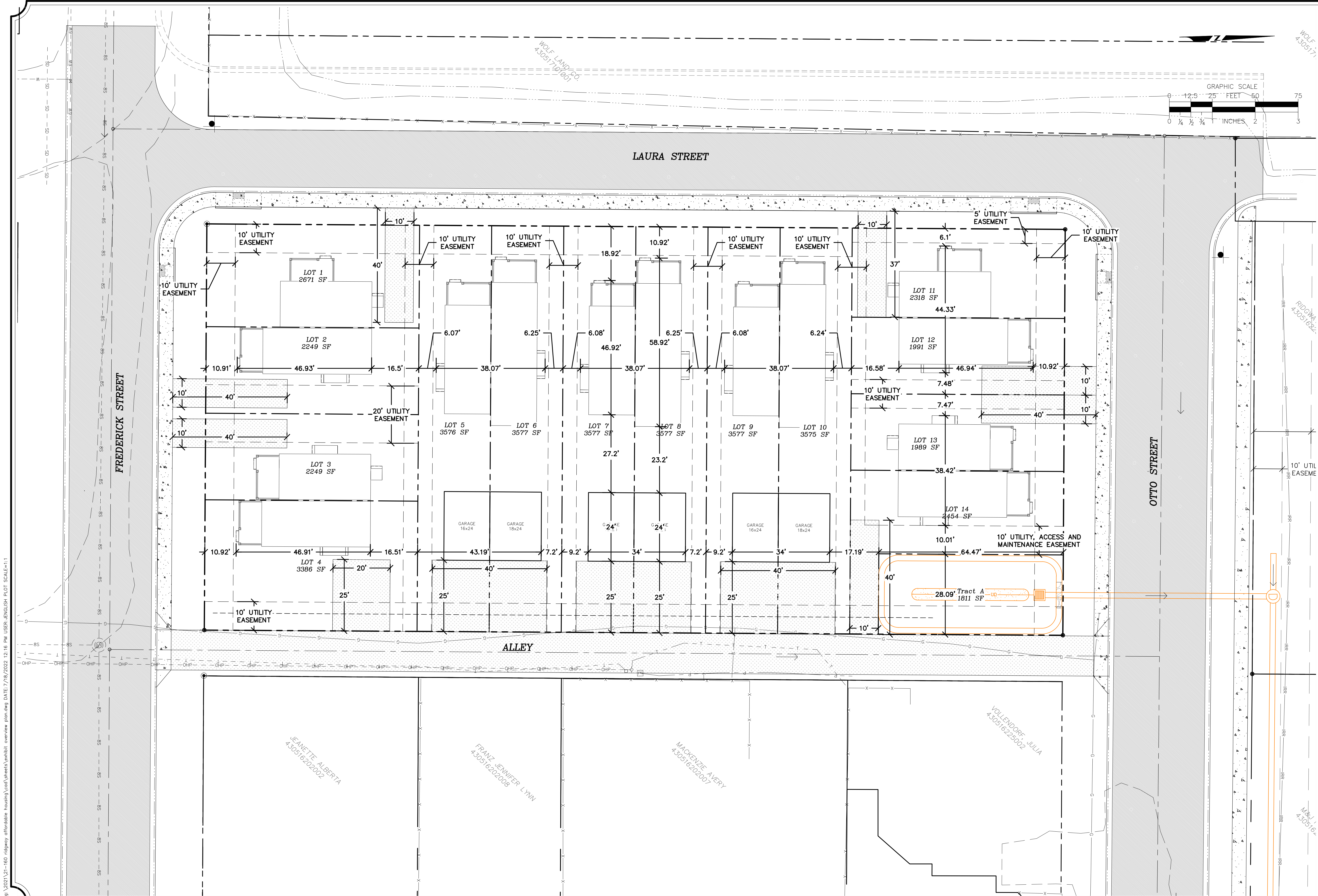
Please let me know if you need anything else to begin the sketch plan process. We look forward to continue working with you.

Sincerely,

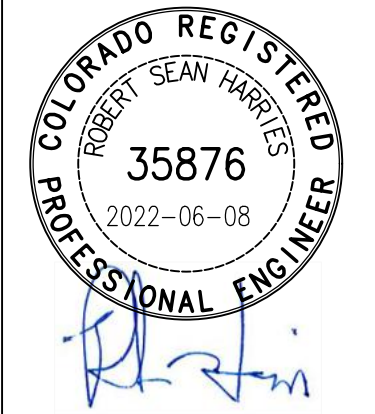
Paul Major
Ridgway Homes LLC, Manager,
by Rural Homes LLC as Manager

¹ Maximum occupancy is assumed to be a maximum of five people per three-bedroom house and four people per two-bedroom house. There are ten, three-bedrooms in the proposal and four, two-bedrooms.

g:\2021\21-160_ridgeway affordable housing\cad\sheet\exhibit overview plan.dwg DATE: 7/18/2022 12:16 PM USER: ENGLISH PLOT SCALE=1:1



Goff
ENGINEERING + SURVEYING INC.
GOFF ENGINEERING & SURVEYING, INC.
126 ROCK POINT
DRIVE SUITE A
P.O. BOX 97
DURANGO,
COLORADO 81302
(970) 247-1705
www.GoffEngineering.com



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**YELLOW BRICK LANE
TOWN OF RIDGWAY, CO
PUD SITE PLAN**

Issue Record:
PRELIMINARY REVIEW 06-08-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

Sheet



Rural Homes: For Sale, For Locals
Sketch Plan Application: Yellow Brick Lane Townhomes

Ridgway, CO

Rural Homes: Project Finance Narrative

Rural Homes: For Sale, For Locals *in brief*

Our goal is to address the challenge of building workforce housing in Rural Colorado, where it is so expensive to build new homes and get them to be sold to the workforce at prices they can afford. We hope to add new homes to a community that otherwise has old, beaten-up buildings, or properties that are inflated by markets for vacation home-owners. A well-built home is essential for long term public health and economic sustainability in the region. This is a community building project led by a non-profit community foundation, not led by a developer. These homes will be built for, and sold to, locals.

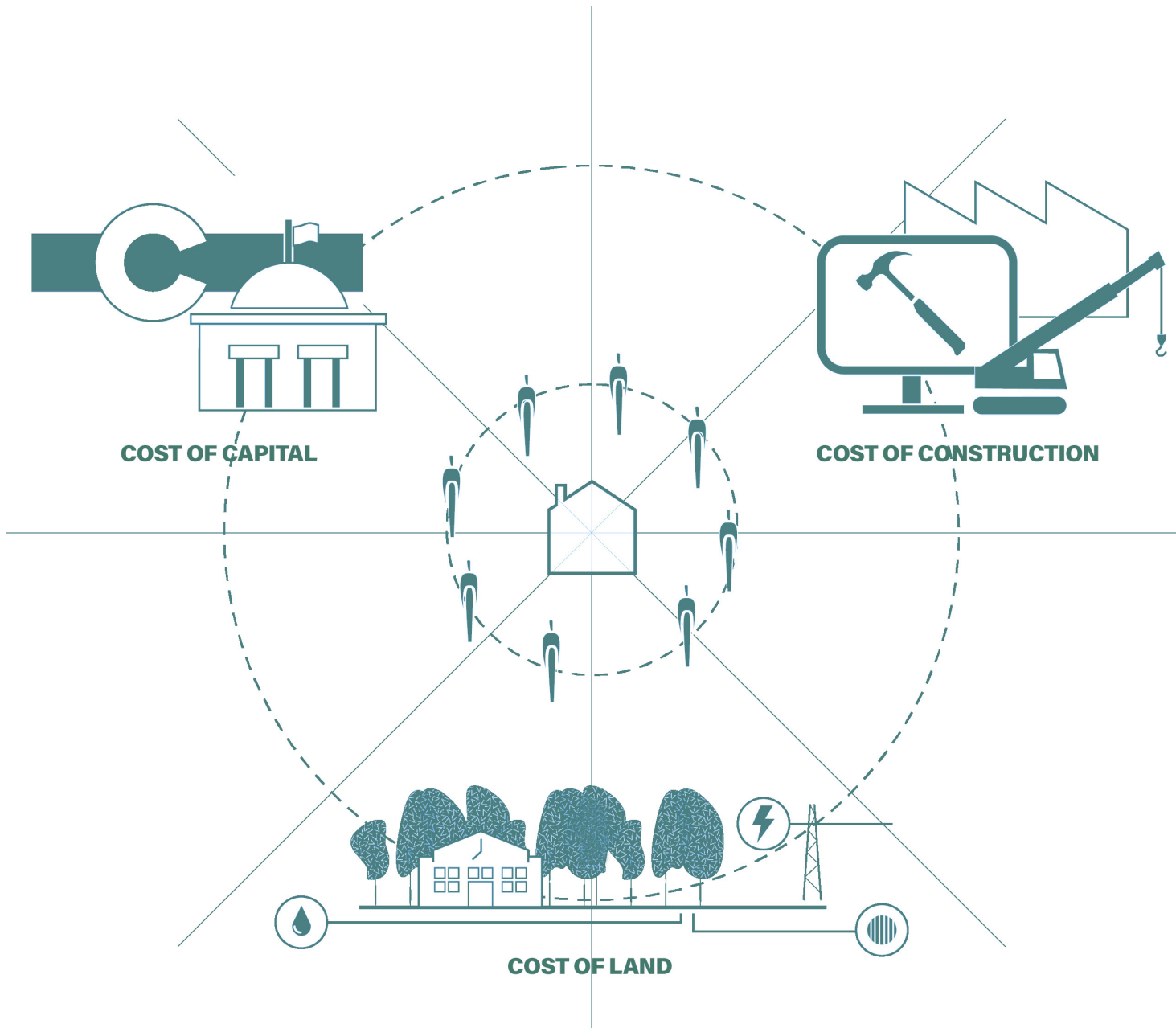
In order to accomplish the goal of building affordable housing, we have to attack the major costs of construction. These costs include the cost of land, by finding parcels that are contributed towards the project. Second, we are attacking the cost of capital, by getting low interest loans from philanthropic foundations across the state. Finally, we are tapping into innovation in design and construction, using a pre-fabricated approach to building that helps us reduce the on-site costs of materials and labor. We hope that this pilot can become a model for how to build homes for the rural workforce that earns between 60-120% of Area Median Income (AMI).

An additional component that is crucial to keeping this development affordable is density. Given the fixed costs of infrastructure development, we can reduce the per-unit cost of the homes. The less we spend on construction, the less we can sell the homes for. The proposed development is contingent on being affordable.

These homes will be permanently deed restricted. The factors for qualification will require working full time, earning within the income threshold, living in the house as your primary residence, having the home be your only owned property, and falling within the net assets qualification. The initial sale of all Housing Units shall be in accordance with applicable lottery, wait list or other selection procedures as determined by the HA. More information about the deed restriction and lottery process will become available as we move forward with this process.

Attacking the major costs:

- (1) Cost of Land: donated land
- (2) Cost of Capital: low-interest loans from Foundations
- (3) Cost of Construction: pre-fabricated homebuilding



Sketch Plan

Vicinity & Topographical Information

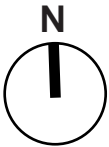
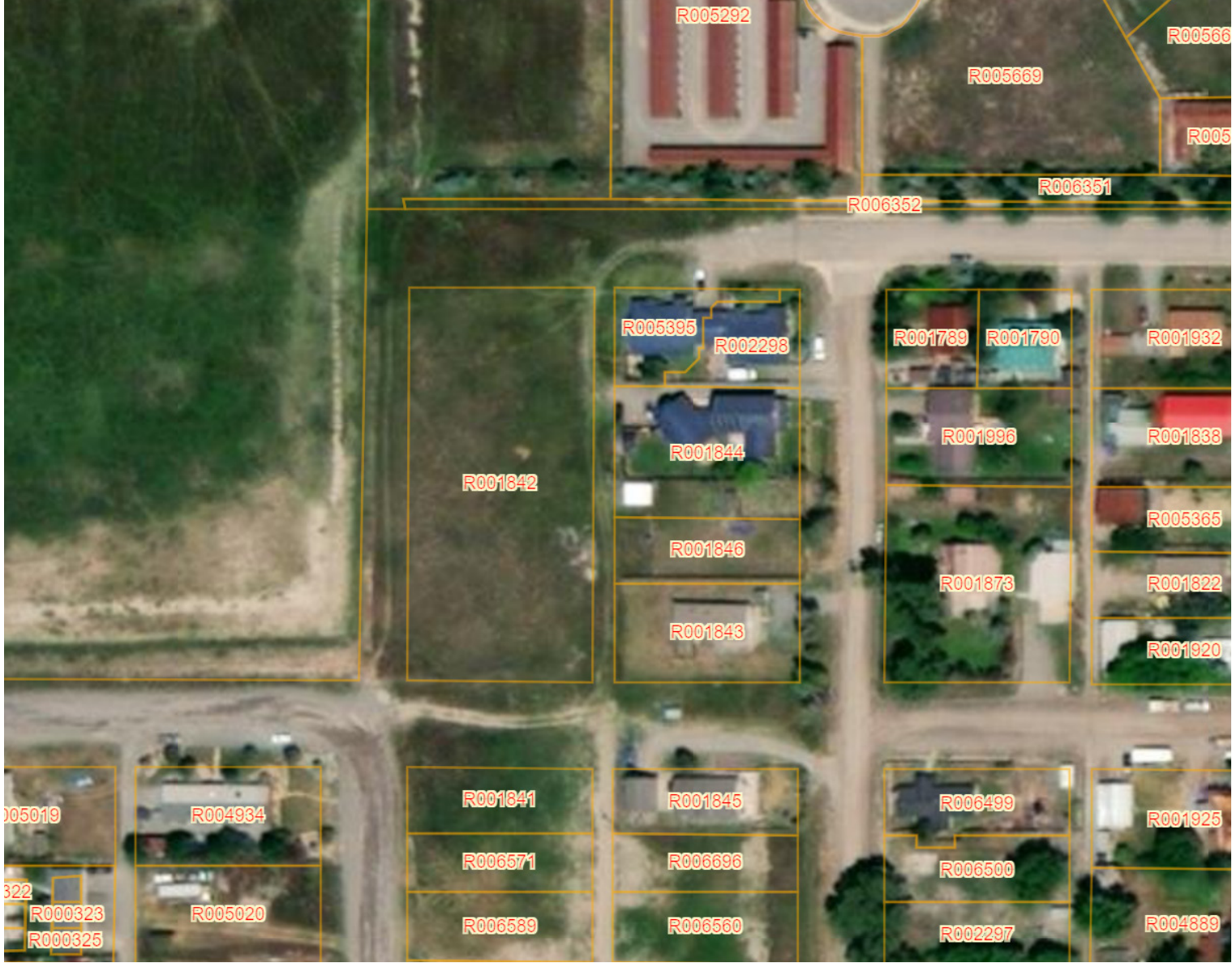
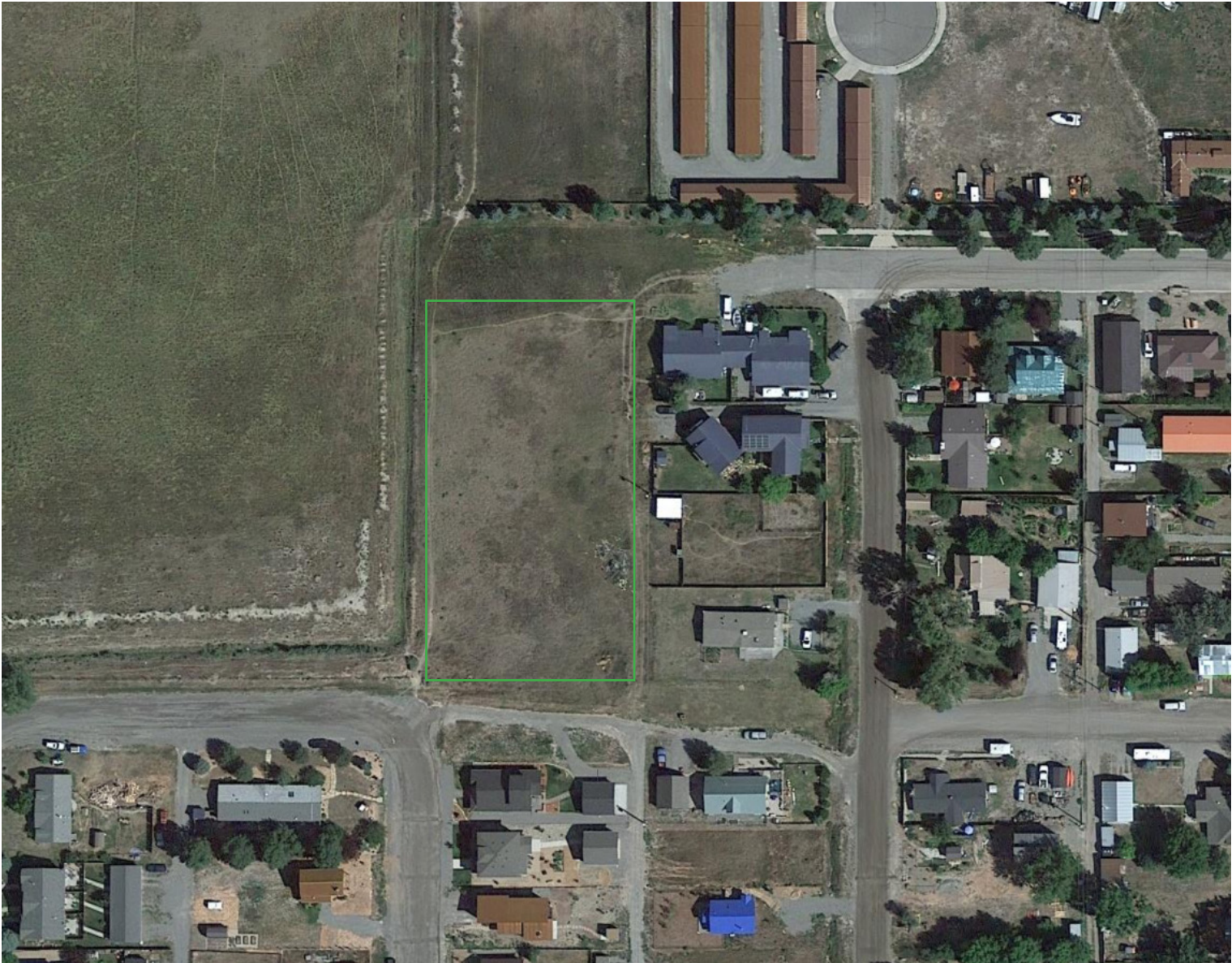
Parcel R001842: Aerial Perspective

Total Acreage: .98



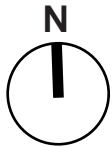
Parcel R001842: Ouray County Assessor’s Map

Total Acreage: .98



Parcel R001842: Topographic Contours

Total Acreage: .98



Parcel R001842: Adjacent Water & Sewer Mains

Town of Ridgway Public Works

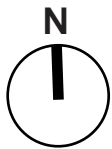


Water source:
Fourteen 3/4” taps purchased from the Town of Ridgway. See sketch plan on page 5 for infrastructural connections in plan

Water usage:
Typical maximum daily usage for planning purposes is ~ 350 gallons per day (GPD) per unit. which includes domestic use and irrigation. Translating to peak hour rate with a peaking factor of 4.0, equates to 1 gallon per minute per unit. The 8” water mains that can facilitate fire water delivery flow rates (up to 1500+ GPM). Demand from fourteen additional residential units should not impact the water main sizing.

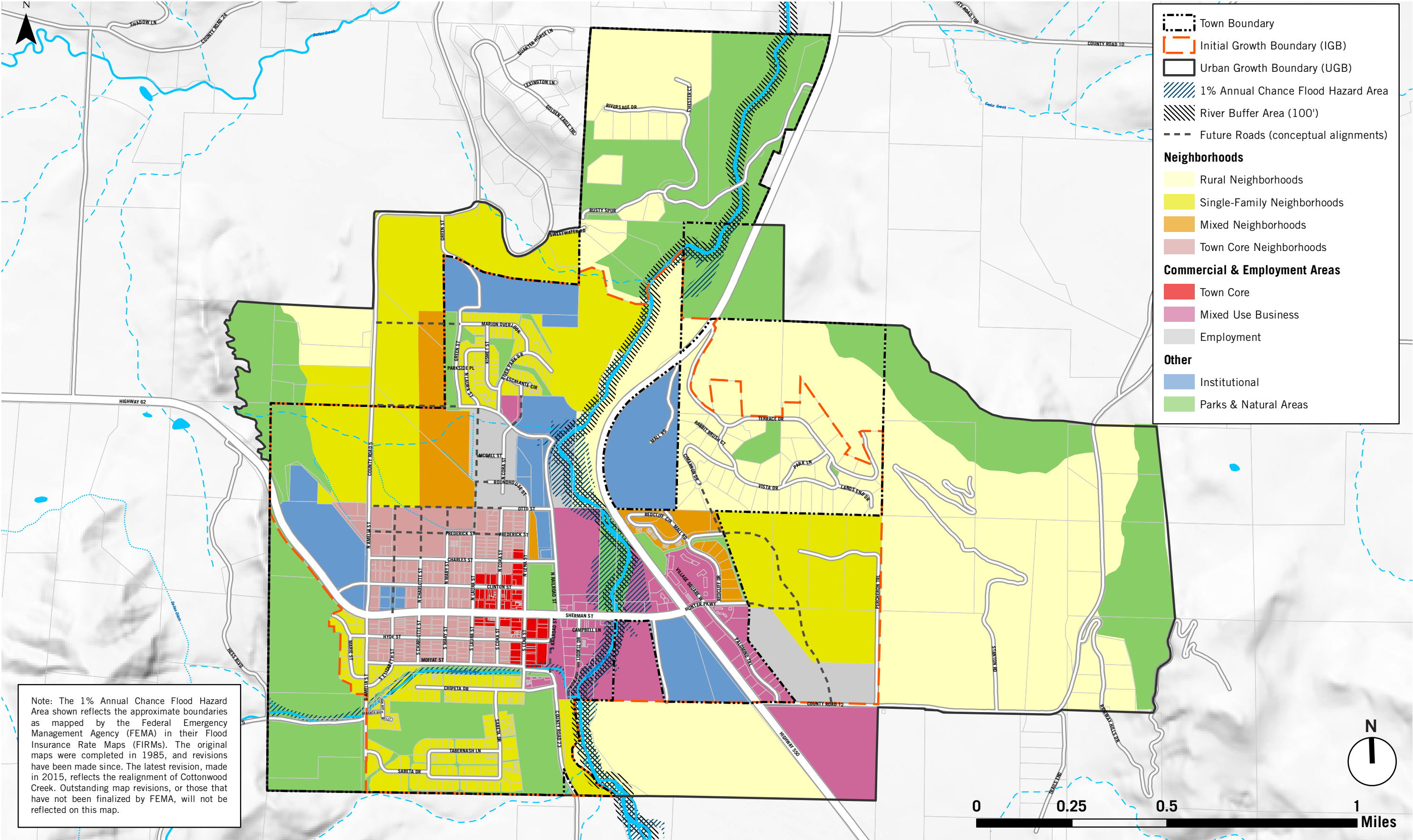
Sewer treatment plan:
Fourteen municipal sewer taps will be purchased for sewage treatment by the Town of Ridgway’s wastewater treatment facility.

Sewer treatment volume:
We estimate that fourteen units will generate a maximum of 250 GPD per unit, which excludes irrigation water usage. 8” sewer mains are typically sized to 8” diameter to facilitate maintenance, not flow capacity.

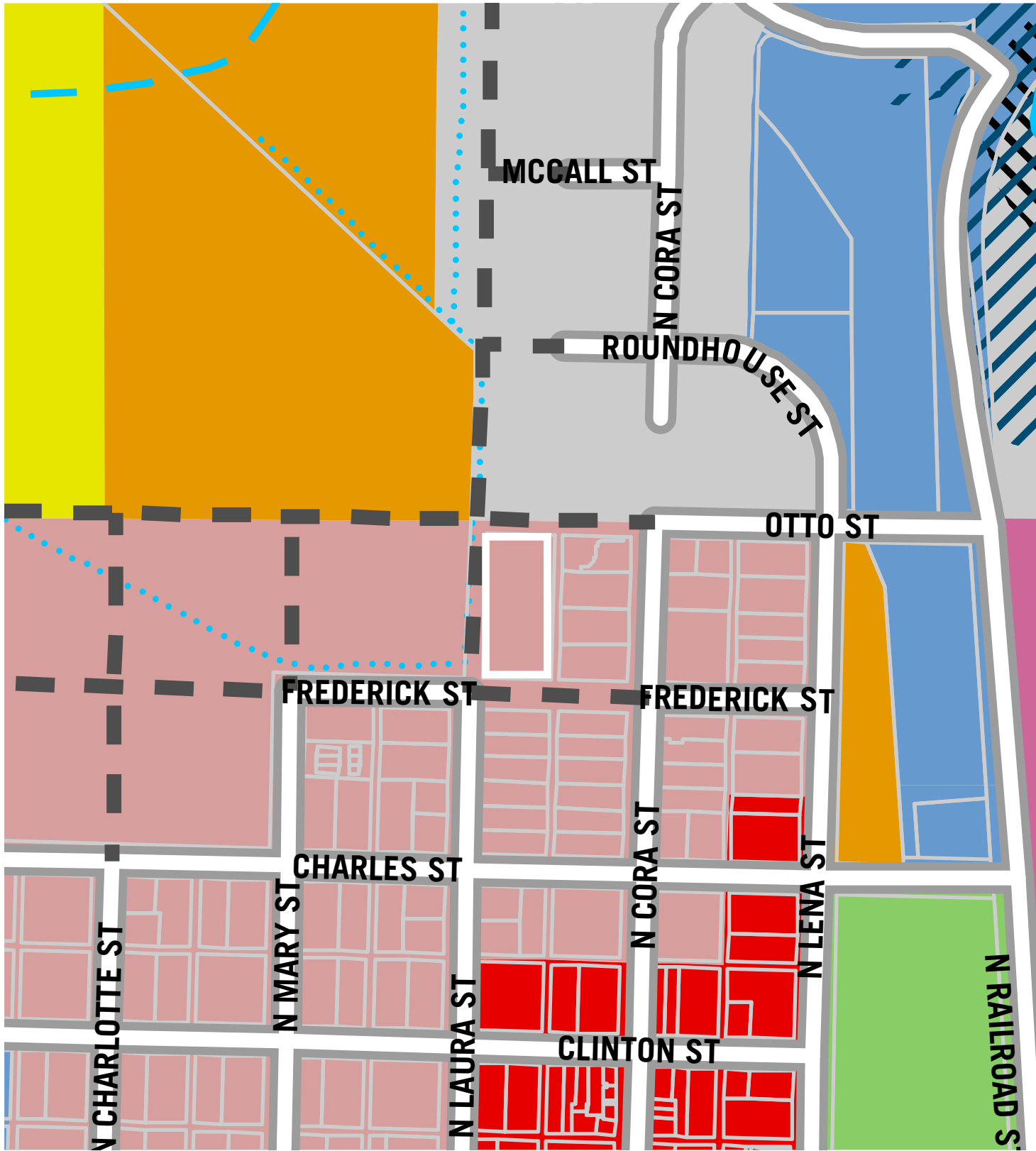




Parcel R001842: Ridgway Future Land Use Map



Parcel R001842: Future Land Use Plan Vicinity Map



Town Boundary

Initial Growth Boundary (IGB)

Urban Growth Boundary (UGB)

1% Annual Chance Flood Hazard Area

River Buffer Area (100')

Future Roads (conceptual alignments)

Neighborhoods

Rural Neighborhoods

Single-Family Neighborhoods

Mixed Neighborhoods

Town Core Neighborhoods

Commercial & Employment Areas

Town Core

Mixed Use Business

Employment

Other

Institutional

Parks & Natural Areas

Town Core Neighborhoods

Maximum Density/Height

6 to 12 du/ac; 3 stories

Primary Uses

Single-family homes, duplexes, and smaller multi-family residential uses

Supporting Uses

Professional offices and service businesses, limited retail, parks and recreational facilities, community gardens, civic and government facilities

Characteristics

- Town Core Neighborhoods are characterized by a gridded street pattern and alleys.
- Historic preservation and adaptive reuse of existing structures are a priority to maintain the historic character of this area. New development should respect the scale and character of existing development.
- While single-family homes and duplexes are the primary housing types found within these neighborhoods, they also support a range of higher density housing types such as townhomes and smaller multi-family buildings. Accessory dwelling units are encouraged where permitted.
- Office, service businesses, and retail uses are only allowed along Sherman Street. Such uses must appear "residential" to differentiate this section of Sherman Street from uses in the Town Core and maintain the character of the neighborhood.

Mixed Neighborhoods

Maximum Density/Height

12 to 18 du/ac; 3 stories

Primary Uses

Multifamily residential, townhomes, and duplexes

Supporting Uses

Other residential uses, small-scale retail or commercial services, parks and recreational facilities, community gardens, and civic and government facilities

Characteristics

- Mixed Neighborhoods provide for a range of housing types, particularly higher density types such as small multi-family buildings, quadplexes, triplexes, and townhomes.
- A range of supporting non-residential uses are also encouraged to provide services to residents of these and adjacent neighborhoods.

Employment

Maximum Density/Height

3 stories

Primary Uses

Light manufacturing and fabrication, professional offices

Supporting Uses

Storage and warehousing, wholesale retail, commercial services, alternative energy installations

Characteristics

- Employment areas are intended to serve the employment needs of Ridgway, and accommodate creative industries and other entrepreneurial pursuits.
- Higher intensity uses within these areas should mitigate impacts on adjacent residential neighborhoods.

VICINITY & TOPOGRAPHICAL INFORMATION

11

Yellow Brick Lane Townhomes
Sketch Plan

What has changed from our first proposal in September?

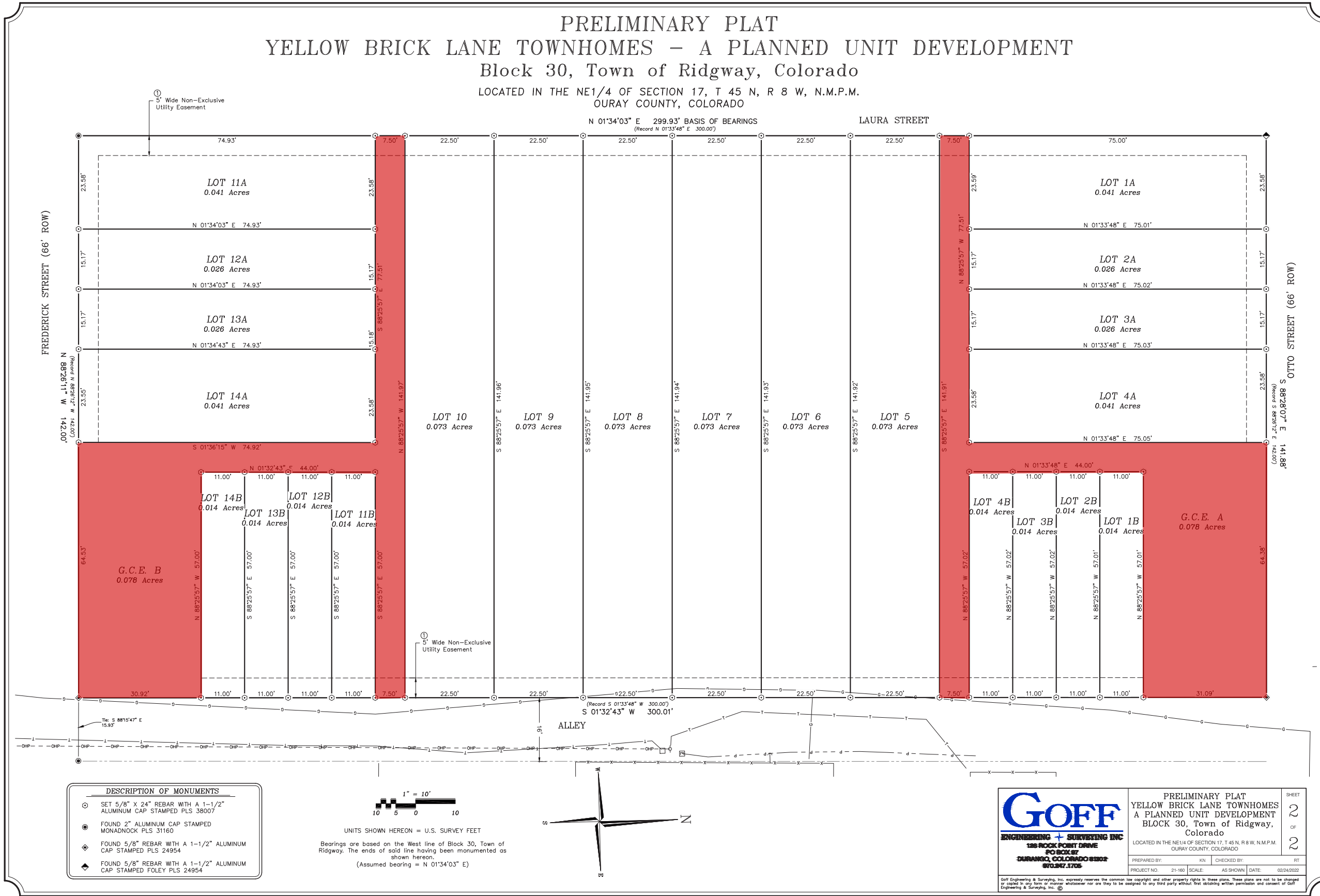
We are strictly trying to avoid the added upfront costs and maintenace costs of a Home Owner's Association:

The two issues that were not compatible with this objective were

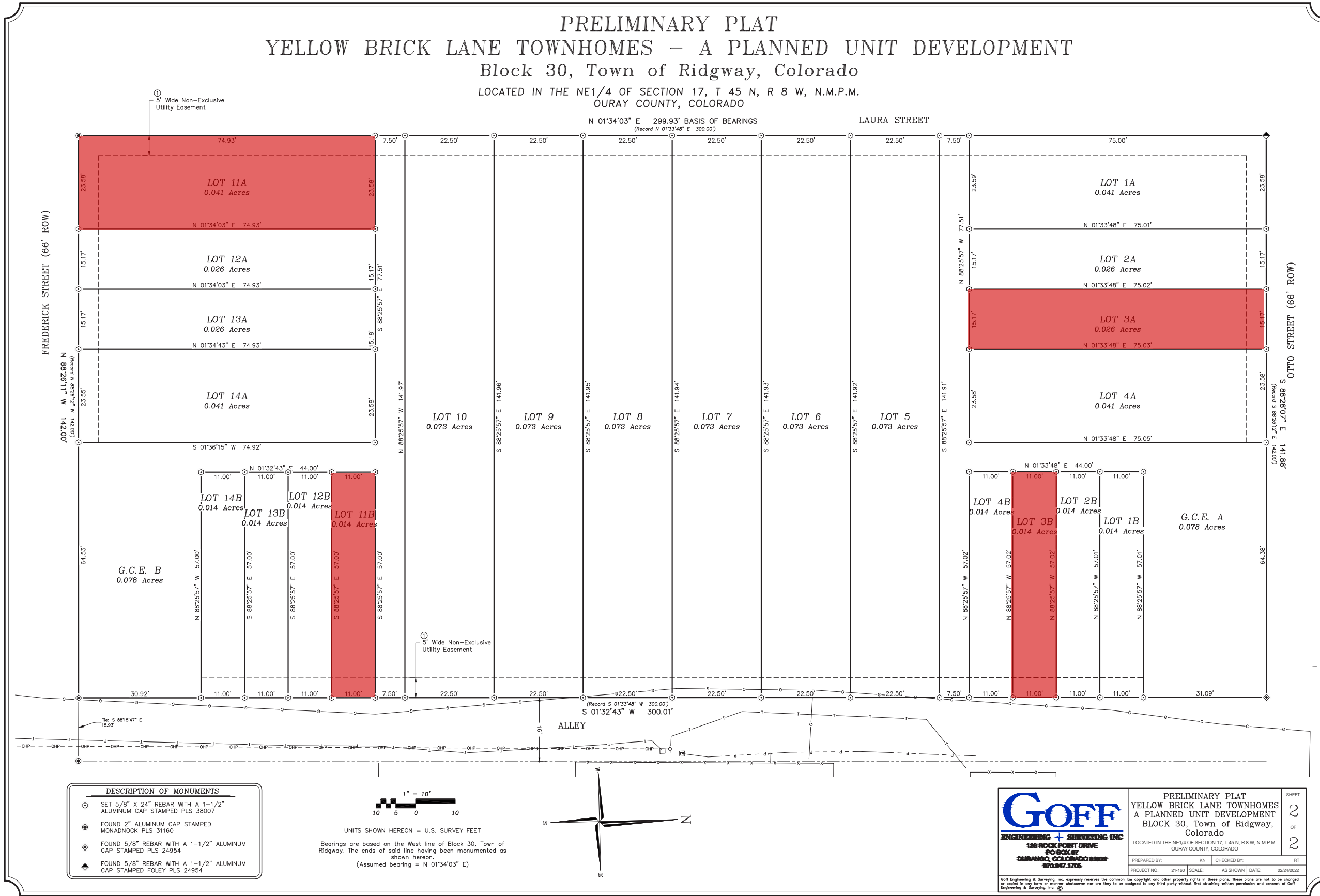
(1) long term maintenance of the General Common Elements (G.C.E)

(2) long term maintenace of carport structures on separate lots (i.e lot 1A/1B)

Issue 1: long term maintance of General Common Elements

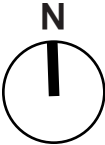


Issue 2: parking on seperate lot than the home...

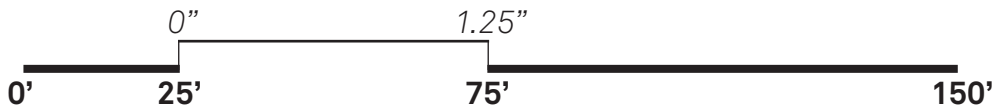


What is the result?

- No HOA (therefore lower home ownership cost)
- Decreased cost of development project insurance (more affordable home prices)
- Unit types are 'ready to go' (shorter design and construction timeline)
- Eliminate shared and common space (better neighborhood dynamics)
- Homes governed by party wall agreements (no shared property covenant)
- Removing the shared walkways (lower cost of maintenance)
- Breaks down massing on the north and south end to have side egress (better neighborhood context and compatibility)
- Puts all parking on the same lot as the house (more functional living and better circulation)
- Improved neighborly streetscape (affordable and workforce housing should be beautiful)
- Decongests the alley (better for site's neighbors and for future circulation)
- Reduces the scale of the massing on the site (historic residential feel)
- Nominal infrastructure adjustments – sewer and water laterals shift, detention pond rotates (straightforward engineering review)

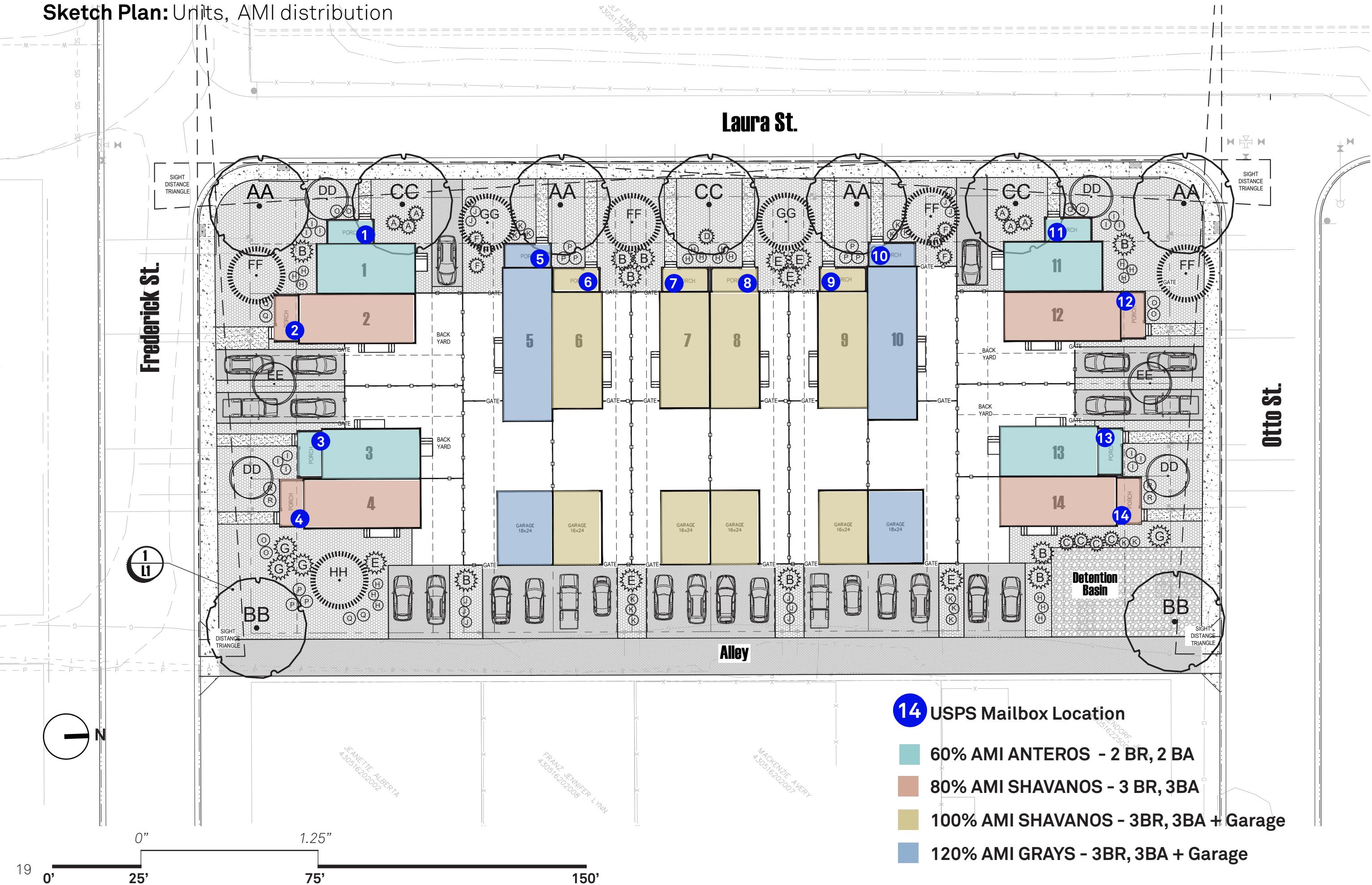


Sketch Plan: 7 buildings, 3 unit-types, 14 units, 60-120% AMI



ANTERO: 2BR, 2BA - 1024 sq. ft. - 1/2 off-street parking
SHAVANO: 3BR, 3BA 1216 sq. ft. - 2/3 off-street parking
GRAY: 3BR, 3BA 1600 sq. ft. - 3 off-street parking

Sketch Plan: Units, AMI distribution

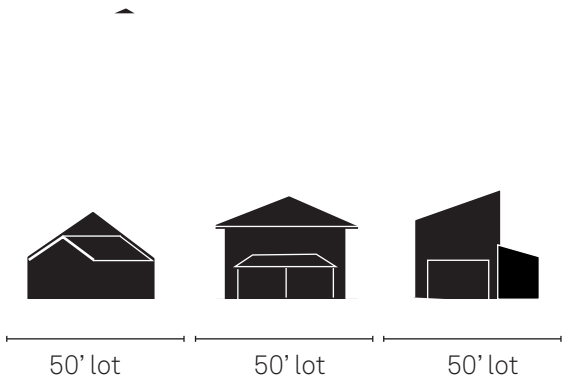
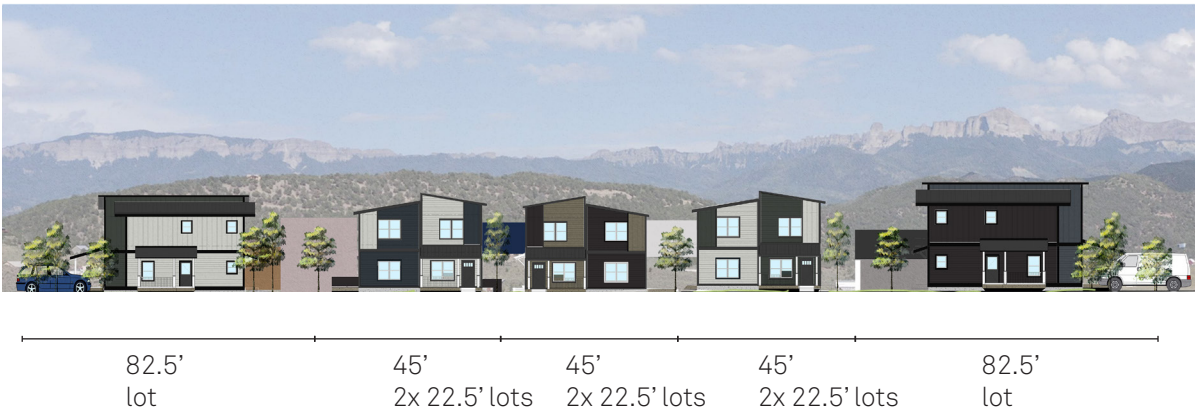


Infrastructure Improvements:

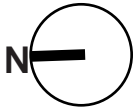
Please see the Civil Construction Document Set from Goff Engineering that is included with our Preliminary Plan submission to review our proposed infrastrucure improvements.

Sketch Plan: Design Principles

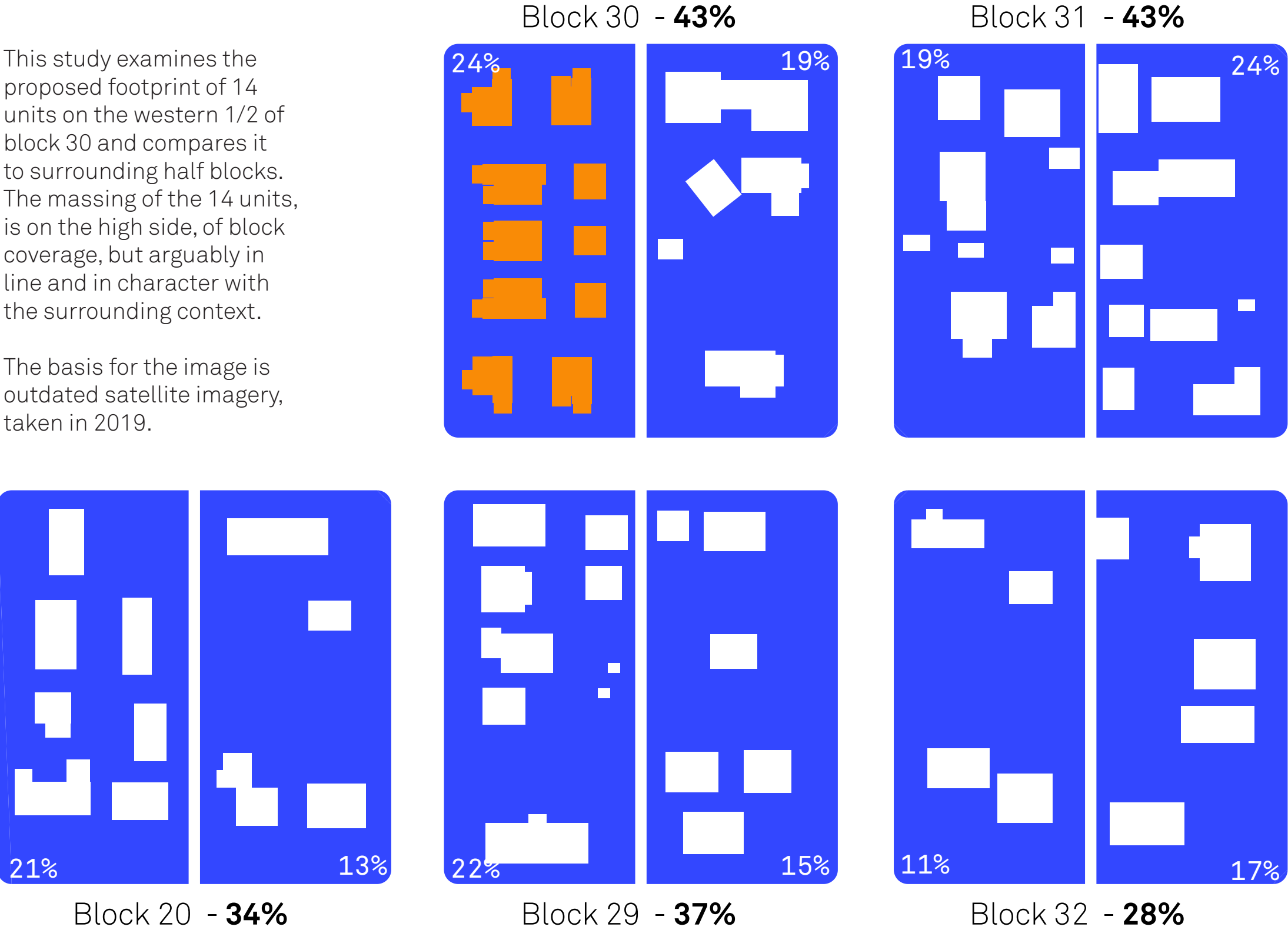
Neighborhood Context - Street Syncopation



The proposal takes the layout of the town’s Historic Residential fabric as the basis for the site plan - mostly, a single family home on a 50’ wide lot, with parking accessed off the alley in the back. However, our proposal adds density to these structures, making a 2-unit set of town homes on a 50’ wide lot, and a 4-unit set of town homes on a 75’ lot that face (and activate) north, to Otto St and south to Frederick Street.



Comparative Block Coverage Study - Historic Residential Zoning/Town Core Neighborhoods



Guiding Design Principles

- Varied street scape by staggering front yard setbacks
- Street-facing elevations will have vibrant color accents
- Unique front doors, porches, using solids & voids to create shadow-lines
- Zero-scape landscaping
- EV charging ready homes, option for PV solar upgrade
- All-electric
- Build a dignifying neighborhood for Ridgway's full-time workforce

Unit Type Definition

Dwelling, Townhome:

*“A single family dwelling at least two stories in height that is attached to at least one other single family dwelling at least two stories in height by an unpenetrated vertical wall running from ground level or below ground level to at least the top of the highest floor designed for human occupancy, and that has a pedestrian entrance leading directly from the ground floor of the dwelling unit to a street fronting the lot on which the dwelling unit is located. **Individual townhome dwellings may be located on separate lots,** or a group a group of two or more townhouse dwellings may be located on a single lot.”*

-7-3-2 Ridgway Municipal Code, page 4

Duplex, triplex, fourplex definitions all state: *“a single structure, located on a single lot”*

Project Budget

Project Goal

- Homes for-sale; prioritized for Ridgway employees:
 - School district
 - Non-profit health care
 - Government
 - Essential/Emergency Response
- Sold to 60-120% Ouray County Area Median Income
 - 100% OC AMI, 3 ppHH = \$71,313
 - 60% OC AMI, 3ppHH \$42,787
 - 120% AMI OC AMI, 3ppHH \$85,575
- Targeting a sales prices of \$295K-\$495K
 - Constraints on funding – why we are concerned about infrastructure extents
- Non-Profit Development
 - Home Sale Prices = (Project Cost – Project Subsidies) / # Units

Project Approach

- Non-Profit Development
 - Home Sale Prices = (**Project Cost** – **Project Subsidies**) / **# Units**
 - **Attacking the cost:**
 - Donated Land
 - Low-interest construction Finance
 - Foundation PRIs
 - DOLA loans
 - Efficient Construction
 - Modular from Fading West (Time 100 most influential companies of 2022)
 - Stryker Construction ‘commercial’ approach
 - Infrastructure extents
 - Tap Fees
 - **Project Subsidies**
 - \$35K/unit DOLA ‘gap funding’
 - Waivers on Tap Fees, Building Permits, and plan review
 - **Density & zoning**
 - Fixed costs/#
 - More units, lower cost
- Targeting a sales prices of \$295K-\$495K
 - Constraints on funding – why we are concerned about infrastructure extents
- Non-Profit Development
 - Home Sale Prices = (Project Cost – Project Subsidies) / # Units

		Project Square Footage:		19,424
		TOTAL COST	UNIT COST	COST/SF
<u>Pre-Development Costs</u>				
	Geotech, Environmental, Civil, Design, Review and Application Fees	\$ 195,000	\$ 13,929	\$ 10.04
<u>Land Acquisition Cost</u>				
	Western 1/2 Block 30	\$ 1,200,000	\$ 85,714	\$ 61.78
<u>Horizontal Development</u>				
	Road, Curb Gutter, Sidewalk, Utilities, Laterals, Finish Grading,	\$ 785,000	\$ 56,071	\$ 40.41
	Add Asphalt Paving	\$ 213,500	\$ 15,250	\$ 10.99
	Extend Frederick Street	\$ 65,000	\$ 4,643	\$ 3.35
	SMPA connection	\$ 110,000	\$ 7,857	\$ 5.66
	6% Contingency	\$ 70,410	\$ 5,029	\$ 3.62
	TOTAL	\$ 1,243,910	\$ 88,851	\$ 64.04
<u>Vertical Construction</u>				
	17024 sf	\$ 2,298,240	\$ 164,160	\$ 118.32
	Foundations, Set & Stitch	\$ 1,650,000	\$ 117,857	\$ 84.95
	Garages	\$ 135,000	\$ 9,643	\$ 6.95
	Tap Fees	\$ 168,000	\$ 12,000	\$ 8.65
	Building Permit Fees	\$ 85,000	\$ 6,071	\$ 4.38
	Project Builders Risk & GL Insurance	\$ 98,000	\$ 7,000	\$ 5.05
	Legal, Marketing	\$ 28,000	\$ 2,000	\$ 1.44
	Public Improvements Bond	\$ 15,000	\$ 1,071	\$ 0.77
	8% Contingency	\$ 358,179	\$ 25,584	\$ 18.44
	Development Consulting Fee	\$ 121,587	\$ 8,685	\$ 6.26
	TOTAL	\$ 4,957,006	\$ 354,072	\$ 255.20
<u>YELLOW BRICK LANE PROJECT COST</u>		\$ 7,595,915.78	\$ 542,565.41	\$ 391.06
<u>Project Subsidies</u>				
	Site Contribution	\$ 1,200,000	\$ 85,714.29	\$ 61.78
	DOLA HOME Grant Program	\$ 490,000.00	\$ 35,000.00	\$ 25.23
	SMPA	\$ 35,000.00	\$ 2,500.00	\$ 1.80
	Ridgway Variances, Contributions, and Partnerships	\$ 531,500	\$ 37,964.29	\$ 27.36
	Total	\$ 2,256,500.00	\$ 161,178.57	\$ 116.17
<u>YELLOW BRICK LANE SUBSIDIZED PROJECT COST</u>		\$ 5,339,415.78	\$ 381,386.84	\$ 274.89

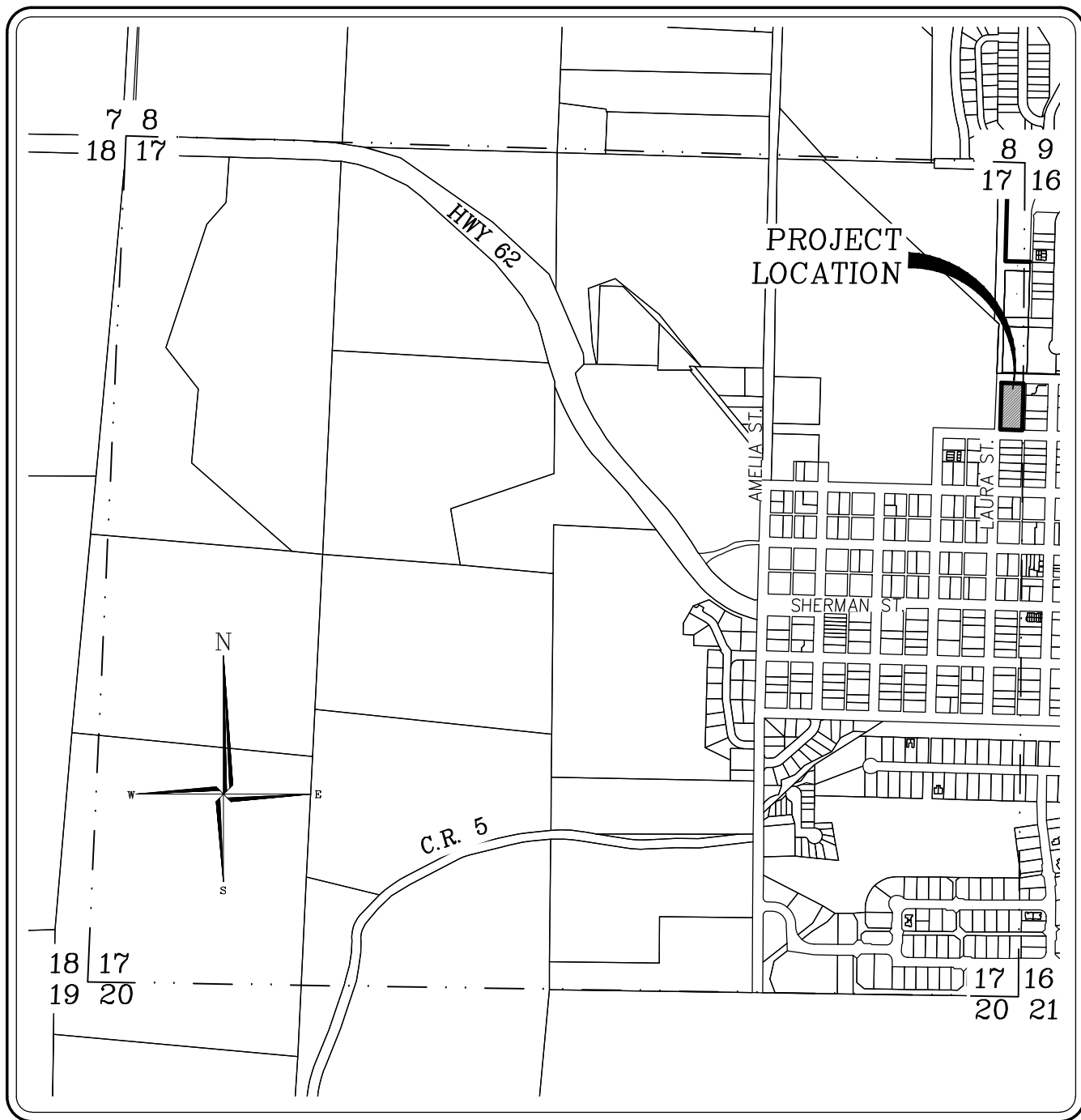
\$ 295,000.00

\$ 395,000.00

\$ 495,000.00

PRELIMINARY PLAT FOR
YELLOW BRICK TOWNHOMES SUBDIVISION
A PLANNED UNIT DEVELOPMENT
Replat of Lots 1-12, Block 30, Town of Ridgway

LOCATED IN THE NE1/4 OF SECTION 17, T 45 N, R 8 W, N.M.P.M.
OURAY COUNTY, COLORADO



VICINITY MAP
SCALE : 1" = 1000'
SECTION 17, T 45 N, R 8 W, N.M.P.M.

GENERAL DEDICATIONS:

- The five (5) and ten (10) foot wide non-exclusive access, maintenance, drainage & Utility easements, as shown hereon, are hereby dedicated for the purpose of ingress and egress, installation, operation, maintenance, reconstruction, improvement, replacement and removal of underground utilities and drainage facilities, together with their related equipment, as defined in the Declaration of Covenants, Conditions, and Restrictions for Yellow Brick Townhomes Subdivision.
- Tract A, as shown hereon, is hereby dedicated to Ridgway Homes LLC for the purpose of stormwater management, and as an access & utility easement. No habitable structures shall be allowed on this tract.
- The ten (10) foot wide access & maintenance easement, as shown hereon, is hereby dedicated to the Ridgway Homes LLC and the Town of Ridgway for the purpose of ingress and egress, installation, operation, maintenance, reconstruction, improvement, replacement or removal of related equipment as defined in the Declaration of Covenants, Conditions, and Restrictions for Yellow Brick Townhomes Subdivision.

PLAT NOTES:

- Research for recorded easements and rights of way was conducted by Land Title Guarantee Company and this property may be subject to the easements, rights and restrictions as listed in their Title Policy Order No. OU85007294.
- Unit owners in Yellow Brick Townhomes will qualify for the Yellow Brick Townhomes Deed Restriction and Yellow Brick Party Wall Agreements and are subject to the Declaration of Covenants, Conditions and Restrictions of the Yellow Brick Townhomes as recorded in the Office of the Ouray County Clerk and Recorder at Reception Number _____.
- Tract A will be reserved for stormwater management and no habitable structures are allowed on the tract. Stormwater detention facilities located on Tract A will be maintained by Ridgway Homes LLC.
- All construction will conform with Ridgway Municipal code.
- All outdoor lighting shall conform to Ridgway Municipal Code Section 6-5 "Outdoor Lighting Regulations" including dark sky requirements.
- Snow removal within the planned unit development and in right of way is the direct responsibility of the homeowners of Yellow Brick Townhomes and will be managed by the Declaration of Covenants, Conditions, and Restrictions for Yellow Brick Townhomes recorded under Reception No. _____.
- Landscape and irrigation is the direct responsibility of the homeowners of the Yellow Brick Townhomes.
- No new streets or alleys are proposed as part of this project.
- According to FEMA Flood Insurance Rate Map 0801380001D Community Panel Number 080138 0001 D dated September 27, 1985 this parcel is within Zone C; Areas determined to be outside 500 year floodplain.
- A geotechnical study has been provided: Project No. 21.6189 dated January 17, 2022 by Cesare, INC. Geotechnical Engineers & Construction Materials Consultants Project No. 21.6189 dated January 17th, 2022. High plasticity soils were found on site.
- The U.S. Environmental Protection Agency map of radon zones indicates that Ouray County, Colorado is in Zone 1 (highest risk for exposure to radon gas).

ATTORNEYS CERTIFICATE:

I, _____ an attorney at law duly licensed to practice before the courts of record of Colorado, do hereby certify that I have examined the title to all land herein platted and that title to such lands in the dedicators and owners, and that the property dedicated hereon has been dedicated free and clear of all liens and encumbrances, except as follows:

Dated this _____ day of _____, 2022

By: _____
Attorney at Law

APPROVAL OF TOWN ATTORNEY:

Approved for recording with the Town of Ridgway Town Clerk this _____ day of _____, 2022

By: _____
Bo Nerlin, Town of Ridgway Town Attorney

PLANNING COMMISSION:

Recommended for approval by the Planning Commission this _____ day of _____, 2022

By: _____
Michelle Montague, Town of Ridgway Planning Commission Chairperson

TOWN COUNCIL:

Approved by the Town Council this _____ day of _____, 2022.

By: _____
John Clark Mayor, Town of Ridgway Mayor

LAND USE TABLE

Total no. of Lots	=	14
Average lot size	=	0.065 Acres (2,831.412 Sq.Ft)
Total acreage	=	0.977 Acres (42,558.294 Sq.Ft)
Residential density	=	14.3 Units/acre
Lots 1 - 14	=	Residential
Tract A	=	Storm Water Management

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS:

That RIDGWAY HOMES, LLC., whose address is P.O. Box 4222 Telluride, Colorado 81435, being the legal and record owner of Lots 1-12 of Block 30, Town of Ridgway, Colorado;

Has caused the same to be adjusted and resubdivided under the name and style of the YELLOW BRICK TOWNHOMES and further consists of:

LOTS 1-14 and Tract A

THIS PLAT IS HEREBY EXECUTED BY THE FOLLOWING PARTIES:

RIDGWAY HOMES, LLC

By: _____

PAUL MAJOR - MANAGER

STATE OF _____ : SS:

COUNTY OF _____ :

The foregoing instrument was acknowledged before me by Paul Major, Manager Ridgway Homes, LLC on this _____ day of _____, 2022, for the aforementioned purposes.

My Commission Expires _____

Notary Public

ENGINEER'S CERTIFICATE:

I, _____, a Registered Professional Engineer in the state of Colorado, do certify that the curb, gutter, sidewalk, sanitary sewer system, water distribution system, fire protection system and storm drainage system for this development are properly designed, meet the Town of Ridgway specifications, and are adequate to serve the development shown hereon.

Robert S. Harries, P.E.
Colorado Registration No. 35876

Date _____

CERTIFICATE OF SURVEYOR:

I hereby state that this survey and plat were prepared from field notes of an actual survey performed by me or under my direct responsibility, supervision and checking, and from documents recorded in the Office of the San Miguel County, Colorado, Clerk and Recorder, and that, in my professional opinion, they are true and correct to the best of my knowledge, belief and information based on the standards of care of Professional Land Surveyors practicing in the State of Colorado. This survey is not a guaranty or warranty, either expressed or implied.



Robert L. Trudeau, P.L.S.
Colorado Registration No. 38007

Date _____

NOTICE:

According to the laws of the State of Colorado, any legal action based upon any defect in this survey must commence within three years after such defect was first discovered. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

GOFF ENGINEERING + SURVEYING INC. 126 ROCK POINT DRIVE PO BOX 97 DURANGO, COLORADO 81302 970.247.1705	PRELIMINARY PLAT FOR YELLOW BRICK TOWNHOMES SUBDIVISION A PLANNED UNIT DEVELOPMENT Replat of Lots 1-12, Block 30, Town of Ridgway LOCATED IN THE NE1/4 OF SECTION 17, T 45 N, R 8 W, N.M.P.M. OURAY COUNTY, COLORADO		SHEET 1 OF 2
	PREPARED BY: KN	CHECKED BY: RT	
PROJECT NO. 21-160	SCALE: AS SHOWN	DATE: 07/18/2022	

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PRELIMINARY PLAT FOR
YELLOW BRICK TOWNHOMES SUBDIVISION
A PLANNED UNIT DEVELOPMENT
Replat of Lots 1-12, Block 30, Town of Ridgway

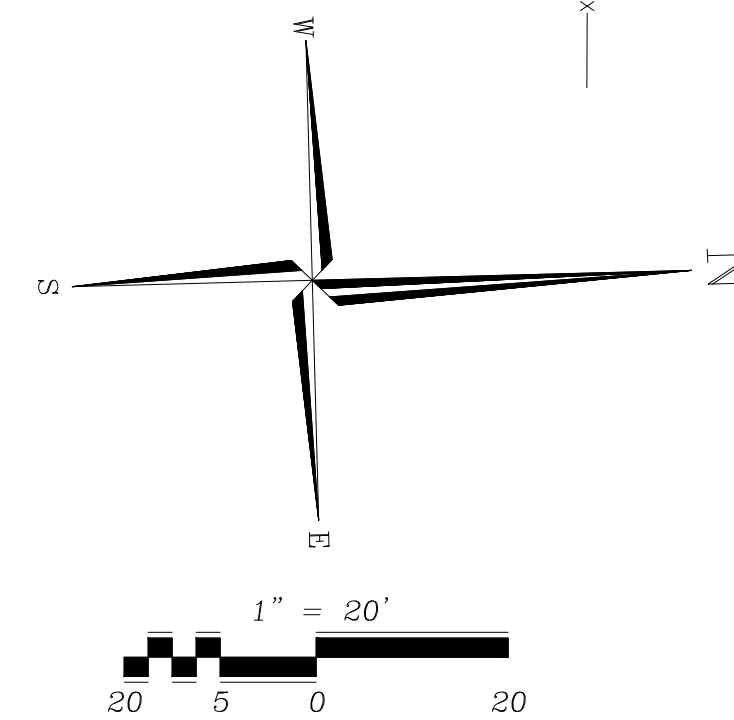
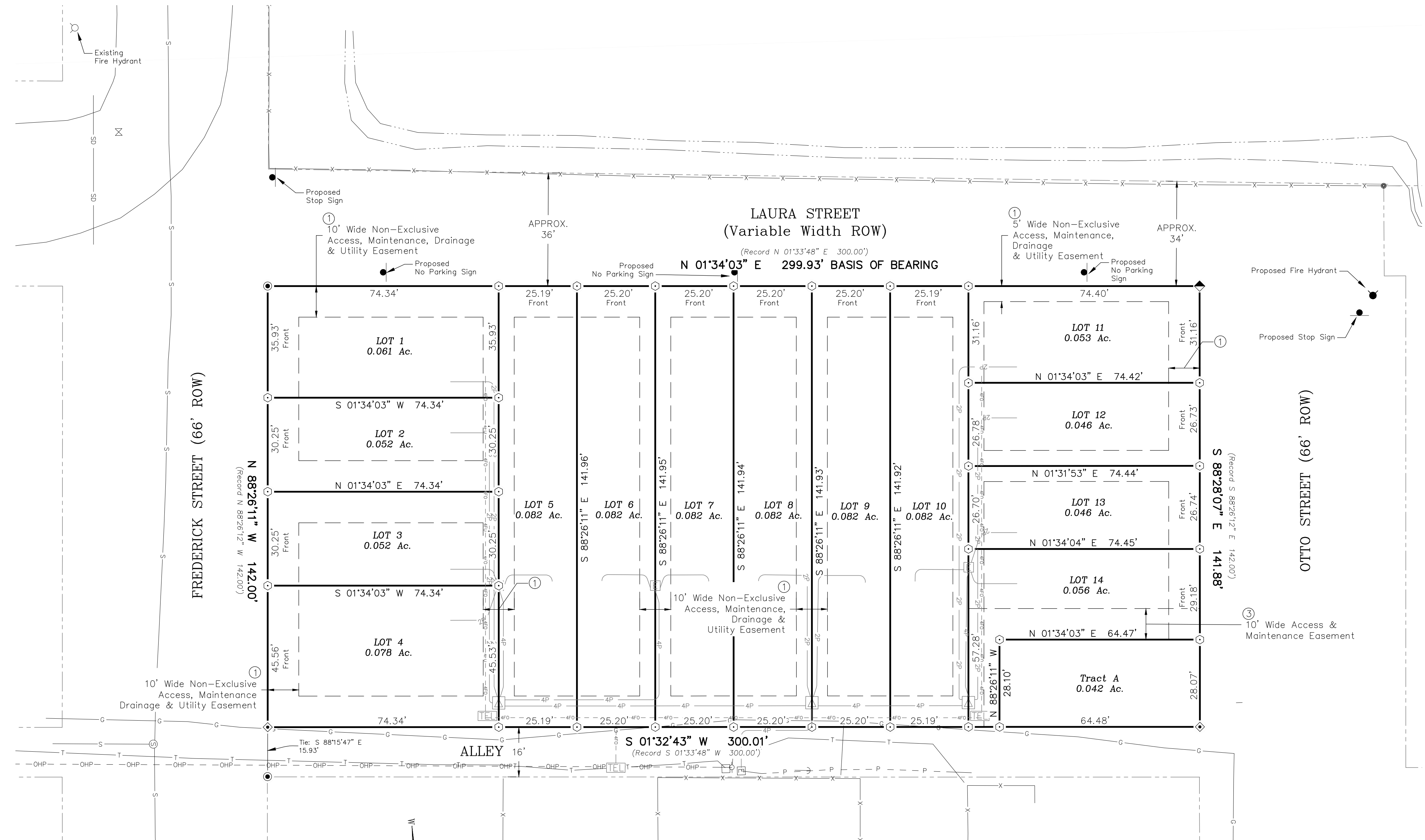
LOCATED IN THE NE1/4 OF SECTION 17, T 45 N, R 8 W, N.M.P.M.
OURAY COUNTY, COLORADO

DESCRIPTION OF MONUMENTS

- SET 5/8" X 24" REBAR WITH A 1-1/2" ALUMINUM CAP STAMPED PLS 38007
- FOUND 2" ALUMINUM CAP STAMPED MONADNOCK PLS 31160
- ◆ FOUND 5/8" REBAR WITH A 1-1/2" ALUMINUM CAP STAMPED PLS 24954
- ◆ FOUND 5/8" REBAR WITH A 1-1/2" ALUMINUM CAP STAMPED FOLEY PLS 24954

LEGEND

- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL BOUNDARY
- PROPOSED EASEMENT
- EDGE OF GRAVEL ROADWAY
- EXISTING FENCE
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING SEWER LINE
- EXISTING TELECOM LINE
- EXISTING GAS LINE
- EXISTING STORM DRAIN
- EXISTING DITCH
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING GUY ANCHOR
- EXISTING WATER VALVE
- EXISTING TELEPHONE PEDESTAL
- EXISTING SEWER MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED STREET SIGN



UNITS SHOWN HEREON = U.S. SURVEY FEET

Bearings are based on the West line of Block 30, Town of Ridgway. The ends of said line having been monumented as shown hereon.
(Assumed bearing = N 01°34'03" E)

GOFF
ENGINEERING + SURVEYING INC.
126 ROCK POINT DRIVE
PO BOX 97
DURANGO, COLORADO 81302
970.247.1705

PRELIMINARY PLAT FOR
YELLOW BRICK TOWNHOMES
SUBDIVISION
A PLANNED UNIT DEVELOPMENT
Replat of Lots 1-12, Block 30,
Town of Ridgway
LOCATED IN THE NE1/4 OF SECTION 17, T 45 N, R 8 W, N.M.P.M.
OURAY COUNTY, COLORADO

PREPARED BY:	KN	CHECKED BY:	RT
PROJECT NO.	21-160	SCALE:	AS SHOWN
		DATE:	07/18/2022

SHEET
2
OF
2

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Planned Unit Development Guide
for
Yellow Brick Lane Subdivision
Lots 1-14 and Tract A

Recommended for approval by the Town of Ridgway Planning Commission

on_____ day of _____, 2022

Approval by the Town of Ridgway Town Council

on_____ day of _____, 2022

Recorded with the Ouray County Clerk and Recorder

at Reception Number_____

on_____ day of _____, 2022

1. Relationship with Ridgway Municipal Code (“RMC”):
 - a. The standards and provisions set forth in the Yellow Brick Lane Subdivision Planned Unit Development Guide (“PUD Guide”) provide development standards, permitted uses, and general administration provisions applicable to Lots 1-14 and Tract A of the Yellow Brick Lane Subdivision (“Property”)
 - b. When there is a conflict between the provisions of this PUD Guide and the RMC, the PUD Guide shall apply
 - c. All standards, guidelines, procedures, and other provisions of the RMC, which are not explicitly identified or addressed in this PUD Guide, and as may be amended from time to time, shall apply to the Yellow Brick Lane Subdivision
 - i. For the purposes of applying RMC provisions, the underlying zoning district, HR Historic Residential, shall be assigned to Lots 1-14 and Tract A of Yellow Brick Lane Subdivision
 - d. All enforceability and administrative provisions of the RMC shall be applicable and enforceable in this PUD Guide.
2. Intent:
 - a. Yellow Brick Lane Townhomes consists of 14 townhome units that will be permanently deed-restricted for the workforce. In order reasonably maximize the use of this site for the purpose of affordable workforce housing and develop the site economically, in a manner that is conducive to selling units between 60-120% of Ouray County’s Area Median Income, we are requesting that the Town consider variances to the proposed density, variances to the Town’s dimensional requirements, and variances to required improvements and infrastructural standards.
 - b. The Town will receive significant public benefit, through both the development of affordable housing and the construction of Town infrastructure in three currently undeveloped Right of Ways. Despite the Planned Unit Development request, the project has been designed in a manner that will provide general conformity with the Town’s Master Plan. Secondly, all uses proposed as part of this development are classified as permitted uses within the Town’s Historic Residential Zoning District.
3. Uses By Right:
 - a. Dwelling, Townhouse
 - b. Public Utility Service Facilities
 - i. Stormwater Detention Facilities
 - c. Accessory Uses
4. Use Covenant:
 - a. The use and occupancy of the Housing Units in the PUD are governed by the Rural Homes Deed Restriction Covenant for Yellow Brick Lane and the Rural Homes Deed Restriction Guidelines for Yellow Brick Lane and will apply to Lots 1-14, hereafter referred to as “DR.”
5. Prohibited Uses:
 - a. Short Term Rental
 - b. Home Occupation other than allowed uses, per DR §8.3
 - c. Creation of Additional Unit, per DR §8. In no event shall declarant create an additional “Dwelling Unit” as defined in the RMC, in or as part of the Housing Unit unless authorized by the Housing Authority in writing and allowed by the zone district and subject to all local building and planning codes and permissions.
 - d. Alternation of Housing Unit, per DR §9. The Housing Unit shall not be altered, demolished, partially demolished, released from these covenants, or relocated, unless and except in compliance with the Guidelines and the applicable Land Use Code provisions in effect at the time of the application for alteration, demolition, release, or relocation.
6. Dimensional Standards
 - a. Please see table attached as Exhibit 1 for the PUD dimensional standards
 - b. Please see attached ‘YBL PUD Site Plan’ that illustrates lot sizes, and dimensional standards
7. Parking Standards
 - a. All standards, guidelines, procedures, and other provisions of the RMC Section 7-3-15 - Dimensional and Off-Street Parking Requirements, which are not explicitly identified or

addressed in this PUD Guide, and as may be amended from time to time, shall apply to the Property

- b. The requested waivers for the Yellow Brick Lane Subdivision include:
 - i. Lot 1 & Lot 11 are only required to have 1 space per dwelling unit
 - ii. Lots 1-3 and Lots 11-13 are not provided sufficient maneuvering area as described in RMC section 7-3-15(C-3). Homeowners and their guests of these lots will be permitted to back onto public streets
8. Sign regulations
 - a. All standards, guidelines, procedures, and other provisions of the RMC 7-3-17 – Sign Regulations, as may be amended from time to time, shall apply to the Property
 - b. “No Parking Anytime” signs shall be installed by the Owner along N. Laura Street, in compliance with Town Regulations
9. Landscaping Regulations
 - a. All standards, guidelines, procedures, and other provisions of the RMC 7-7 – Landscape Regulations, as may be amended from time to time, shall apply to the Property
 - b. Landscaping shall be installed and maintained in accordance with the approved Landscape Plan
 - c. Allowed fencing will follow all standards, procedures, and other provisions of RMC 6-3-1 – Fence, Hedge and Wall Restrictions and will be constructed as depicted on the approved Landscape Plan - Detail 1 on Sheet L1
10. Residential Design Guidelines
 - a. All residential structures on the Property shall comply with the following sections of the RMC, as may be amended from time to time:
 - i. Section 6-4, Fence, Hedge and Wall Regulations
 - ii. Section 6-5, Outdoor Lighting Regulations
 - iii. Section 6-6, Residential Design Standards
 - iv. Chapter 14, Public Property
11. Definitions:
 - a. Terms, phrases, and words used in the PUD Guide shall have the following meanings.
 - i. All terms, phrases, and words used in the PUD Guide shall have the same meaning as those used or defined in the RMC except for those defined in this Section 10.
 1. Stormwater Detention Facility: *a constructed depression in an urban landscape that receives and stores the stormwater runoff from adjacent drainage areas.*

Exhibit 1: Dimensional Standards of Yellow Brick Lane Townhomes PUD

Exhibit 1: Dimensional Requirements: YBL PUD

Use		Minimum Lot		Max. Lot Coverage (%)	Min. Setbacks (ft)				Structure Height
		Width (ft)	Size (sf)		Front	Rear ⁽¹⁾	Side ⁽¹⁾	Max. Side on Corner Lot	
YBL PUD	Townhome	25	1900	60	10	8	3 ^(7,9)	5 ⁽⁸⁾	27

Currently existing notes in RMC 7-3-15 - Dimensional and Off-Street Parking Requirements

⁽¹⁾ When the rear or side lot line abuts an alley, the setback shall be a minimum of two feet

⁽⁷⁾ If a single-family or duplex dwelling is five feet or less from the side property line, a fire suppression system is required. Fire suppression systems are required in all other buildings per

Notes specific to the Yellow Brick Lane Townhomes Planned Unit Development

⁽⁸⁾ SMPA has allowed for a reduced easement from 10' to 5' on the west side of Lot 11, the covered porch structure can encroach up to, but not within 5 feet of the property line.

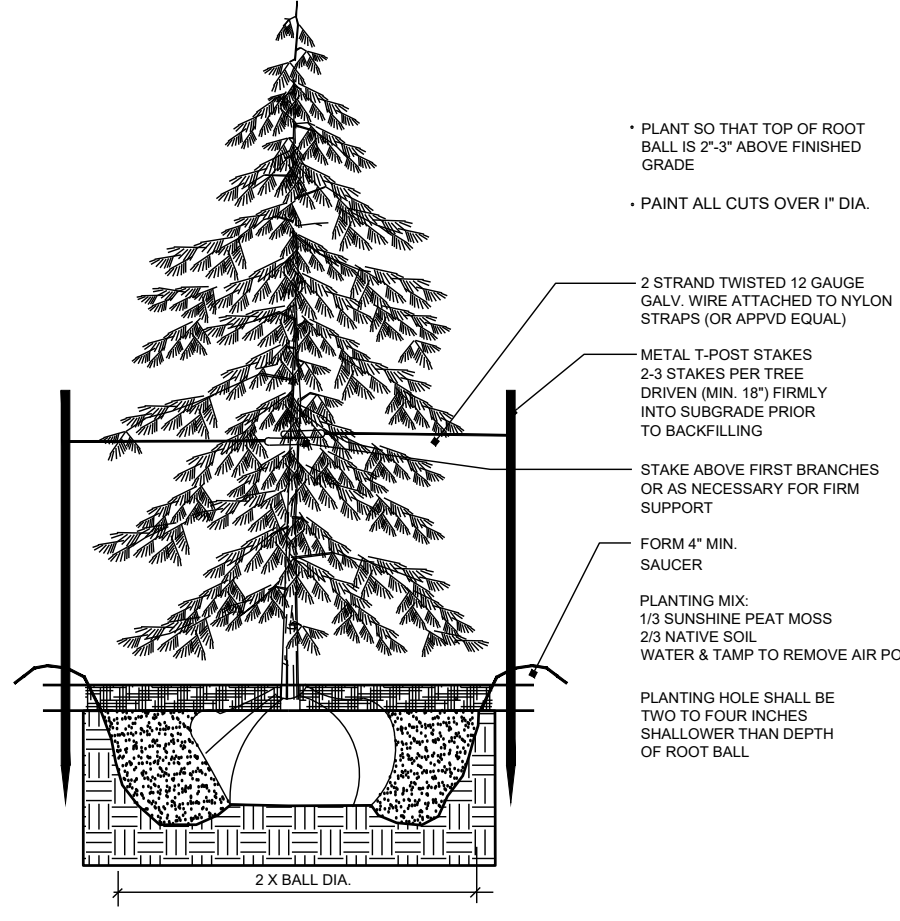
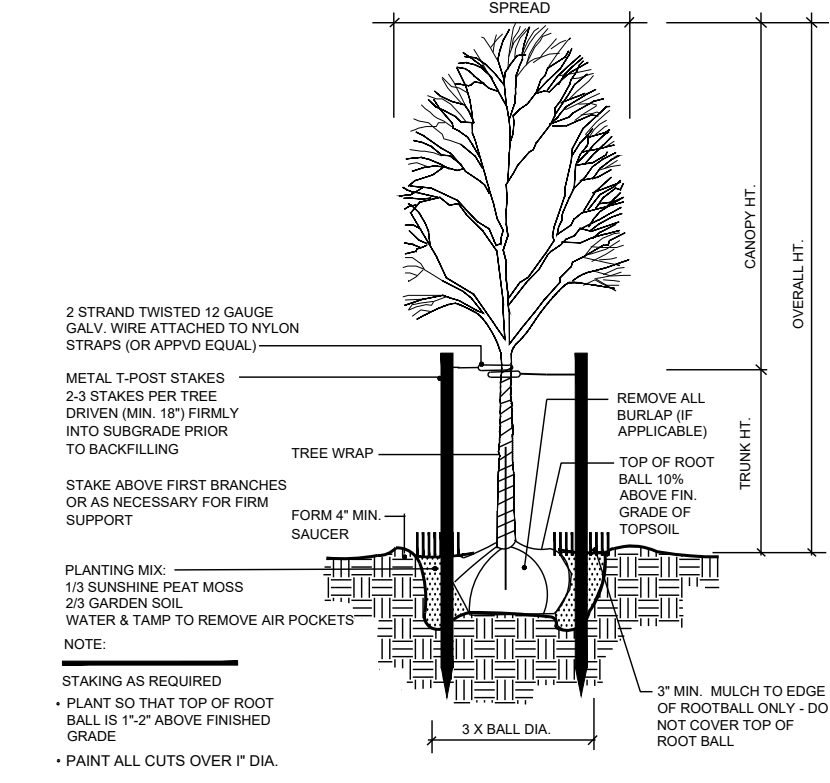
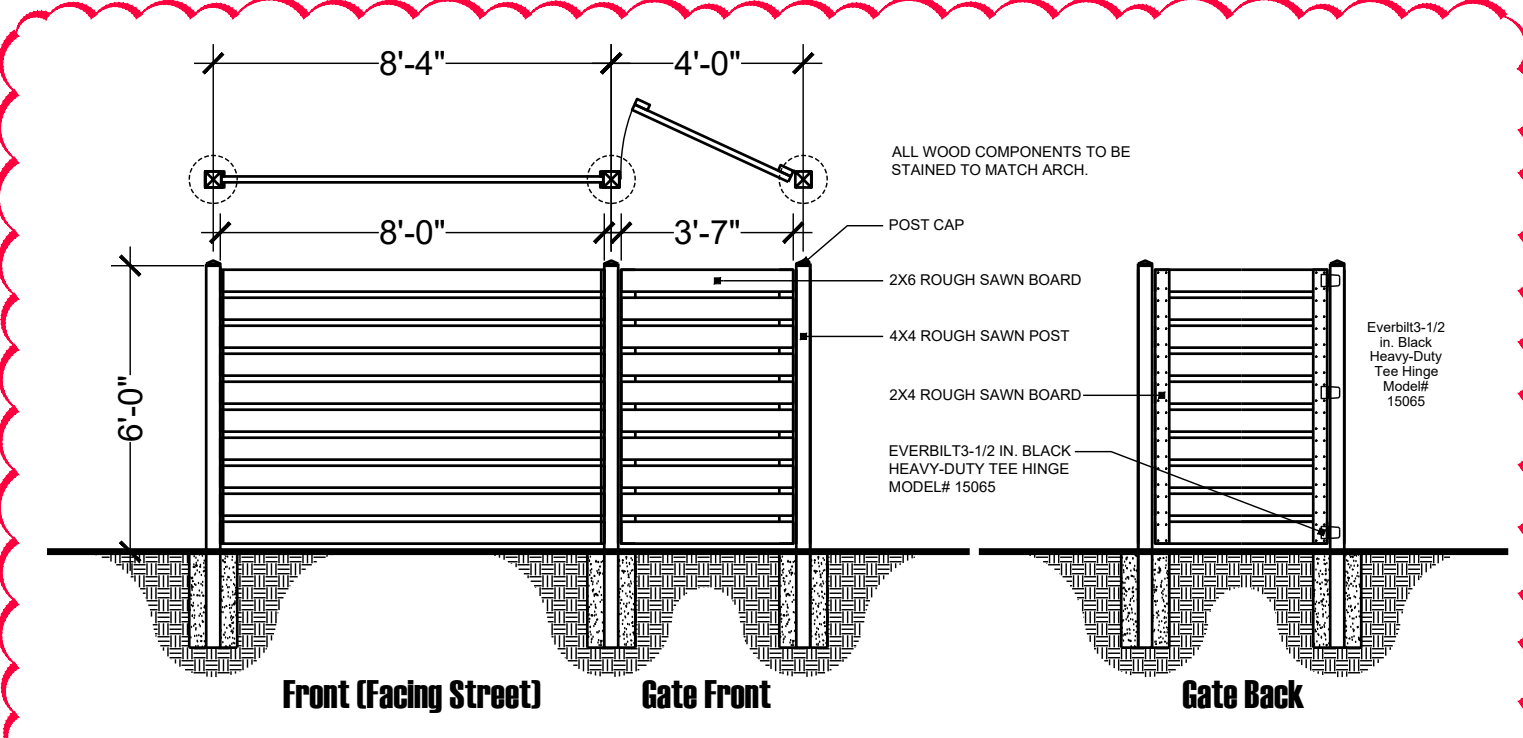
⁽⁹⁾ If a single family townhome shared partition wall is set on a side yard property line, then the setback will be 0 feet

Landscape Notes

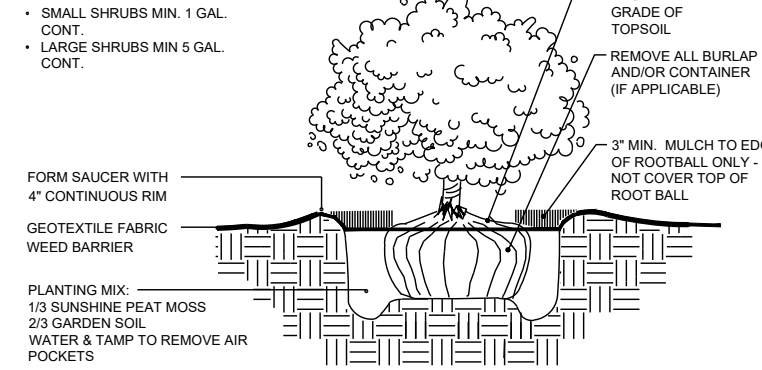
1. INSTALL ROCK MULCH IN ALL SHRUB BEDS. INSTALL WEED BARRIER UNDERLAYMENT MATERIAL AND TOPDRESS WITH MULCH MATERIAL TO MIN. 3 INCH DEPTH.
2. PREP ALL PLANTING AREAS WITH MIN. 4 CU YDS PER 1,000 SF WITH GOOD QUALITY COMPOSTED ORGANIC MATTER. FIRST, DECOMPACT ALL PLANTING AREA SOILS TO A MIN. DEPTH OF 6 INCHES PRIOR TO TILLING. TILL AND INCORPORATE AMENDMENT TO A MIN. DEPTH OF 6 INCHES.
3. LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE MEANS, METHODS OR APPROPRIATENESS OF CONSTRUCTION AND SAFETY PROCEDURES CHOSEN BY ANY CONTRACTOR.
4. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY.
5. INSTALL TREES A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB, EDGE OF WALL, OR PAVING.
6. FORM 30 INCH WATERING BASIN AROUND ALL TREES. FILL BASIN WITH 1-1/2 INCH LAYER OF WOOD CHIPS OR COMPOST.
7. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT SCHEDULE FOR KEY AND CLASSIFICATION.
8. ALL PLANT MATERIAL OUTSIDE OF THE LIMIT OF CONSTRUCTION LINE MUST REMAIN UNDISTURBED.
9. ALL MATERIALS NOT TO BE REMOVED WILL BE MARKED CLEARLY WITH FLAGGING TAPE, PROTECTIVE FENCING, OR OTHER APPROVED BARRIER PRIOR TO CONSTRUCTION.
10. IDENTIFY LOCATIONS OF ALL UNDERGROUND UTILITIES THAT MIGHT BE DISTURBED BY LANDSCAPE ELEMENTS PRIOR TO CONSTRUCTION.
11. (OMITTED)
12. RECORD ALL CHANGES ON A REDLINED PLAN AND SUBMIT TO THE OWNER & LANDSCAPE ARCHITECT FOLLOWING CONSTRUCTION.

Irrigation Notes

1. THE IRRIGATION SYSTEM SHALL COMPLY WITH RIDGWAY MUNICIPAL CODE 7-7-7 - GENERAL LANDSCAPE STANDARDS (F)IRRIGATION: TO ENSURE BEST PRACTICES FOR WATER CONSERVATION, ALL NEW LANDSCAPING SHALL COMPLY WITH THE FOLLOWING IRRIGATION STANDARDS:(1)IRRIGATION SHOULD BE LIMITED TO BETWEEN THE HOURS OF 6:00 P.M. AND 9:00 A.M.(2)ALL IRRIGATION SYSTEMS SHALL BE AUTOMATIC AND HAVE MOISTURE SENSORS INSTALLED.(3)WHERE POSSIBLE, NON-POTABLE IRRIGATION SYSTEMS SHOULD BE USED TO IRRIGATE LANDSCAPE.
2. THE IRRIGATION SYSTEM SHALL CONSIST OF AN UNDERGROUND PRESSURIZED SYSTEM THAT WILL PROVIDE DRIP COMPONENTS TO THE SHRUBS AND TREES.
3. IRRIGATION CONTROLLER SHALL BE A "WATER SENSE" SMART IRRIGATION CONTROLLER.
4. PROVIDE DRIP IRRIGATION TO ALL SHRUBS AND TREES (TREES-8 GPH PER TREE, SHRUBS-2 GPH PER SHRUB, PERENNIALS-1 GPH PER PLANT).
5. THE IRRIGATION SYSTEM SHALL USE DOMESTIC WATER PROVIDED FROM THE TOWN OF RIDGWAY.
6. A COUNTY APPROVED BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AFTER THE POINT OF CONNECTION AND DOMESTIC METER.



4 Shrub Planting NTS



Project Name :
Yellow Brick Lane Townhomes
Ridgway, Colorado

Client:

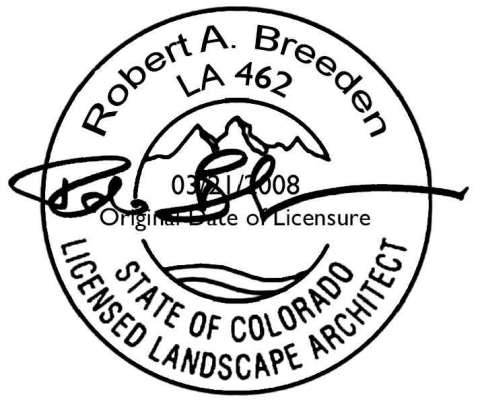
RURAL HOMES:
FOR SALE, FOR LOCALS
P.O. Box 4222,
Telluride, CO 81435
www.ruralhomes.co

David Bruce, Project Lead
C: 603 203 1342
E: david@telluridefoundation.org

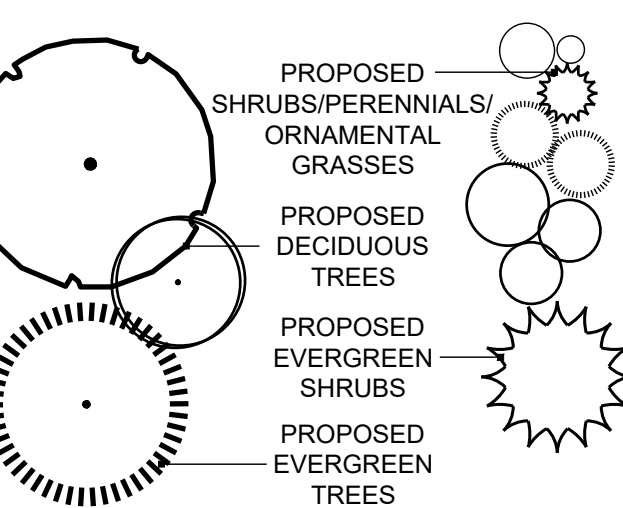
Registration:

LANDSCAPE ARCHITECT:

VISION DESIGN STUDIO, INC.
677 25 Road Grand Junction, CO 81505
Phone: 970.210.2155 Email: rd@viz.biz
Web: www.viz.biz
Landscape Architecture | Visual Simulation | Graphic Design



Legend



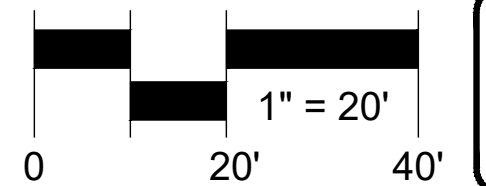
REQUIRED LANDSCAPING

Total Parcel Area	42,578	SF	0.98	AC	%
Residential	Req'd	Shown			
Total 50% Min. Required Landscape Area:	21,289	SF	22,896	SF	108%
Min 20% Live Cover Required:	4,258				
Shrubs:		3,446	SF	81%	
Grass:		5,278	SF	124%	
Total:		8,724	SF	205%	
Min 30% Non-Live Cover Required:	6,387	SF	14,172	SF	222%
(Total Rock Mulch - Live Cover)					
Total Required Trees 1/2000sf:	11	EA	23	EA	216%
Total Required Shrubs 2/3000sf:	14	EA	117	EA	824%
25% Total Cover Required in Front Yard:	5,322	SF	14,128	SF	265%
(Includes Rock Mulch & Live Cover)					

Plant Schedule

KEY	COMMON NAME	BOTANICAL NAME	H'	W'	SIZE	TYPE	QTY	AREA
40+ Deciduous Trees:								
AA	Narrowleaf Cottonwood	Populus angustifolia	50	40	1.5" Cal.	B&B	4	
BB	Peachleaf Willow	Salix amygdaloides	50	40	1.5" Cal.	B&B	2	
CC	Northern Pin Oak	Quercus ellipsoidalis	40	40	1.5" Cal.	B&B	3	
10'-20'+ Deciduous Trees:								
DD	Amur Maple	Acer ginnala	15	15	1.5" Cal.	B&B	4	
EE	'Sucker Punch' Chokecherry	Prunus virginiana 'Sucker Punch'	25	20	1.5" Cal.	Cont.	2	
							Total Deciduous Trees:	15
Evergreen Trees:								
FF	Co. Green Spruce	Picea pungens	40	25	5' Ht.	B&B	4	
GG	Austrian Pine	Pinus nigra	40	25	5' Ht.	B&B	2	
HH	Rocky Mountain Juniper	Juniperus scopulorum	20	12	5' Ht.	B&B	2	480
							Total Evergreen Trees:	8
							Total Trees:	23
Evergreen Shrubs:								
A	Mormon Tea	Ephedra nevadensis	4	4	5 gal.	Cont.	6	96
B	Medora Juniper	Juniperus scopulorum 'medora'	15	5	5 gal.	Cont.	9	675
C	Skyrocket Juniper	Juniperus virginiana 'Skyrocket'	25	5	5 gal.	Cont.	4	500
D	Dwarf Norway Nesting Spruce	Picea abies 'Pumila'	3	5	5 gal.	Cont.	1	15
E	Mugo Pine	Pinus mugo	8	8	5 gal.	Cont.	6	384
F	Slowmound Mugo Pine	Pinus mugo 'Slowmound'	3	3	5 gal.	Cont.	6	54
G	Tannenbaum Mugo Pine	Pinus mugo 'Tannenbaum'	15	6	5 gal.	Cont.	4	360
							Total Evergreen Shrubs:	36
Ornamental Grasses:								
H	Overdam Feather Reed Grass	Calamagrostis acutiflora 'Overdam'	2	2	5 gal.	Cont.	18	72
I	Blue Cat Grass	Helictotrichon sempervirens	2	2	2 gal.	Cont.	12	48
J	Morning Light Maiden Grass	Miscanthus sinensis 'Morning Light'	4	3	5 gal.	Cont.	12	144
K	Regal Mist Pink Muhly	Muhlenbergia capillaris	4	3	5 gal.	Cont.	14	168
							Total Ornamental Grasses:	56
Deciduous Shrubs:								
O	Coralberry/Snowberry	Symphoricarpos spp.	4	6	5 gal.	Cont.	6	144
P	Cranberry Coloneaster	Coloneaster apiculatus	3	6	5 gal.	Cont.	9	162
Q	Dark Knight Blue Mist Spirea	Caryopteris x clandonensis 'Dark Knight'	4	4	5 gal.	Cont.	6	96
R	Pygmy Peashrub	Caragana pygmaea	3	4	5 gal.	Cont.	4	48
							Total Deciduous Shrubs:	25
							Total Shrubs:	117

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES LISTED ABOVE AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR SUBSTITUTIONS.



Preliminary
Not For Construction

Project: YBL Ridgway

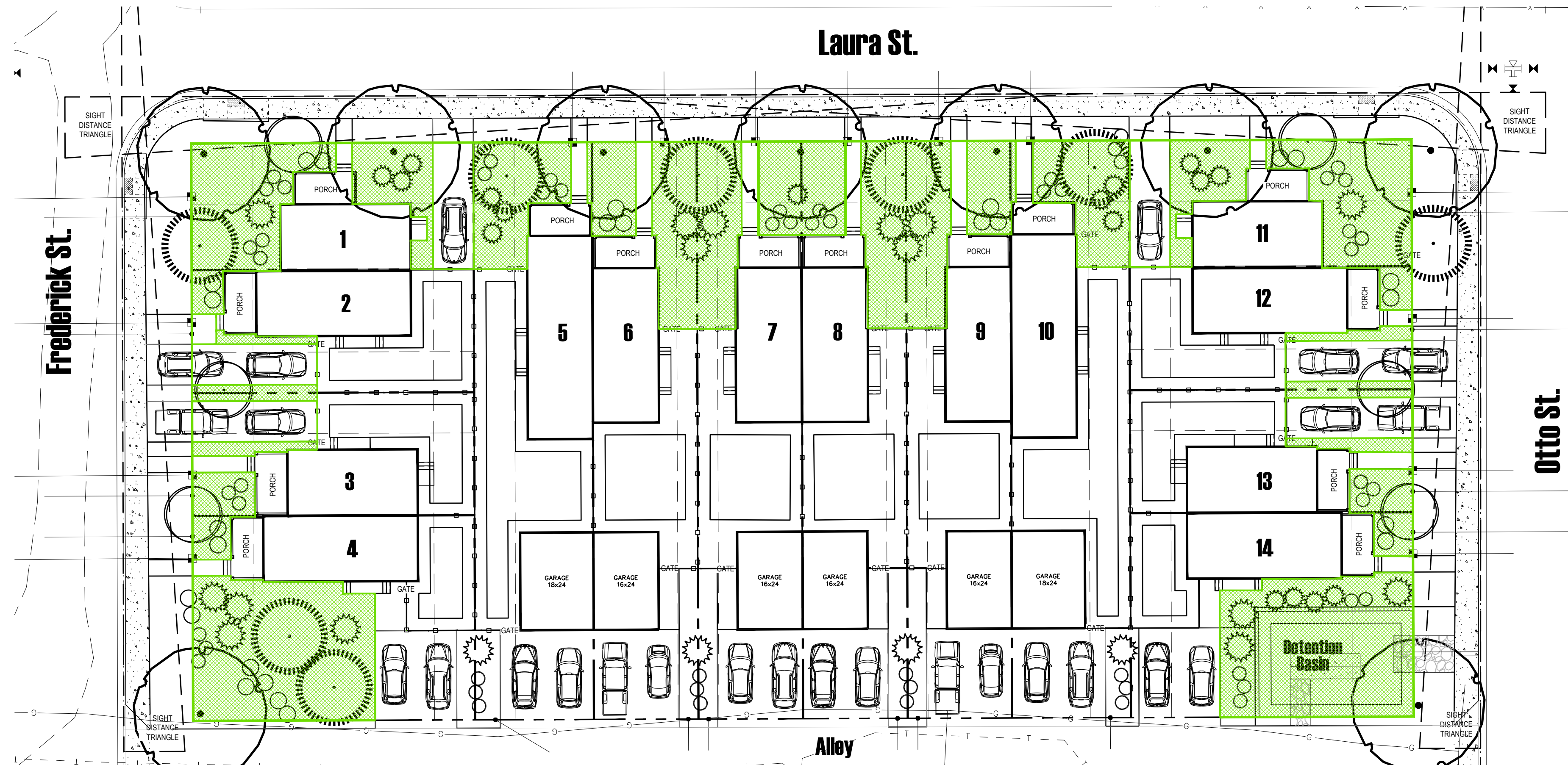
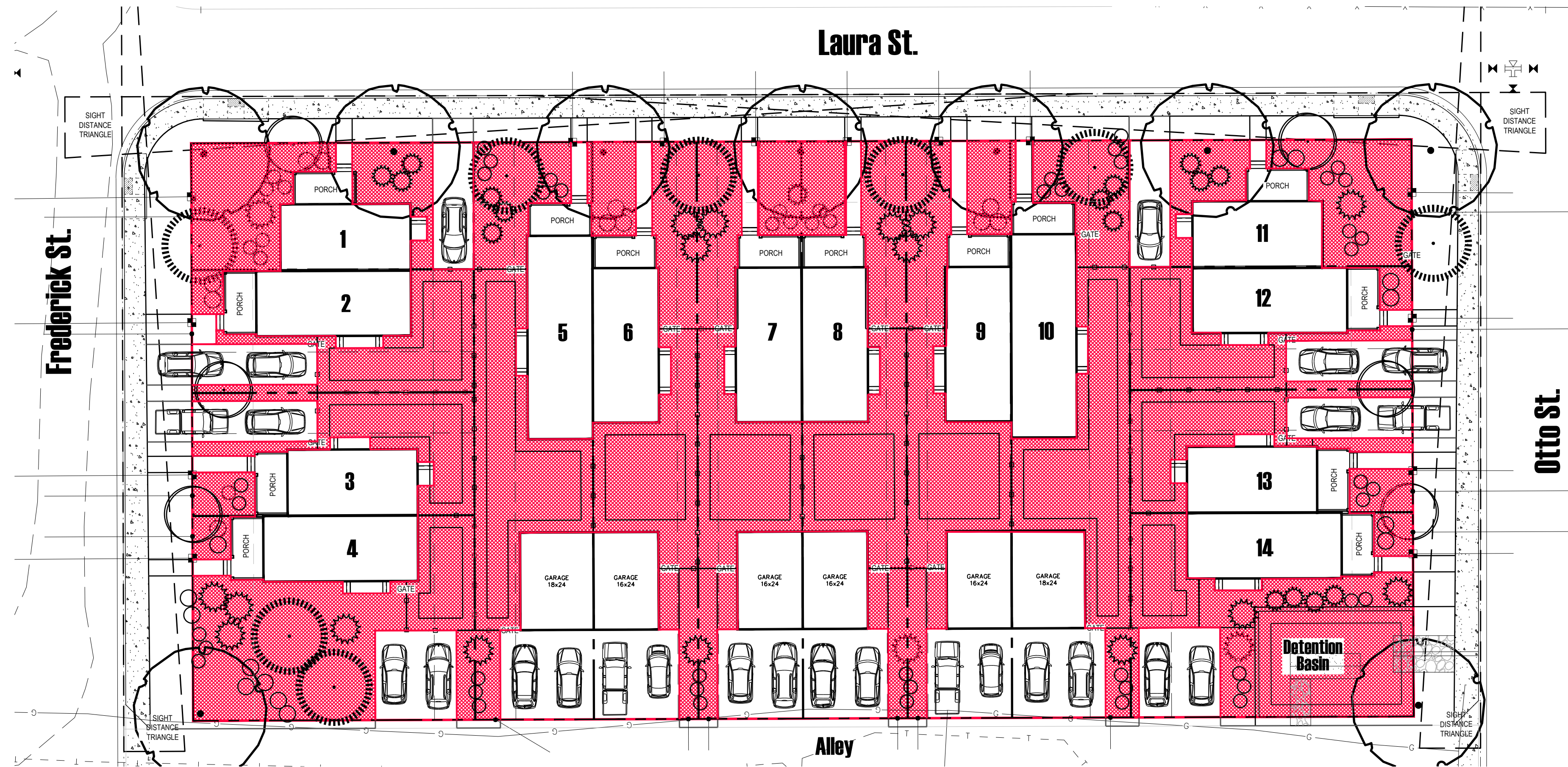
Date: June 6, 2022

Scale: 1" = 20'

Sheet Title:
Landscape Plan

Revisions:
TOWN COMMENTS 07/07/2022 - RB 07/13/2022

Sheet:
North
11
of 3 Sheets



Project Name :

Yellow Brick Lane Townhomes

Ridgway, Colorado

Client:



RURAL HOMES:
FOR SALE, FOR LOCALS
P.O. Box 4222,
Telluride, CO
81435

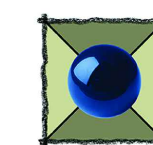
www.ruralhomes.co

David Bruce, Project Lead

C. 603 203 1342

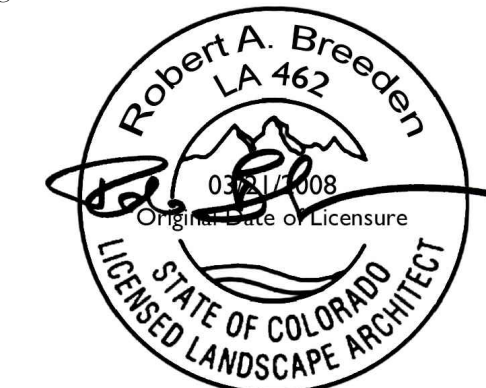
E: david@telluridefoundation.org

Landscape Architect:

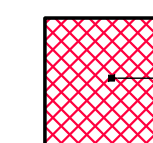


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677 25 Road Grand Junction, CO 81505
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Landscape Architecture | Visual Simulation | Graphic Design

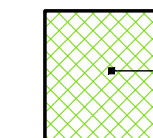
Registration:



Legend



TOTAL ON-SITE LANDSCAPE
AREA = 22,896 SF



TOTAL FRONT YARD LANDSCAPE
AREA = 10,797 SF

Revisions:

▲ TOWN COMMENTS 07/07/2022 - RB 07/13/2022

Sheet Title:

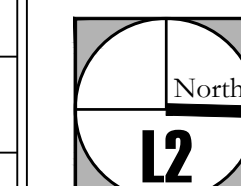
Landscape Area Plan

Project: YBL Ridgway

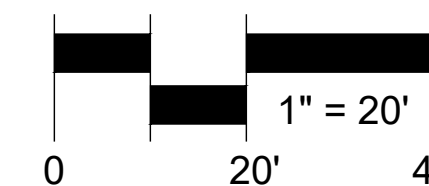
Date: June 6, 2022

Scale: 1" = 20'

Sheet:



of 3 Sheets



Preliminary
Not For Construction

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Irrigation Notes

1. VERIFY OPERATING PRESSURE AT POINT OF CONNECTION PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM. NOTIFY PLAN PREPARER IF MEASURED PRESSURE IS MORE THAN 95 P.S.I. OR LESS THAN 60 P.S.I. THE SYSTEM IS DESIGNED FOR AN OPERATING PRESSURE OF 60 P.S.I. AND A FLOW RATE AT INLET PIPE OF 12 GPM. VERIFY ALL FLOW RATES ON-SITE PRIOR TO INSTALLATION.

2. NOTIFY LANDSCAPE ARCHITECT SIX (6) DAYS PRIOR TO INSTALLATION FOR A PRE-INSTALLATION CONFERENCE AND FIELD REVIEW COORDINATION FOR TRENCH DEPTHS, ASSEMBLY REVIEW, PRESSURE TESTS, COVERAGE TESTS, PRE-MAINTENANCE AND FINAL REVIEWS.

3. A CONTINUITY TEST WILL BE REQUIRED FOR CONTROL WIRE STUBOUTS. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE PLAN PREPARER.

4. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH LOCAL CODES, MANUFACTURERS AND INSTRUCTIONS. AVOID ANY CONFLICTS BETWEEN SPRINKLER SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. NOTIFY PLAN PREPARER PRIOR TO INSTALLATION, OF ANY AREA OF GRADE DIFFERENCES OR OBSTRUCTIONS NOT INDICATED ON THE PLANS.

5. PRIOR TO CUTTING INTO SOIL, LOCATE ALL CABLES, CONDUITS, SEWERS, AND OTHER UTILITIES OR ARCHITECTURAL FEATURES THAT ARE COMMONLY ENCOUNTERED UNDERGROUND AND TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB SUCH IMPROVEMENTS. ANY DAMAGE MADE DURING THE INSTALLATION OF THE IRRIGATION SYSTEM OF THE AFOREMENTIONED ITEMS SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL EXPENSE TO THE OWNER.

6. LOCATION OF CONTROLLER TO BE DETERMINED AT JOBSITE BY OWNER AND CONTRACTOR (IF APPLICABLE). CONNECT TO EXISTING 120 VOLT ELECTRICAL SUPPLIES. USE THIN WALL METAL CONDUIT ABOVE GRADE. INSTALL PER MANUFACTURERS SPECIFICATIONS. PROVIDE AND INSTALL RECHARGEABLE BATTERY BACK-UP FOR CONTROLLERS. CONTROLLERS SHALL BE PROPERLY GROUNDED PER ARTICLE 250 OF THE NATIONAL ELECTRIC CODE AND CONFORM TO LOCAL REGULATIONS. INSTALL AS DETAILED. SEAL ALL CONDUIT HOLES WITH SILICONE OR EQUAL. PROGRAM CONTROLLERS TO IRRIGATE SLOPES USING MULTIPLE REPEAT CYCLES OF SHORT DURATIONS. CARE SHALL BE TAKEN TO PREVENT RUNOFF OF WATER AND SOIL EROSION DUE TO PROLONGED APPLICATIONS OF WATER.

7. USE APPROPRIATE SOLVENT AND APPLICATOR, AND PRIMER IF REQUIRED, FOR PIPE SIZE AND TYPE APPLICATIONS. APPLY PER MANUFACTURER'S RECOMMENDATIONS.

8. INSTALL ALL ELECTRIC VALVES, PRESSURE REGULATORS, BALL OR GATE VALVES, PIPING, BACKFLOW PREVENTION DEVICES (IF APPLICABLE), CONTROLLERS PER MANUFACTURERS SPECIFICATIONS.
9. INSTALL FLOOD BUBBLERS ON UP HILL SIDE OF PLANT AND/OR WITHIN PLANT WELL.

10. POLYETHYLENE PIPE (IF APPLICABLE) INSTALLED SHALL BE PRODUCED FROM ALL VIRGIN UNION CARBIDE RESIN.

11. MAINTENANCE CONSIDERATIONS:
A. FILTER CLEANING AND FLUSHING SHOULD START OUT AS A MONTHLY PROCEDURE AND CONTINUE AS NEEDED AFTER SIX (6) MONTHS.
B. VISUALLY CHECK FOR INDICATIONS OF PIPE BREAKS OR CLOGGED EMITTERS OR OUTLETS.
C. WATER QUALITY SHOULD BE MEASURED ON A QUARTERLY BASIS AND AMENDMENTS ADDED AS NECESSARY TO ENSURE THE SURVIVAL RATE OF THE PLANT MATERIAL.

12. ALL WIRING UNDER PAVEMENT SHALL BE INSTALLED IN PVC SCHEDULE 40 ELECTRICAL CONDUIT. ELECTRICAL CONDUIT SHALL EXTEND TWELVE INCHES (12") BEYOND EDGE OF PAVEMENT OR CURB. CONTRACTOR HAS THE OPTION TO INSTALL PVC SCHEDULE 40 SLEEVING FOR ALL PIPING UNDER ASPHALT AND CONCRETE PAVEMENTS AT HIS OWN EXPENSE. INSTALL SAND FOR BACKFILL IN ASPHALT PAVEMENT AREAS TO 6" COVER ABOVE PIPE. SURROUND PIPE WITH SAND IN AREAS WHERE ROCKY TERRAIN IS ENCOUNTERED.

13. ALL VALVE CONTROL WIRE SHALL BE MINIMUM NO. 14 AWG COPPER UL APPROVED FOR DIRECT BURIAL IN GROUND. CONNECT WIRES AS DETAILED PER MANUFACTURERS SPECIFICATIONS. RUN ONE (1) EXTRA CONTROL WIRE OF DIFFERENT COLOR THROUGH ALL VALVE LOCATIONS FROM EACH CONTROLLER. EACH WIRE AT VALVES SHALL HAVE 24" EXCESS COILED LOOP. TAPE WIRES IN BUNDLES EVERY TEN FEET (10').
14. ALL PIPES SHALL BE TESTED AT 125% OF DESIGN PRESSURE FOR 1 HOUR. ADD WATER SLOWLY TO PIPES TO AVOID WATER HAMMER DAMAGE, BLEED SYSTEM TO INSURE ALL AIR IS OUT OF PIPES AND PRESSURIZE SYSTEM TO LEVELS STATED ABOVE. VISUALLY INSPECT FOR LEAKS WHILE SYSTEM IS HOLDING PRESSURE CONSTANT.

15. ALL BACKFILL MATERIAL SHALL BE FREE OF ROCKS, CLODS, AND OTHER EXTRANEOUS MATERIALS. COMPACT BACKFILL TO ORIGINAL DENSITY OF SOIL.

16. AT JOB COMPLETION, SUPPLY OWNER WITH TWO (2) KEYS FOR EACH CONTROLLER.

17. GUARANTEE THE IRRIGATION SYSTEM AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE.

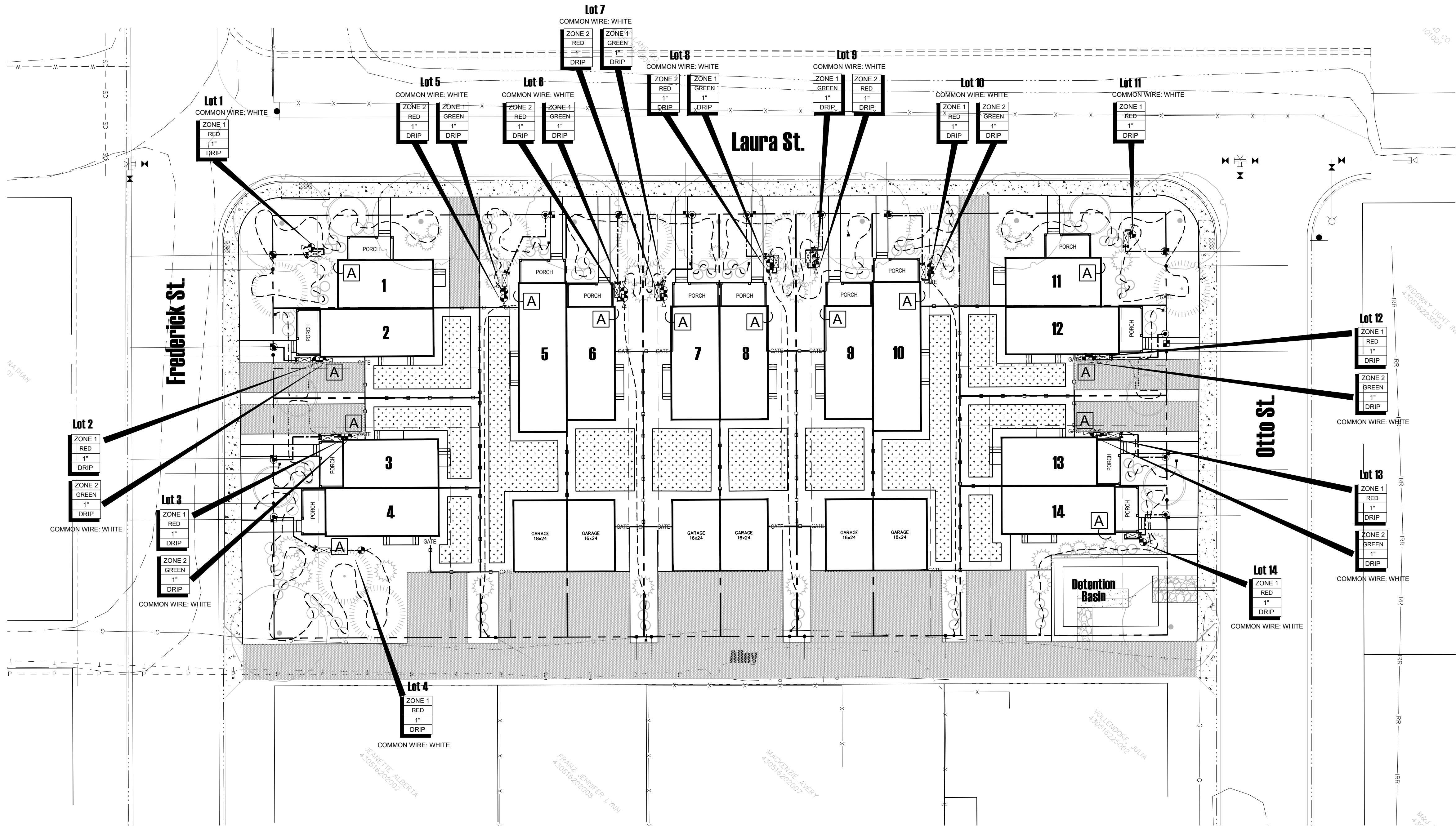
18. INSTALL PUMP, CONTROLLER, AND RELAY SWITCH PER MFR. INSTRUCTIONS.

19. RECORD ALL CHANGES ON A REDLINED PLAN AND SUBMIT TO THE OWNER & LANDSCAPE ARCHITECT FOLLOWING CONSTRUCTION.

Reduced Pressure Backflow Assembly (RPBA)

- ONLY ONE RPBA IS REQUIRED TO SERVE THE WHOLE SYSTEM; CONTROL VALVES CAN BE LOCATED DOWNSTREAM OF (AFTER) THE RPBA.
- RPBAS MUST BE INSTALLED A MINIMUM OF 12" ABOVE GROUND LEVEL.
 - RPBAS MUST BE TESTED BY A STATE CERTIFIED BACKFLOW PREVENTER TESTER AT THE TIME OF INSTALLATION, ANNUALLY, AND WHEN MOVED OR REPAIRED.
 - IN AN RPBA-EQUIPPED SYSTEM, FERTILIZER AND OTHER AGRICULTURAL CHEMICALS MAY BE INTRODUCED DOWNSTREAM OF (AFTER) THE RPBA (FOR IRRIGATION SYSTEMS ONLY).

RPBA MAXIMUM DESIGN FLOW FOR RESIDENTIAL SYSTEMS ON A ¾ INCH SERVICE AND METER SHOULD NOT EXCEED 15 GALLONS PER MINUTE (GPM). HIGHER FLOWS CAN DAMAGE THE METER. ALL DEVICES SHOULD BE INSTALLED IN A MANNER THAT ALLOWS ADEQUATE CLEARANCE FOR TESTING AND REPAIRS. BEFORE INSTALLING A NEW SPRINKLER SYSTEM THAT WILL USE DOMESTIC WATER, THE OWNER OR OWNER'S REPRESENTATIVE IS REQUIRED TO GET A BUILDING PERMIT FROM THE LOCAL BUILDING DEPARTMENT.



Project Name :

Yellow Brick Lane Townhomes
Ridgway, Colorado

Client:



RURAL HOMES:
FOR SALE, FOR LOCALS

P.O. Box 4222,
Telluride, CO
81435

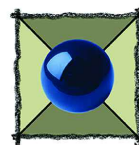
www.ruralhomes.co

David Bruce, Project Lead

C: 603 203 1342

E: david@telluridefoundation.org

Landscape Architect:



NVISION DESIGN STUDIO, INC.

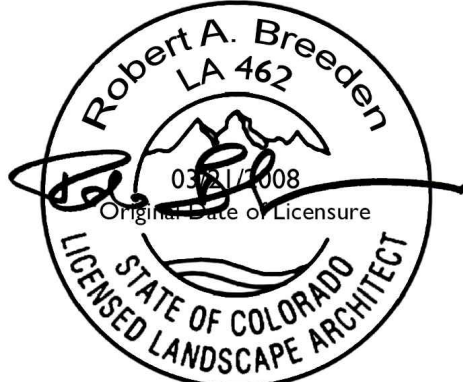
677 25 Road Grand Junction, CO 81505

Phone: 970.210.2155 Email: n@nvis.biz

Web: www.nvis.biz

Landscape Architecture | Visual Simulation | Graphic Design

Registration:



Legend

- A

RAINBIRD ESP-ME ENHANCED MODULAR CONTROLLER MOUNTED ON EXT. WALL IN WATER PROOF CABINET
- ZONE 1

DK GRN

1"

DRIP

VALVE STATION NUMBER

WIRE COLOR

VALVE SIZE

TYPE OF IRRIGATION
- POINT OF CONNECTION
- ⊠

REDUCED PRESSURE BACKFLOW ASSEMBLY

FEBCO 880 RPZ BACKFLOW PREVENTER 3/4"

FPT | FE860-075

⊠

REDUCED PRESSURE BACKFLOW ASSEMBLY
- ⊠

ELECTRIC REMOTE CONTROL VALVE

RAINBIRD PEB OR EQUAL

⊠

ELECTRIC REMOTE CONTROL VALVE
- ⊠

WYE STRAINER FOR DRIP ZONES

⊠

WYE STRAINER FOR DRIP ZONES
- ⊠

PVC BALL VALVE

⊠

PVC BALL VALVE
- 1"

3/4"

1"

3/4"

1"

3/4"
- 1" PRESSURIZED MAINLINE PIPE (PVC SCHEDULE 40 PIPE OR PE)
- LATERAL PIPE SIZE (PVC SCHEDULE 40 PIPE)

⊠

1/2" DRIP LINE AND EMITTERS (PE PIPE AND MICROLINE WITH PRESSURE COMPENSATING MODULES OR APPVD. EQUAL -ENDCAPS AS NECESSARY)

⊠

1/2" DRIP LINE AND EMITTERS

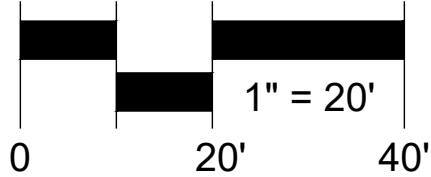
Revisions:

Sheet Title:

Irrigation Plan

Project:	YBL Ridgway	Sheet:	
Date:	June 6, 2022		
Scale:	1" = 20'		

<div>North</div> <div>IR1</div> <div>of 3 Sheets</div>
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Preliminary
Not For Construction

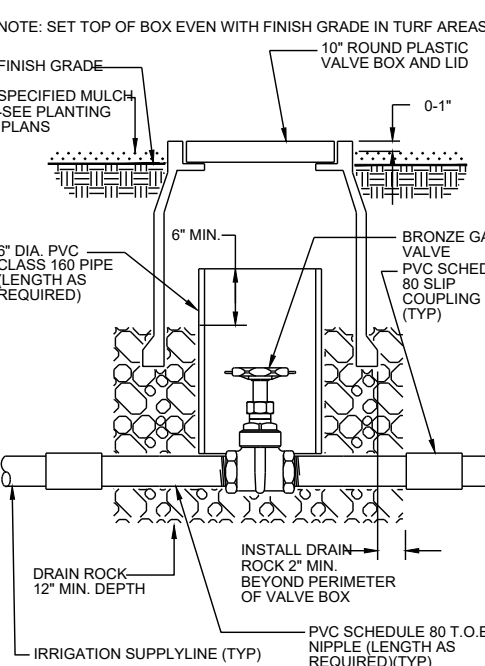
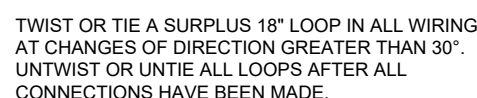
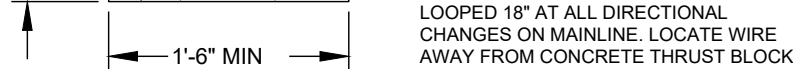
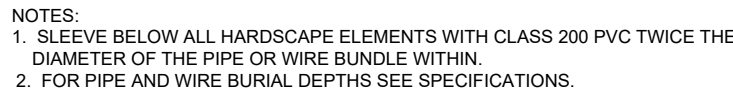
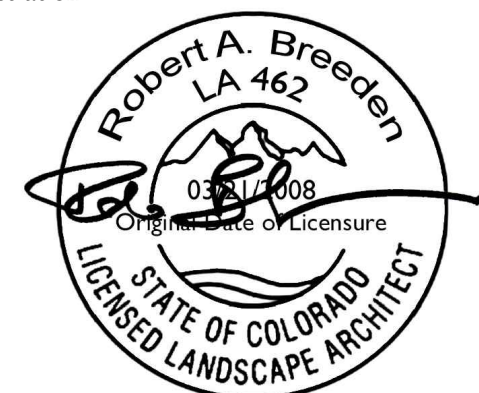


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E:david@telluridefoundation.org



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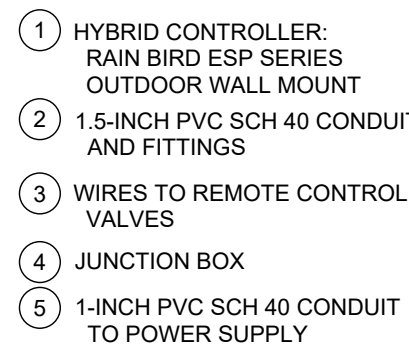
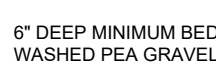
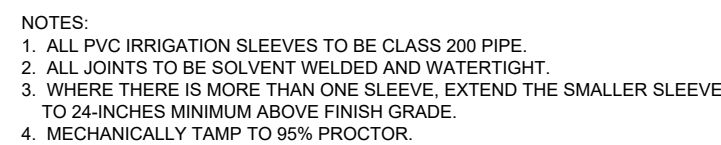
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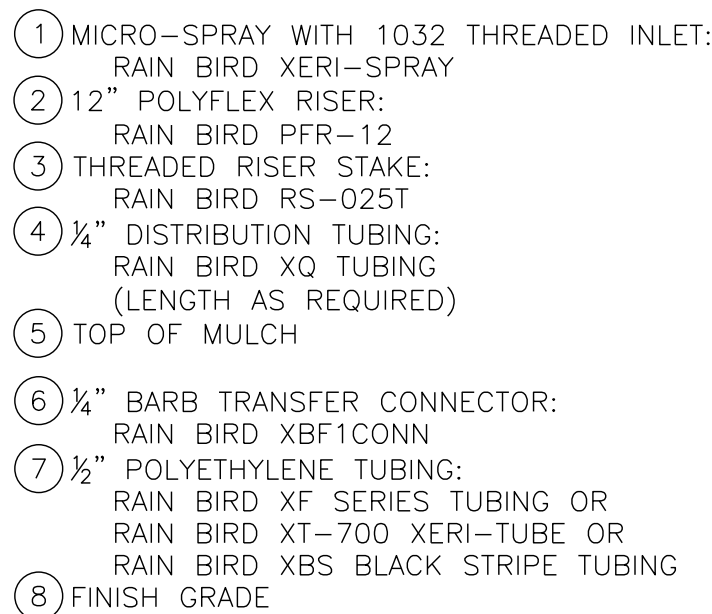
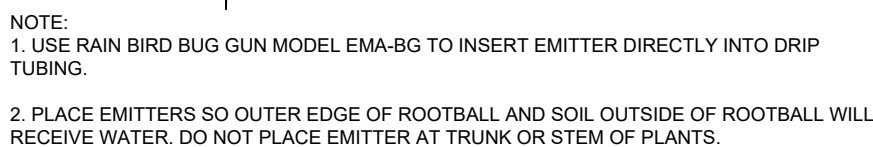
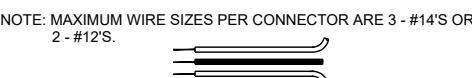
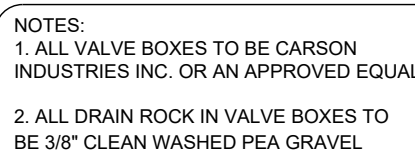
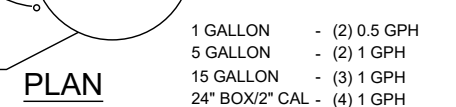
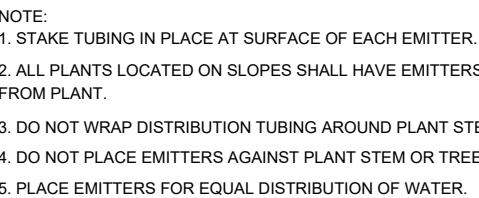


NTS

NTS

NTS

Rainbird ESP Series-Wall Mount



NTS

NTS

NTS

NTS

NTS

Irrigation Details

YBL Ridgway

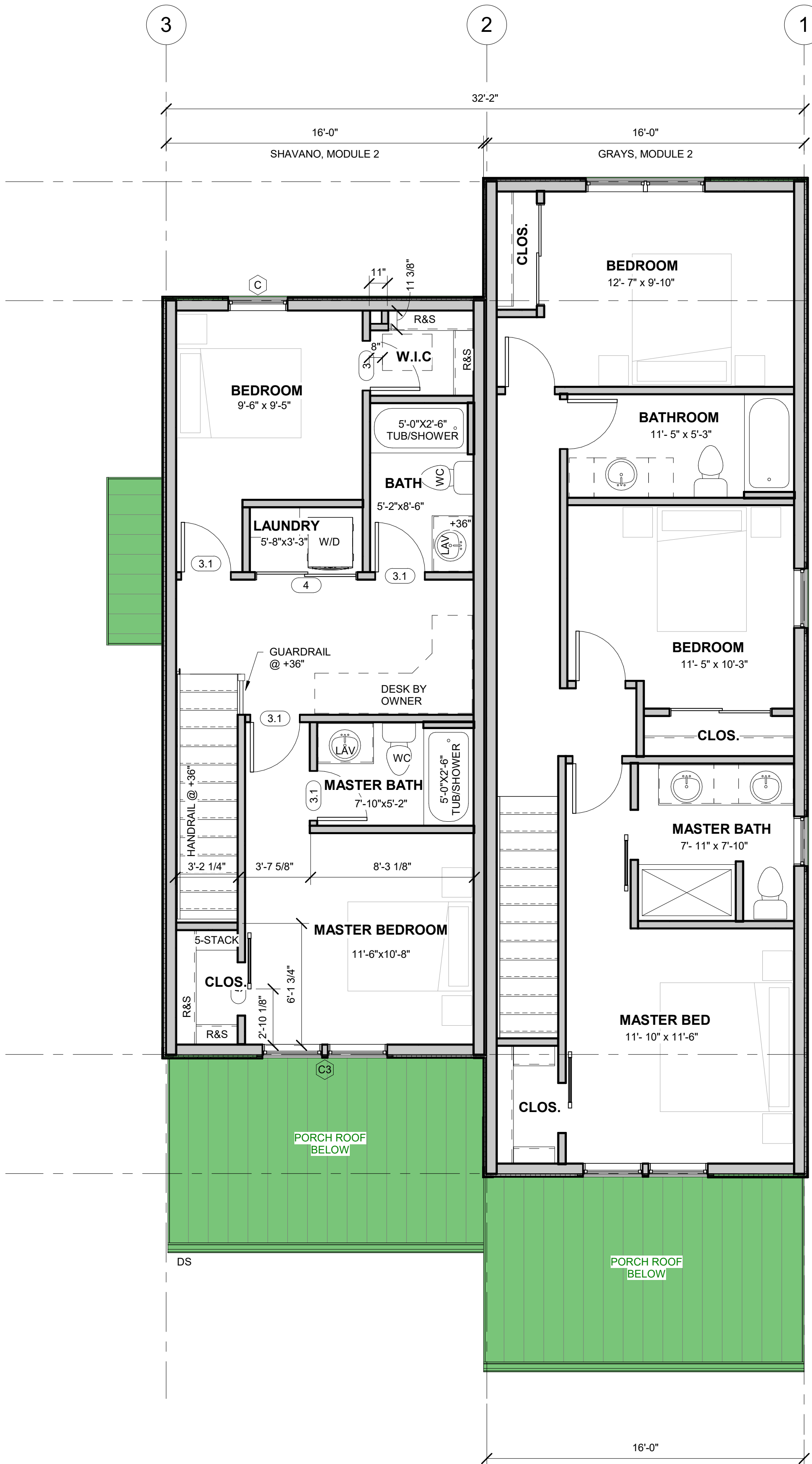
June 6, 2022

	North
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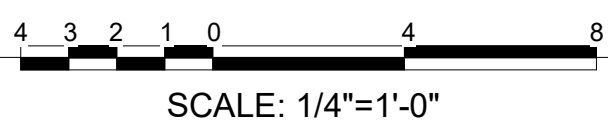
IR2

Preliminary

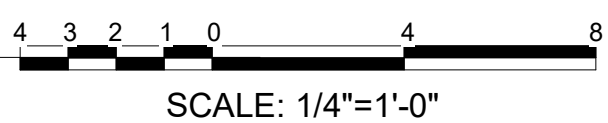
Not For Construction



2 FLOOR PLAN - LEVEL 2
1/4" = 1'-0"



1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"



FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
2. ALL STUDS TO BE 2X6 U.N.O.
3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING STUD TYPE, SIZE & SPACING AND SHEAR WALL LOCATIONS.
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11. PROVIDE ATTIC VENTILATION PER SECTION R806.1, 2018 I.R.C.

RATED WALL LEGEND

1-HOUR FIRE RESISTANCE RATING

INDICATES ITEMS WHICH ARE TO BE FIELD INSTALLED

EVstudio

Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Jake Lareska
jake.lareska@evstudio.com
303.607.7242x37

RIDGWAY HOMES
SHAVANO-GRAYS DUPLEX (MM)
MASTER SET
SAN MIGUEL COUNTY, COLORADO

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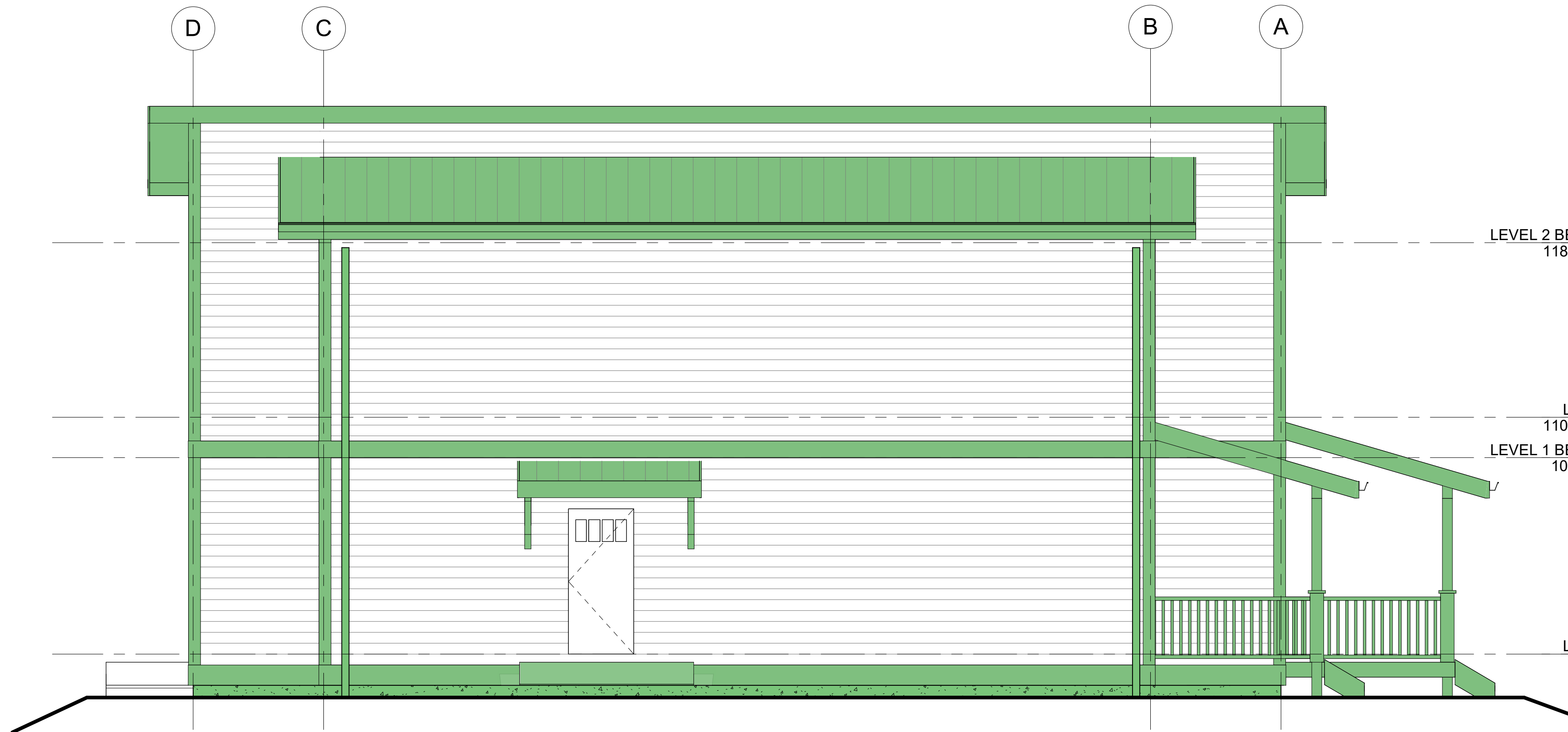
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SCHEMATIC DESIGN

DATE: 06/09/2022
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CHECKED BY: JL

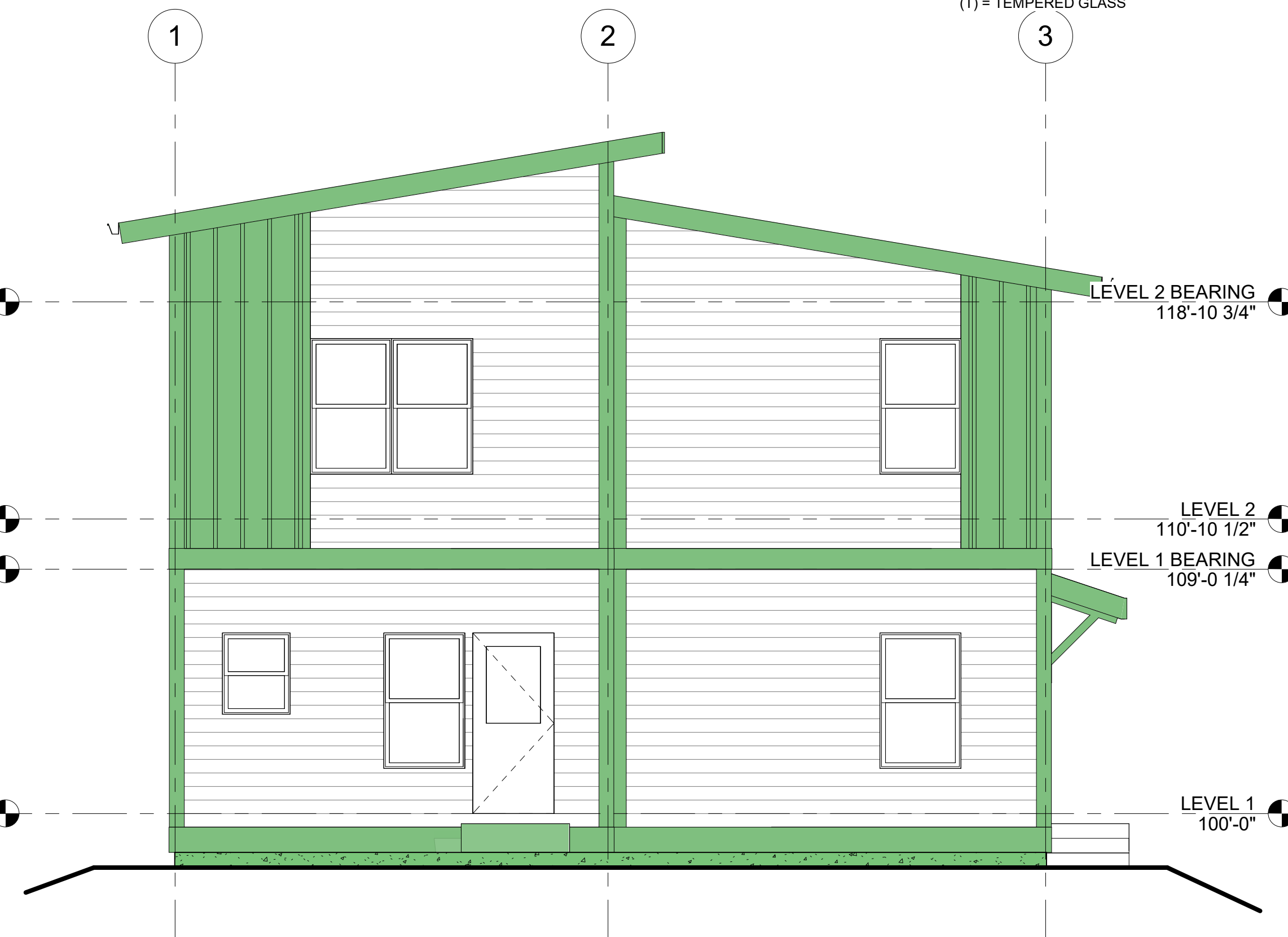
FLOOR PLANS

A101



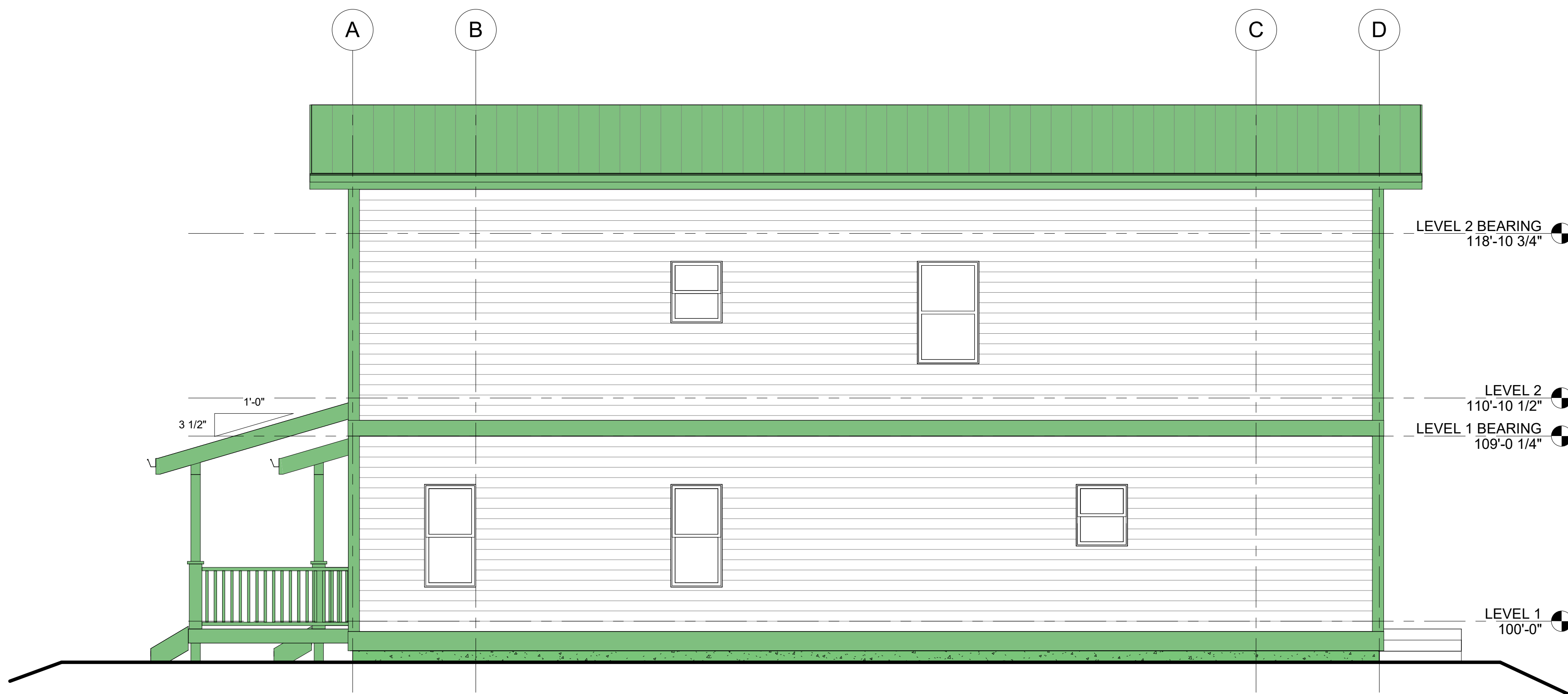
2 SIDE ELEVATION
1/4" = 1'-0"

4 3 2 1 0 4 8
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

4 3 2 1 0 4 8
SCALE: 1/4"=1'-0"



4 SIDE ELEVATION
1/4" = 1'-0"

4 3 2 1 0 4 8
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

4 3 2 1 0 4 8
SCALE: 1/4"=1'-0"

INDICATES ITEMS WHICH
ARE TO BE FIELD INSTALLED
(T) = TEMPERED GLASS

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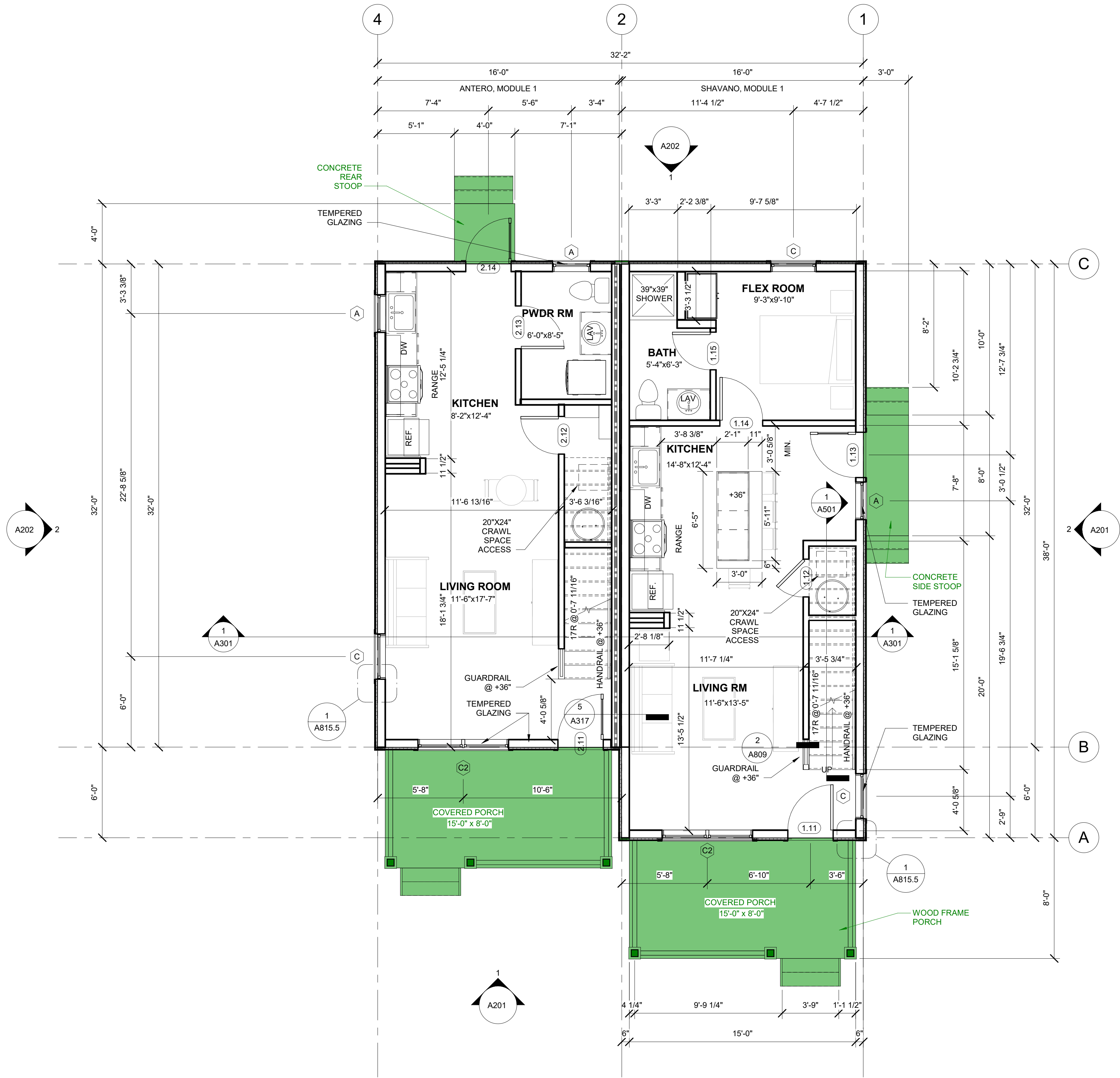
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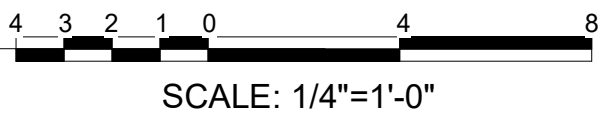
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ELEVATIONS
A201



1 FLOOR PLAN - LEVEL 1 (SHANTERO)
1/4" = 1'-0"

1120 SQ FT
SHAVANO: 608 SF
ANTERO: 512 SF



FLOOR PLAN NOTES

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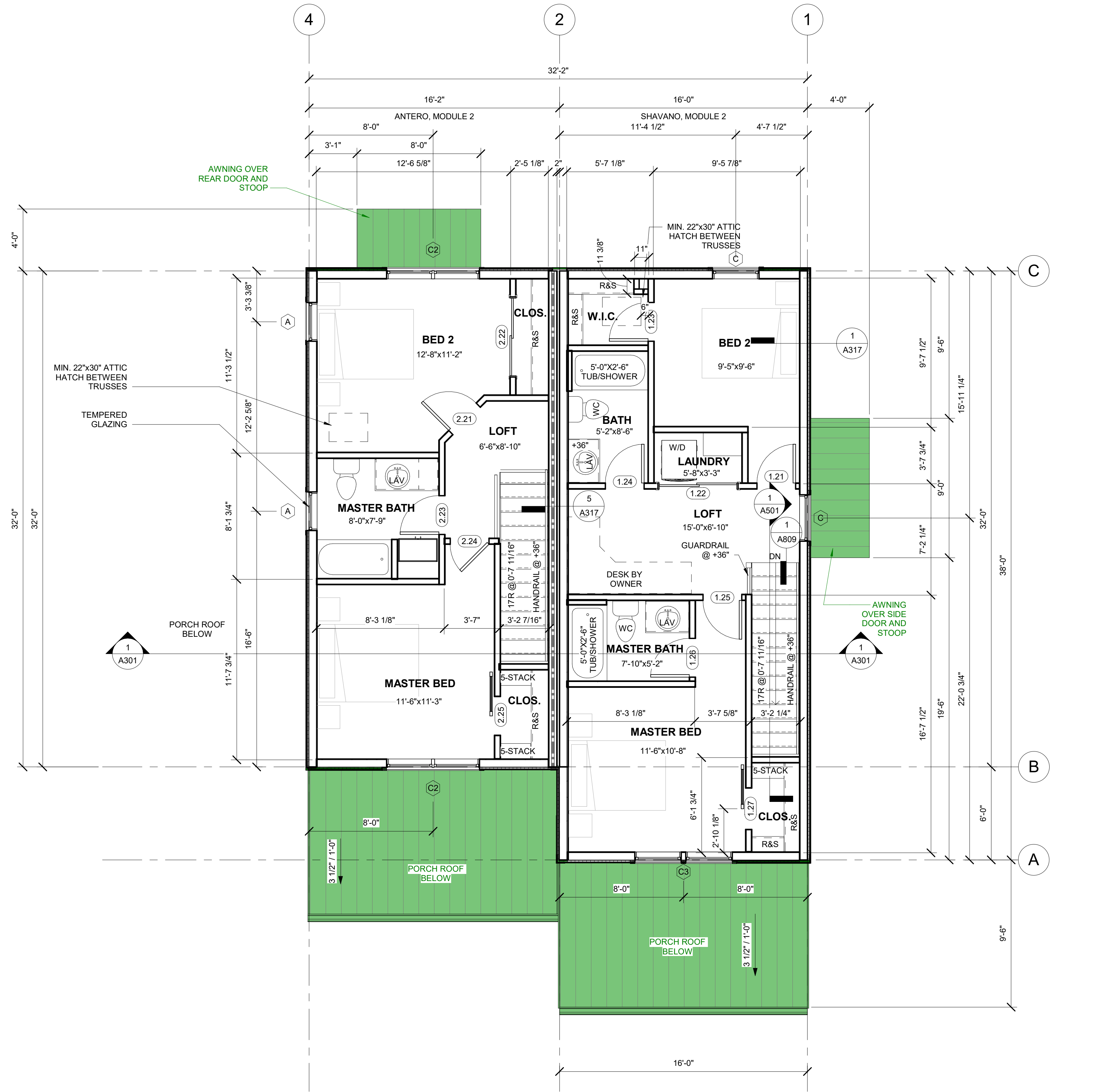
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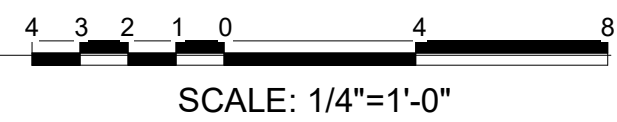
LOWER FLOOR
PLAN

A101



1 FLOOR PLAN - LEVEL 2 (SHANTERO)
1/4" = 1'-0"

1043 SQ FT
SHAVANO: 569 SF
ANTERO: 474 SF



FLOOR PLAN NOTES

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1-HOUR FIRE
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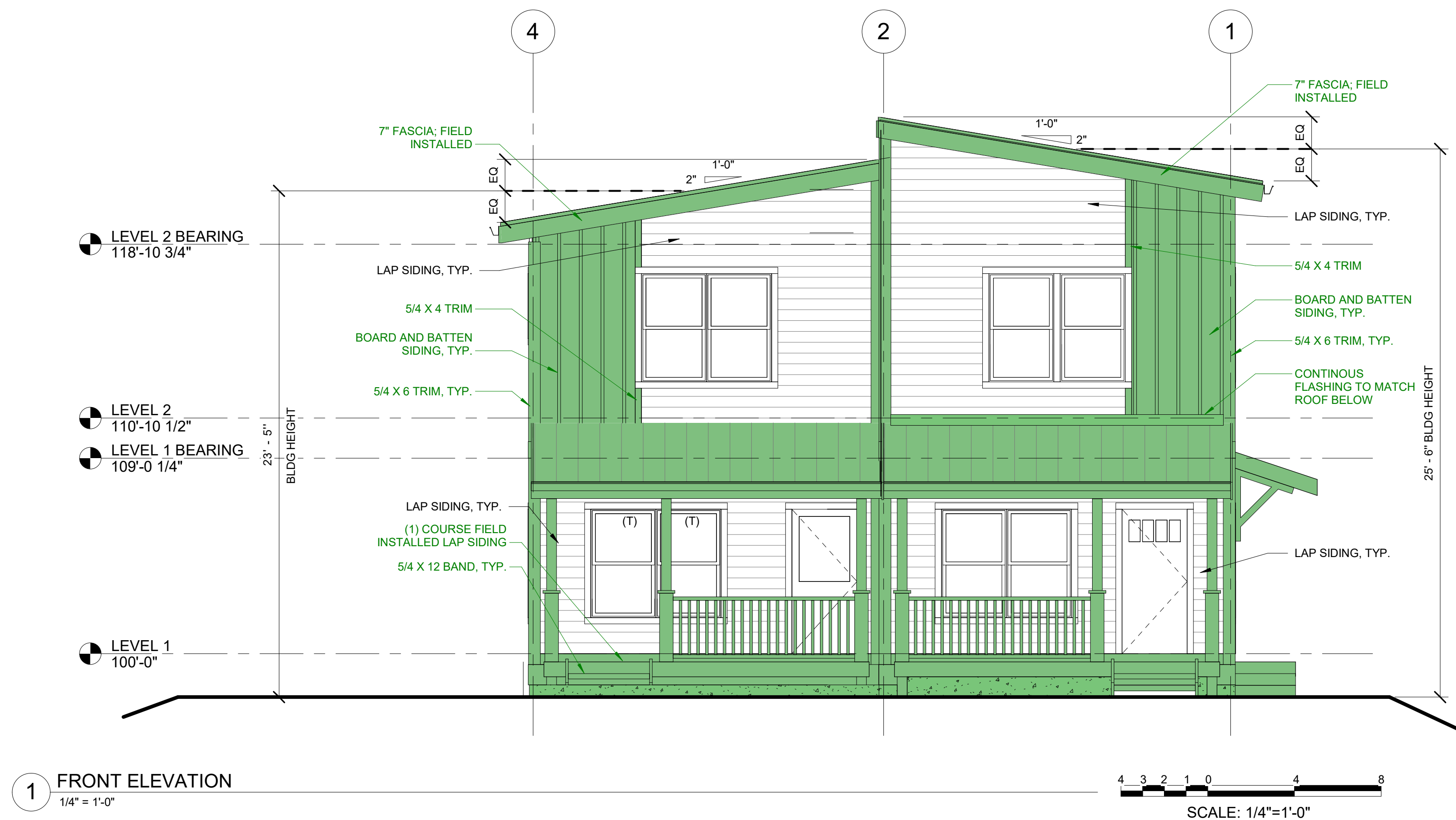
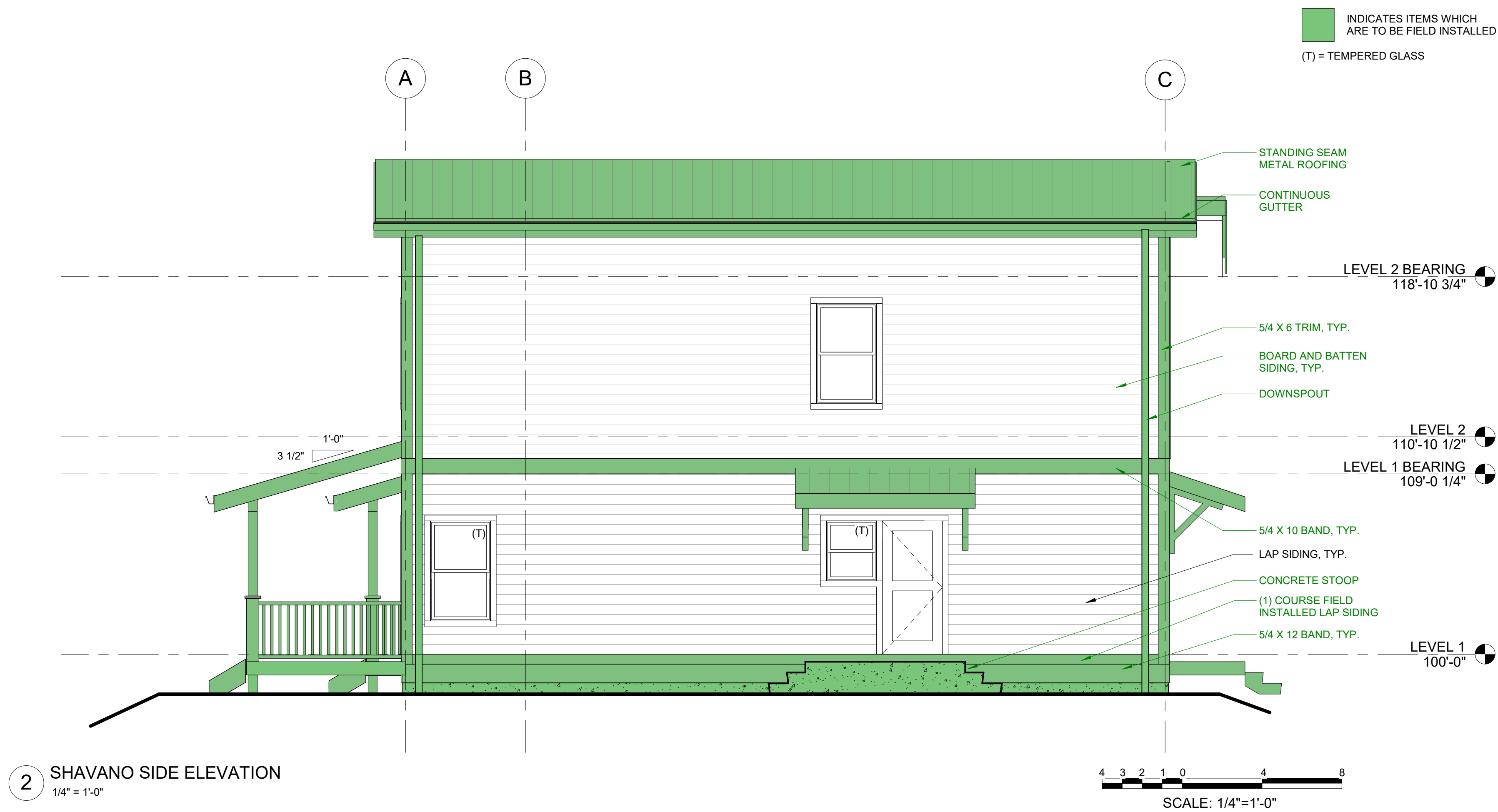
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UPPER FLOOR
PLAN

A102



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RIDGWAY HOMES
SHANTERO (MM)
MASTER SET
SAN MIGUEL COUNTY, COLORADO

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ELEVATIONS

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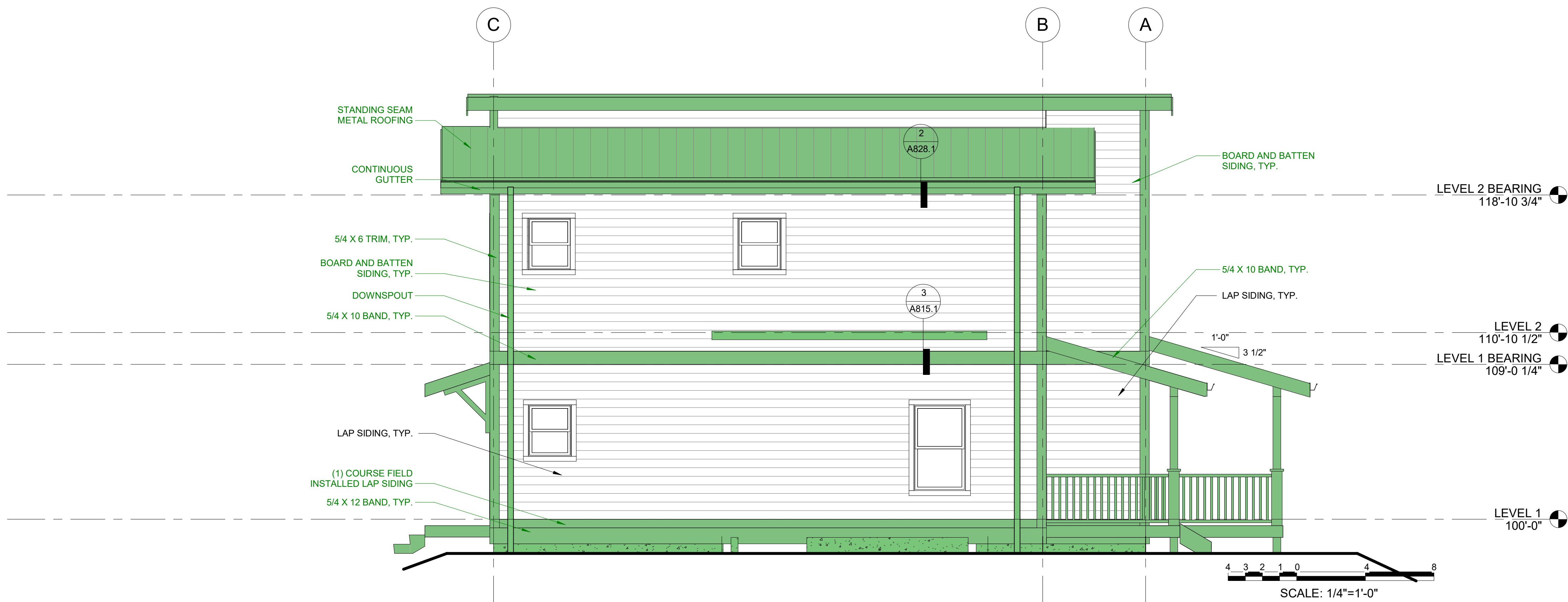
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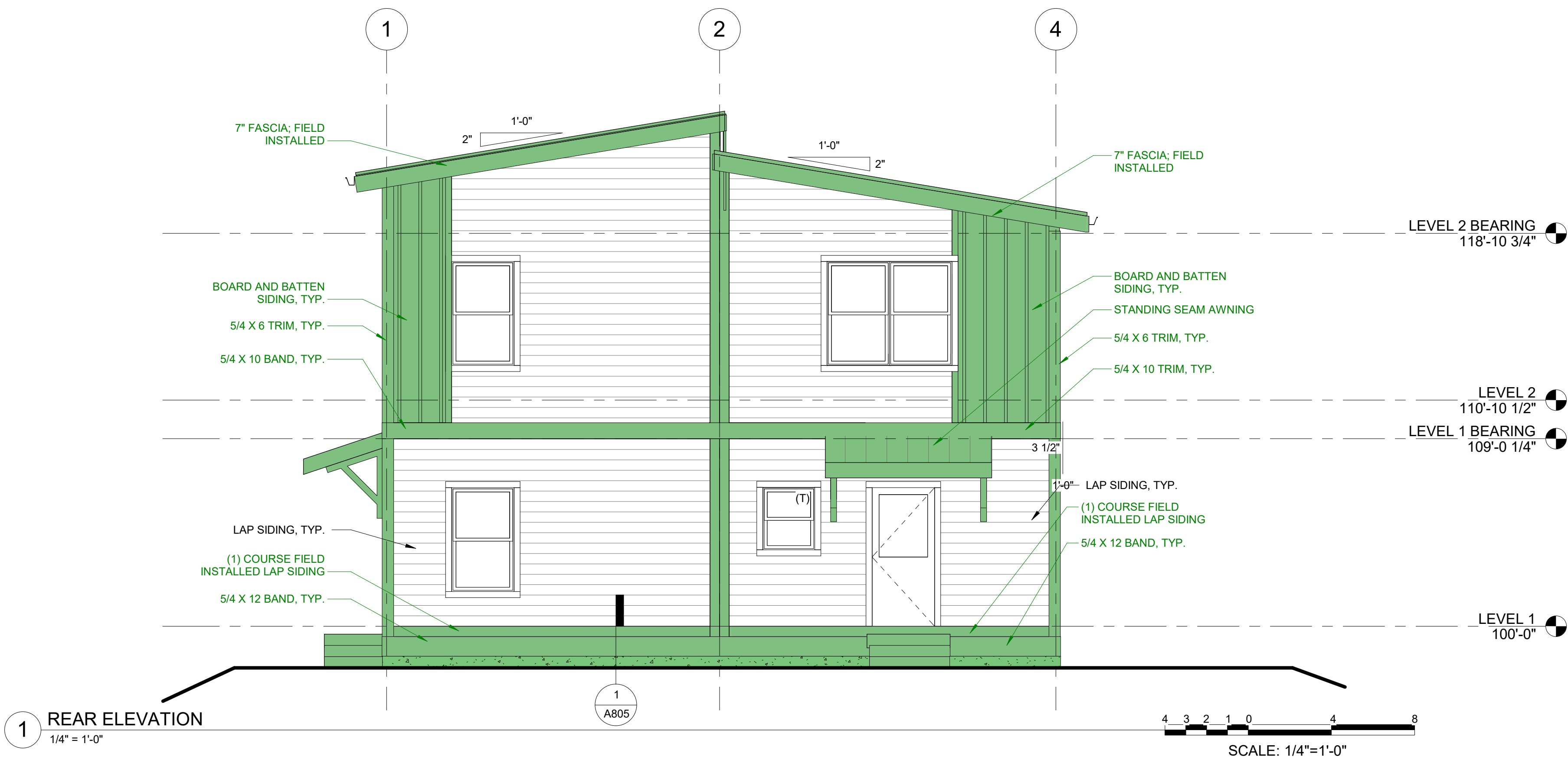
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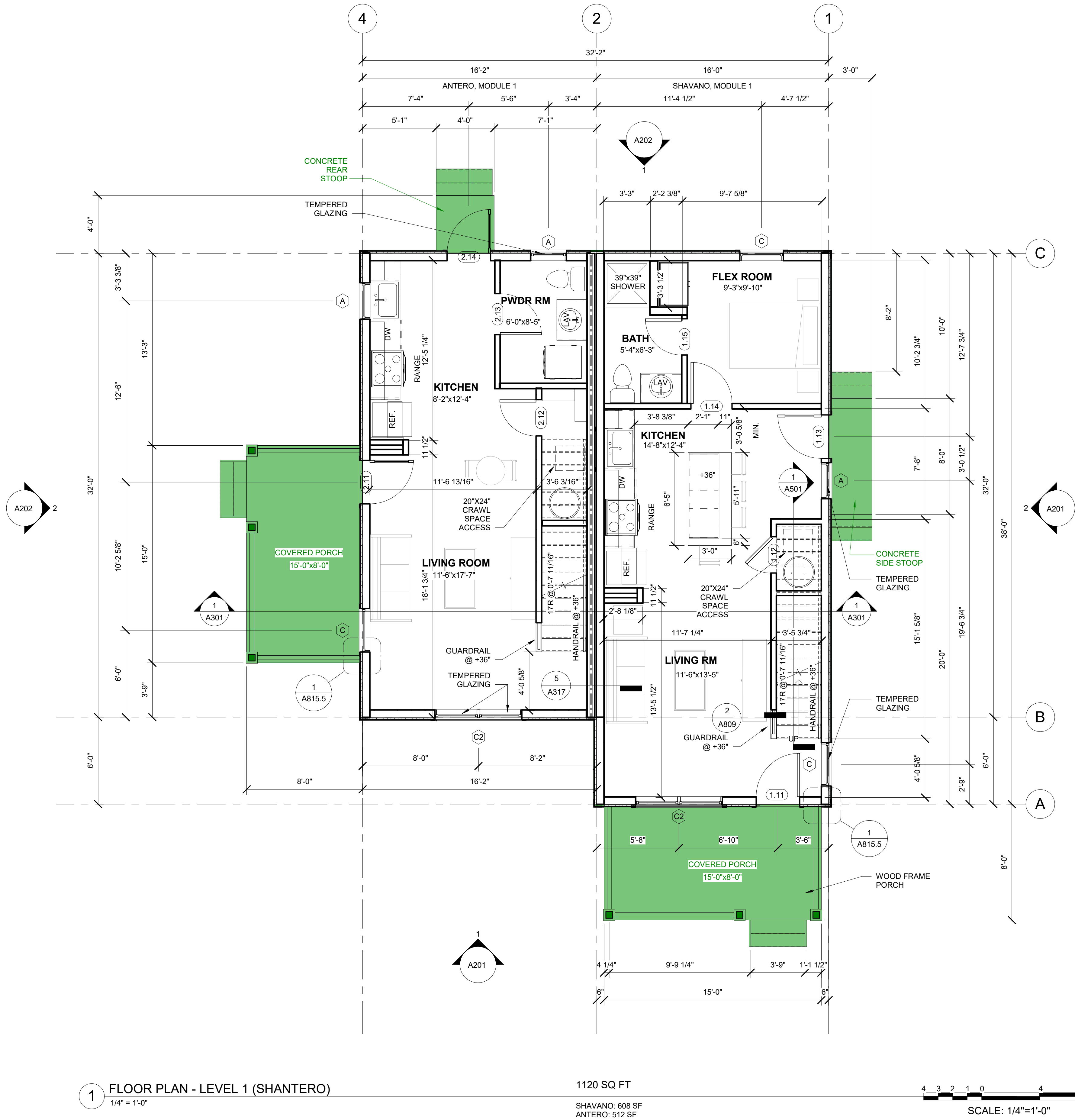
A202



2 ANTERO SIDE ELEVATION
1/4" = 1'-0"

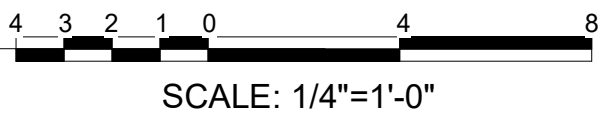


1 REAR ELEVATION
1/4" = 1'-0"



1 FLOOR PLAN - LEVEL 1 (SHANTERO)
1/4" = 1'-0"

1120 SQ FT
SHAVANO: 608 SF
ANTERO: 512 SF



FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
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RATED WALL LEGEND

1-HOUR FIRE
RESISTANCE RATING

INDICATES ITEMS WHICH
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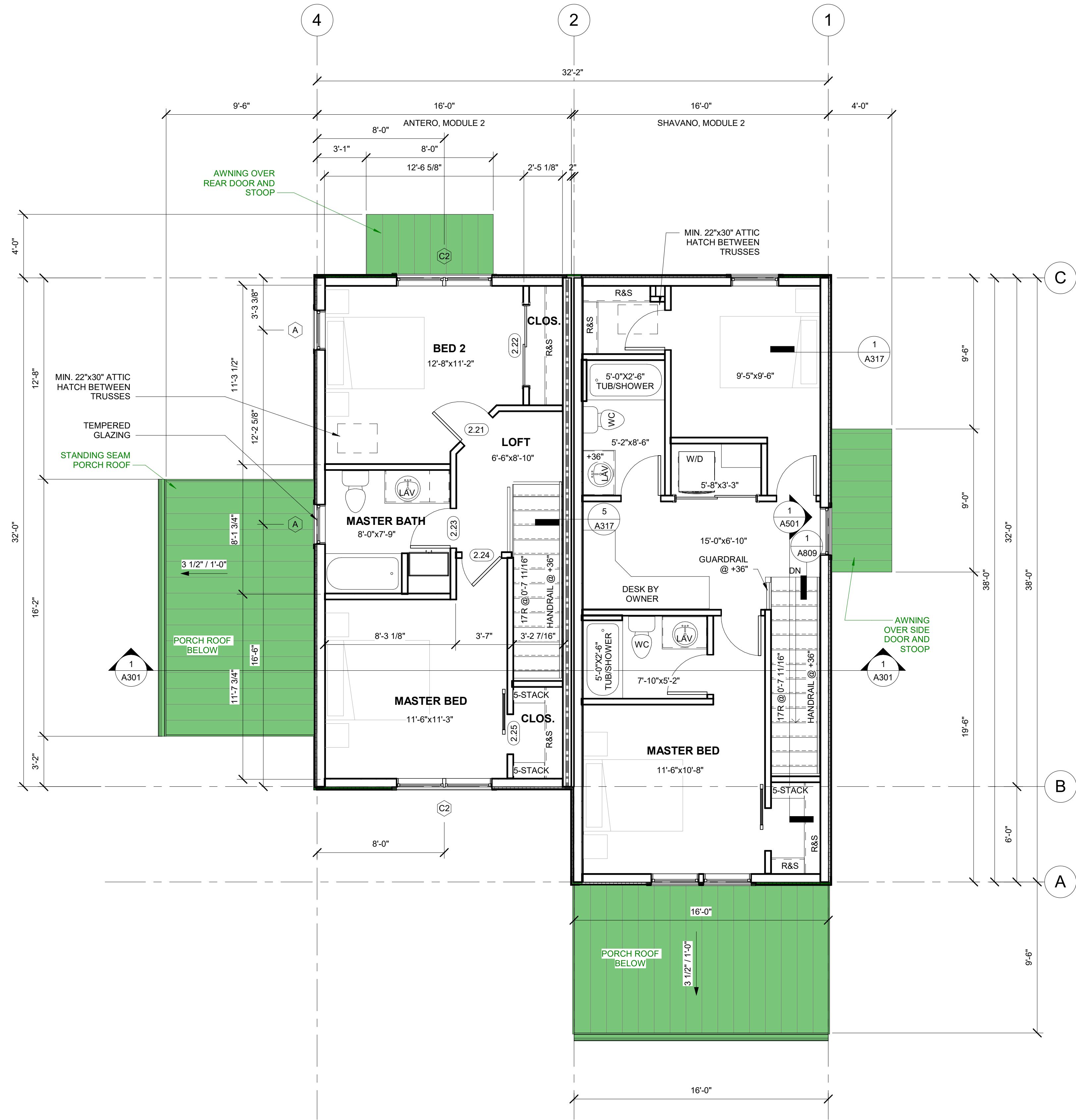
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LOWER FLOOR
PLAN

A101



FLOOR PLAN NOTES

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RATED WALL LEGEND

1-HOUR FIRE RESISTANCE RATING

INDICATES ITEMS WHICH ARE TO BE FIELD INSTALLED

1 FLOOR PLAN - LEVEL 2 (SHANTERO)
1/4" = 1'-0"

1043 SQ FT

SHAVANO: 569 SF
ANTERO: 474 SF

SCALE: 1/4"=1'-0"

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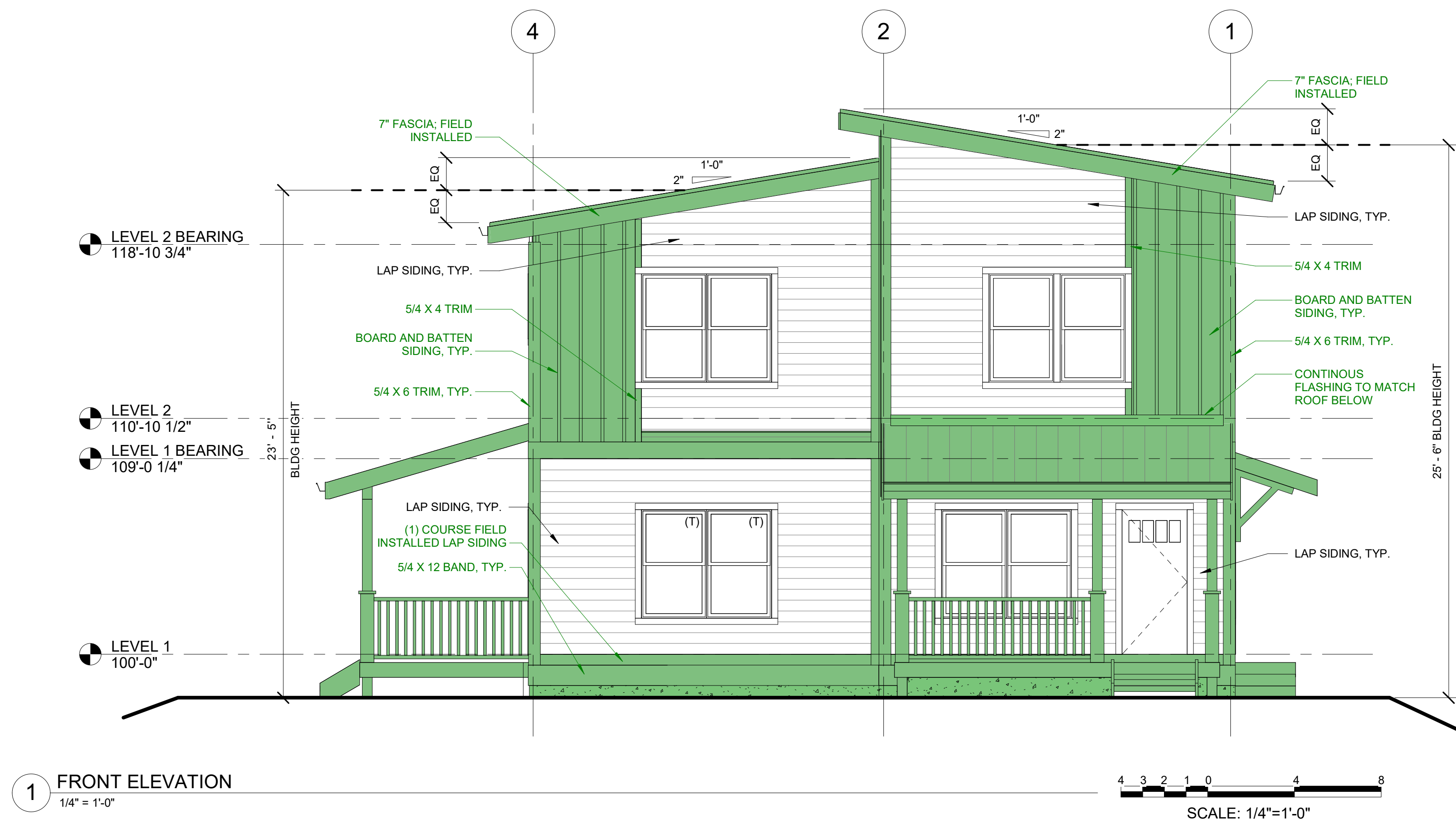
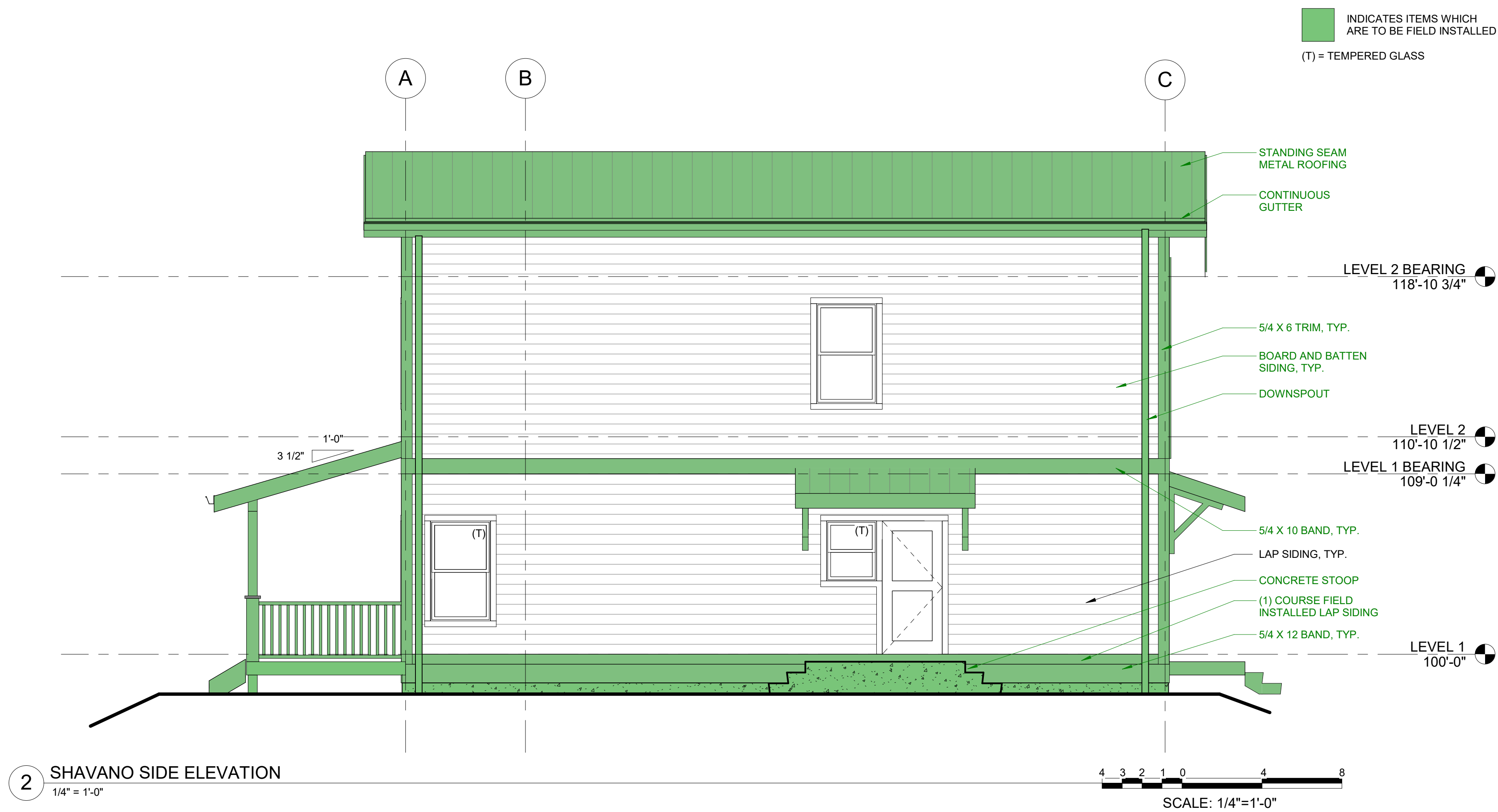
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UPPER FLOOR
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ELEVATIONS

A201

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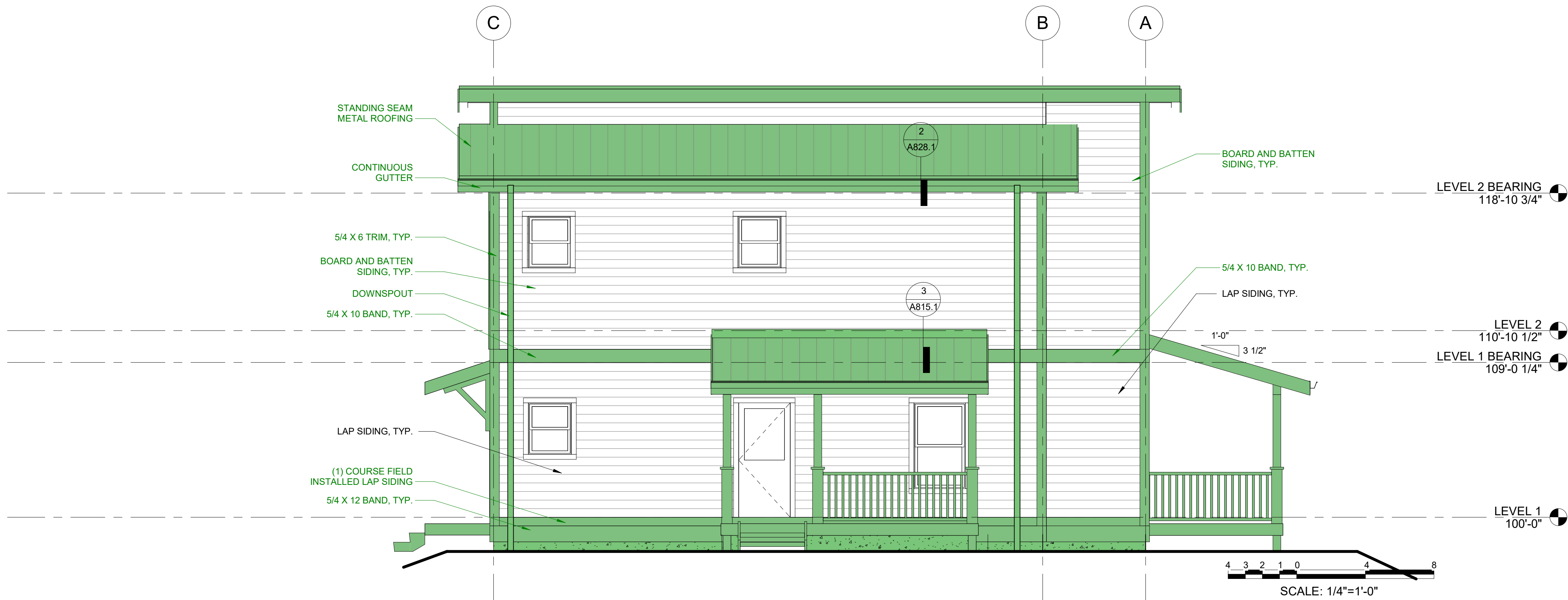
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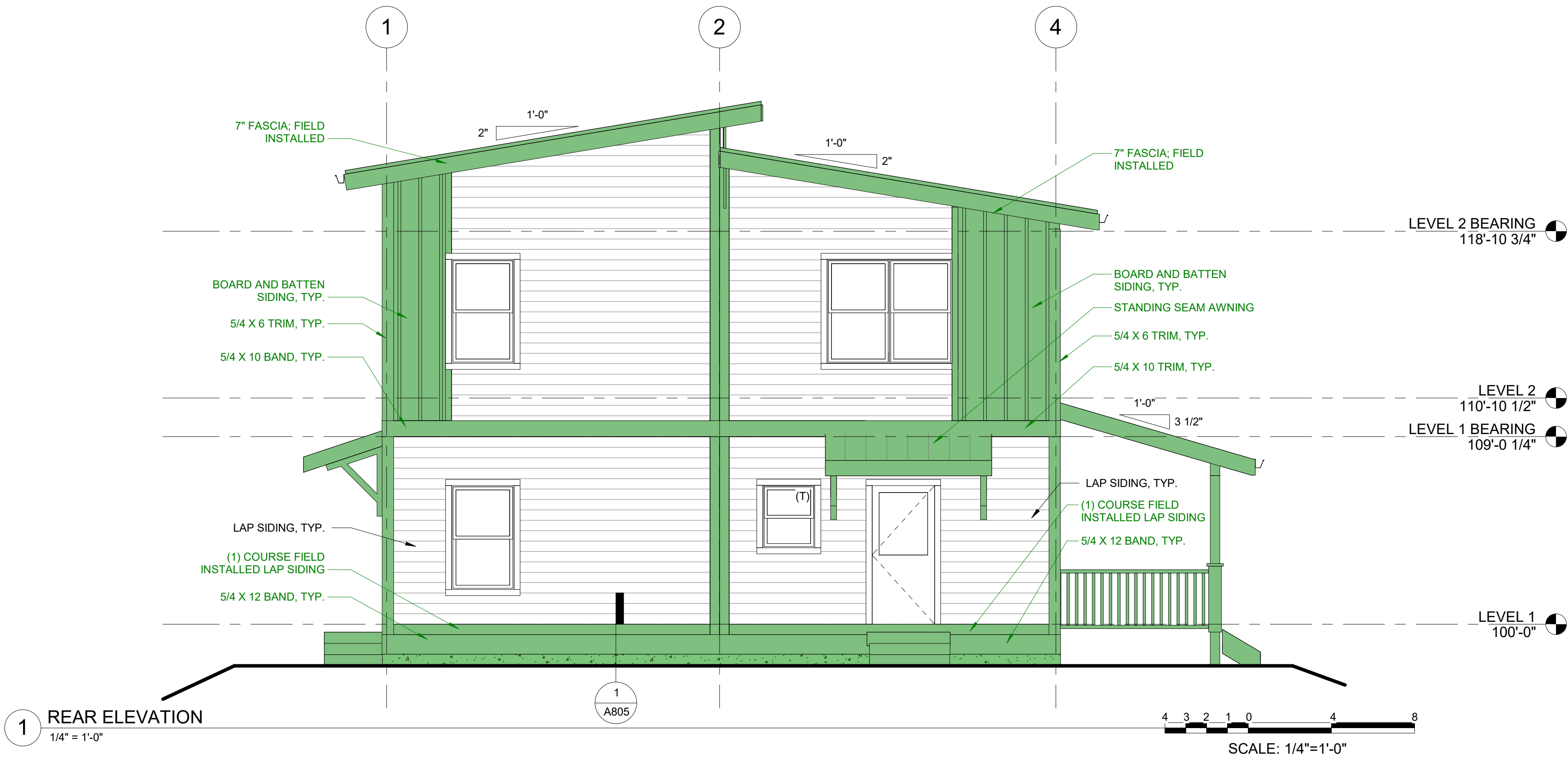
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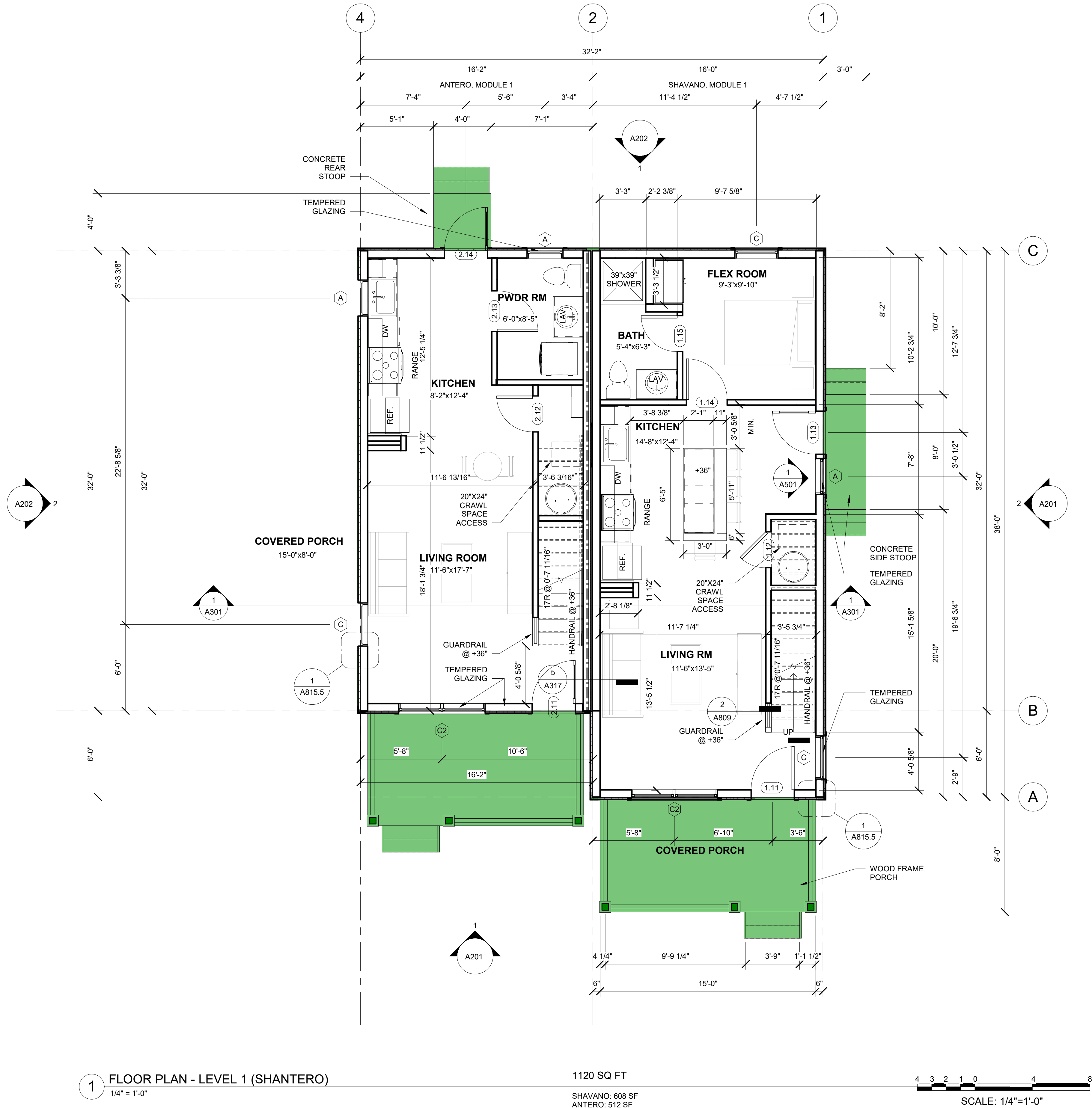
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2 ANTERO SIDE ELEVATION
1/4" = 1'-0"

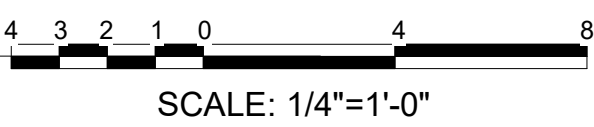


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- 1-HOUR FIRE RESISTANCE RATING
- INDICATES ITEMS WHICH ARE TO BE FIELD INSTALLED

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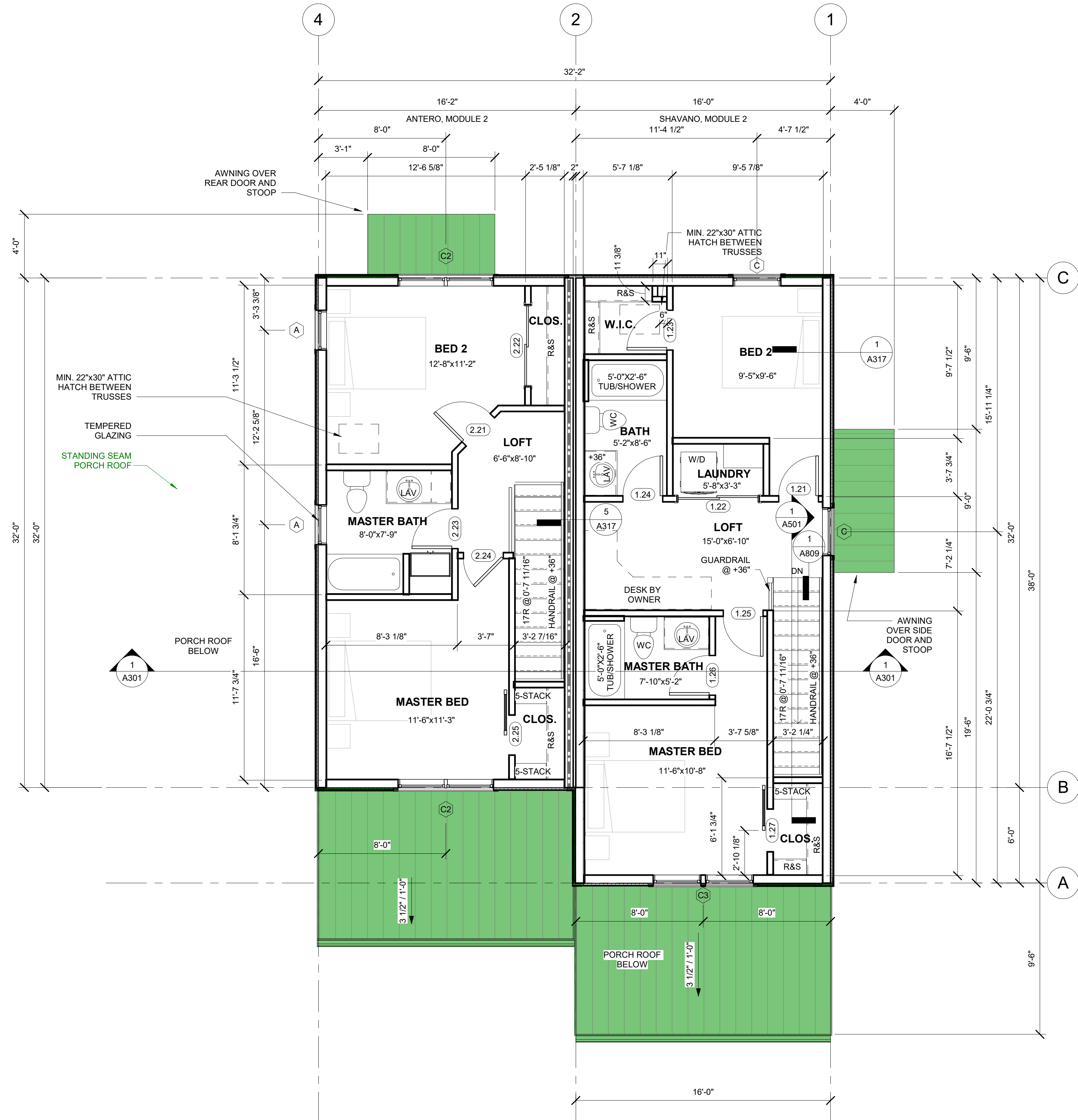
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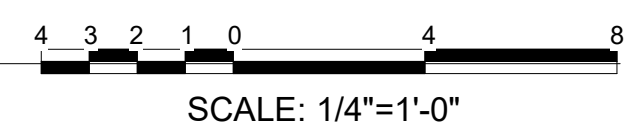
LOWER FLOOR
PLAN

A101



1 FLOOR PLAN - LEVEL 2 (SHANTERO)
1/4" = 1'-0"

1043 SQ FT
SHAVANO: 569 SF
ANTERO: 474 SF



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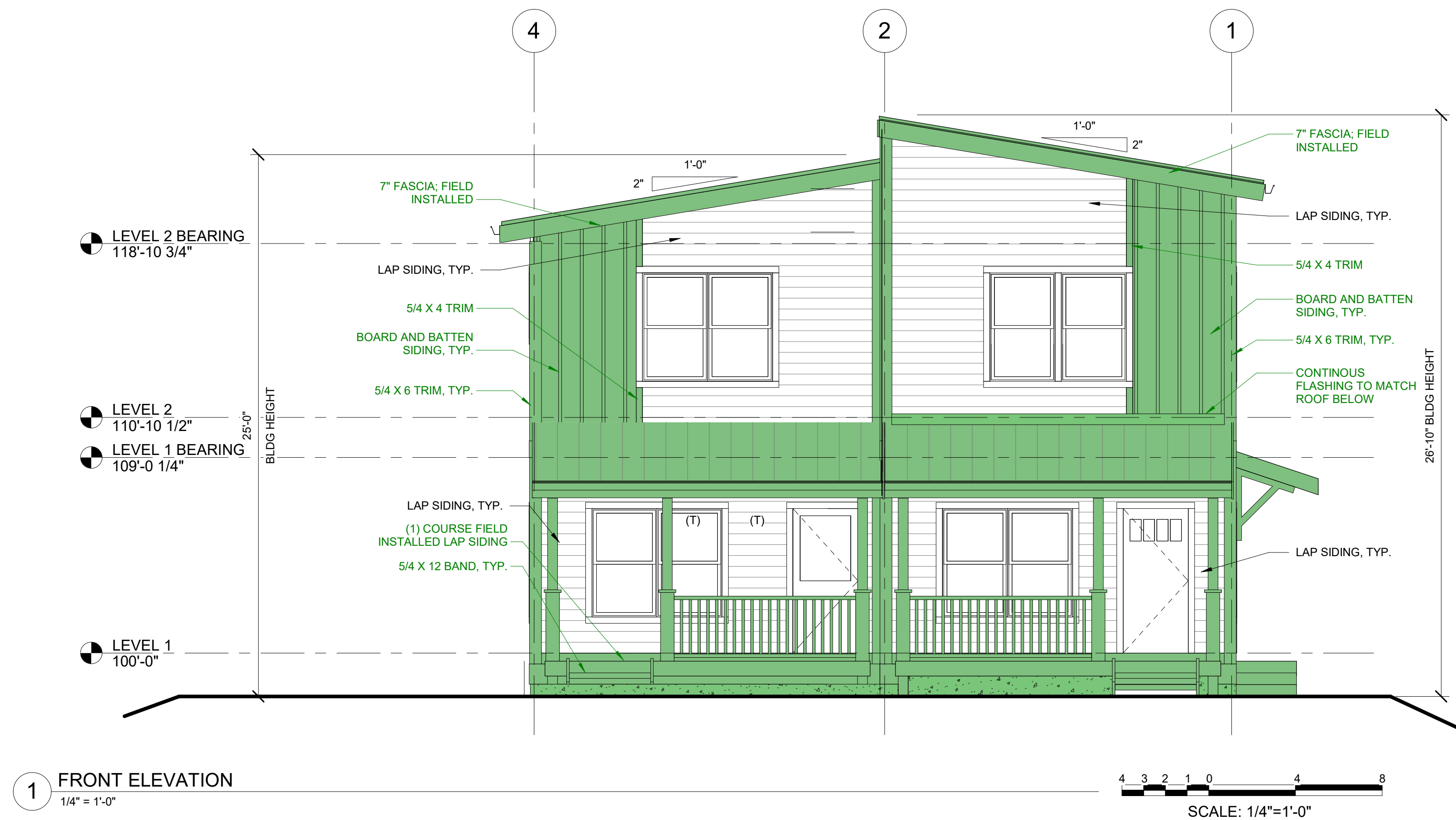
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UPPER FLOOR
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ELEVATIONS

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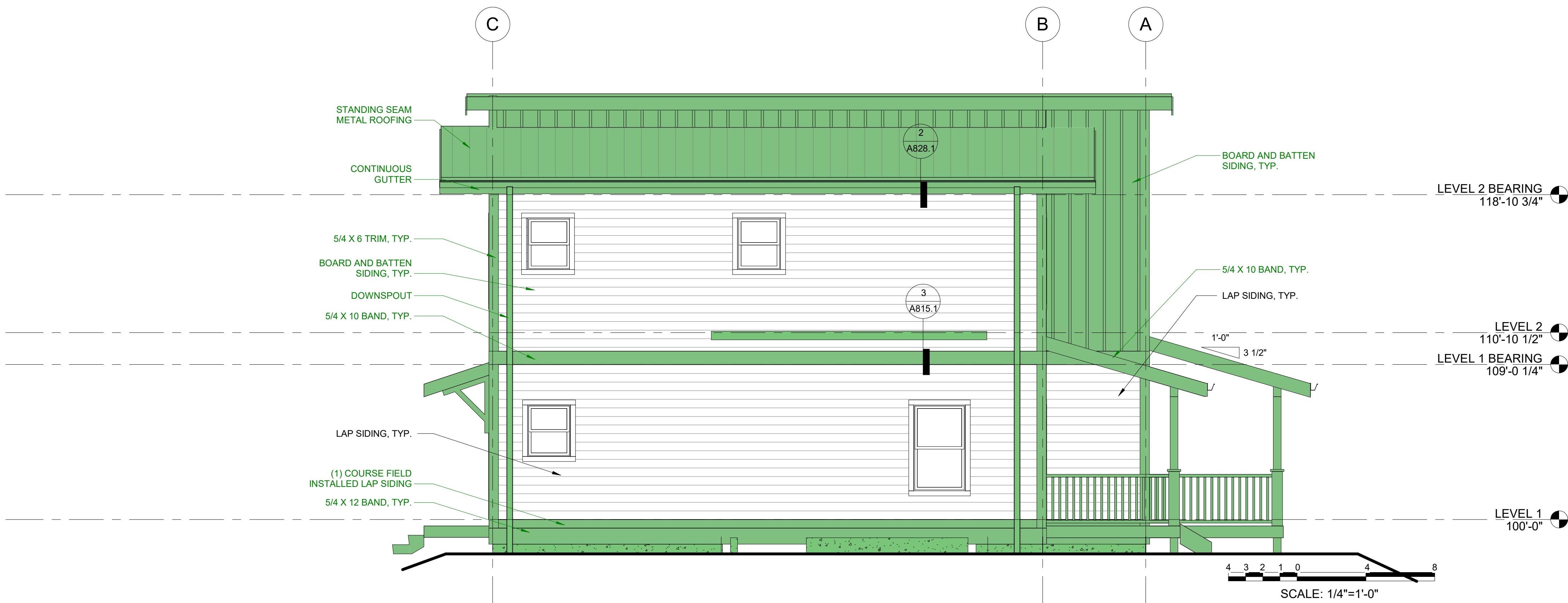
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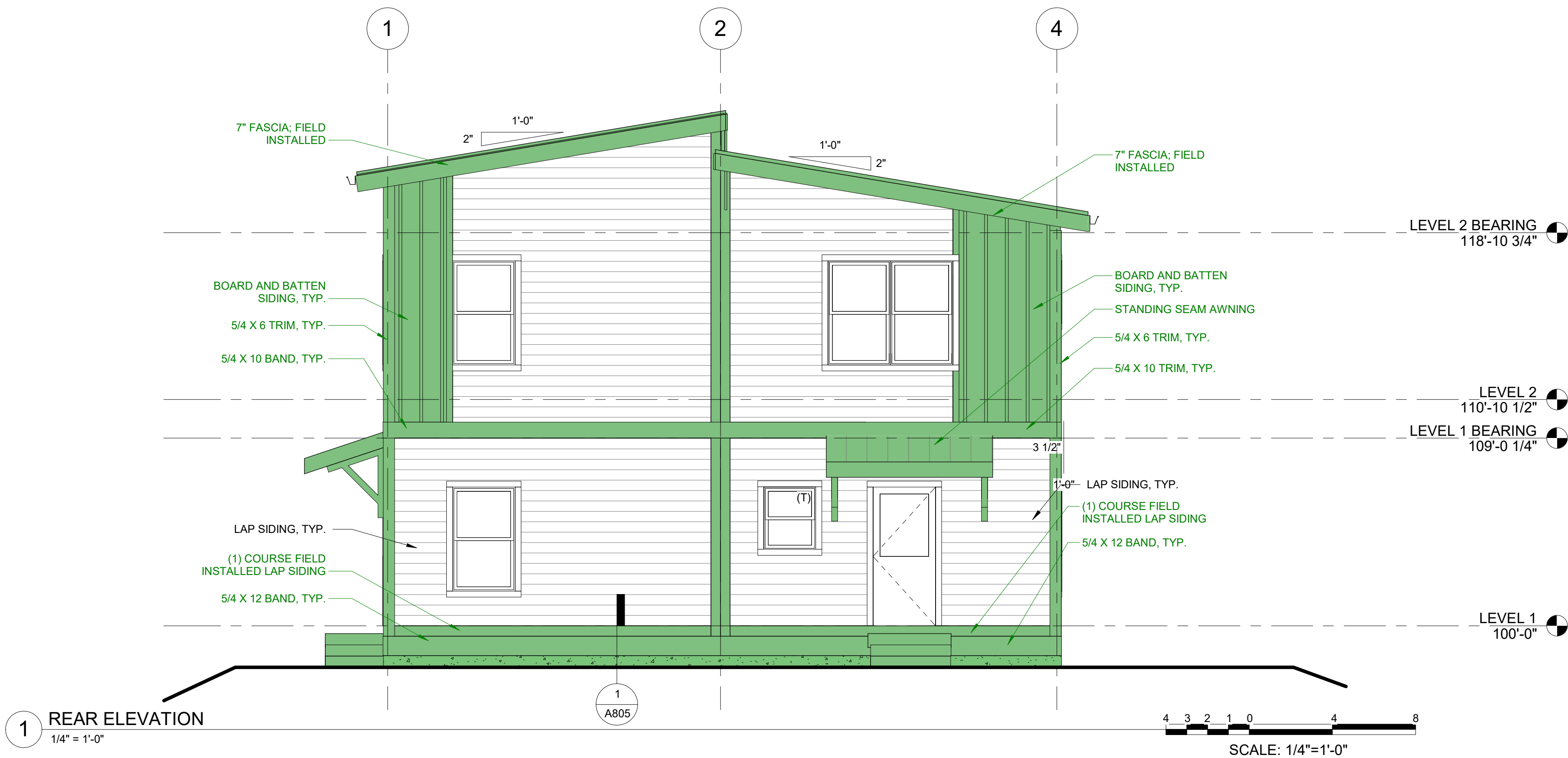
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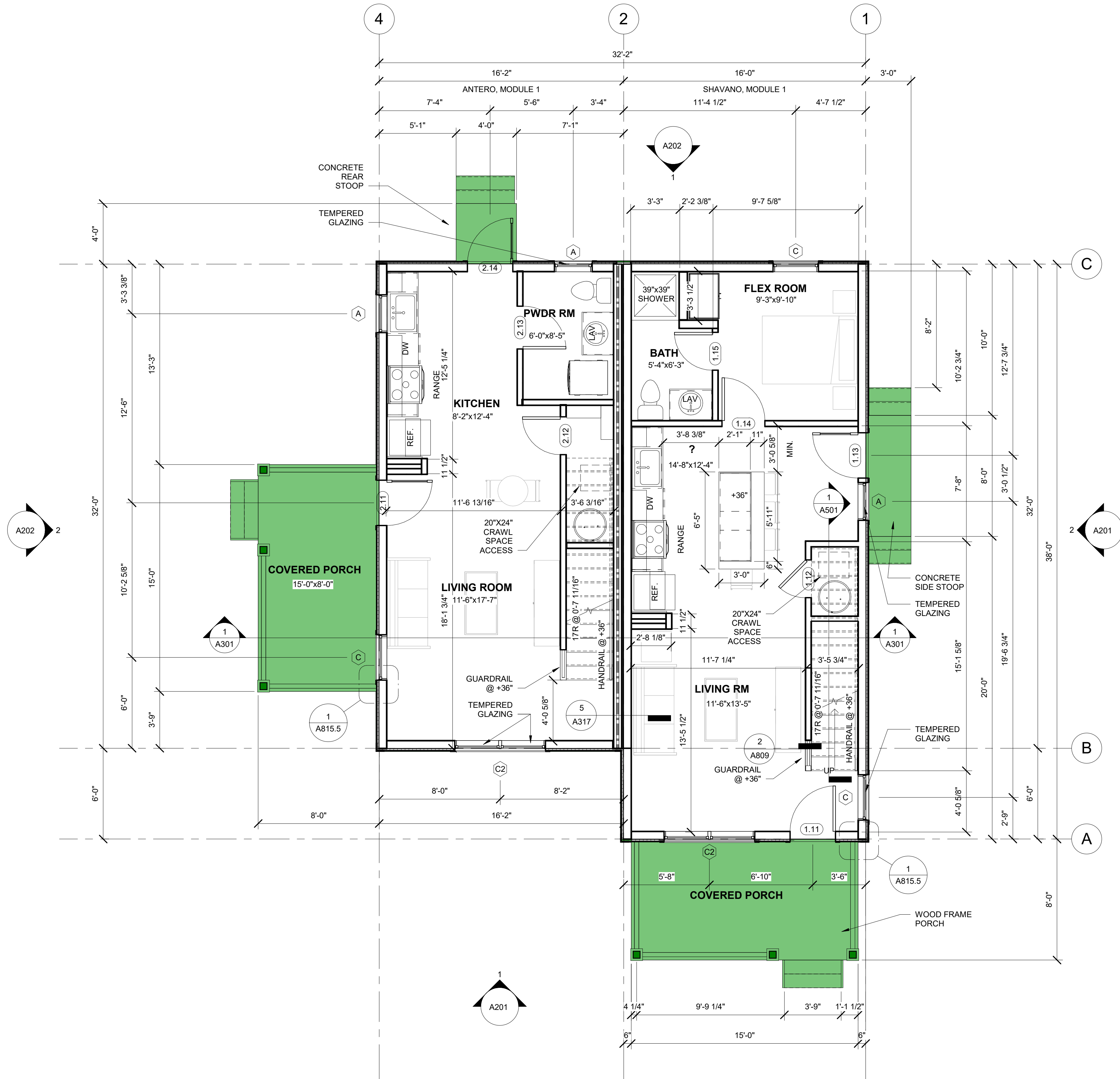
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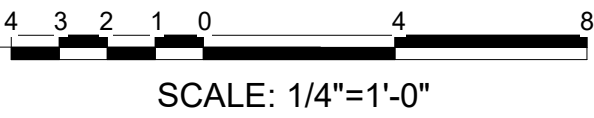


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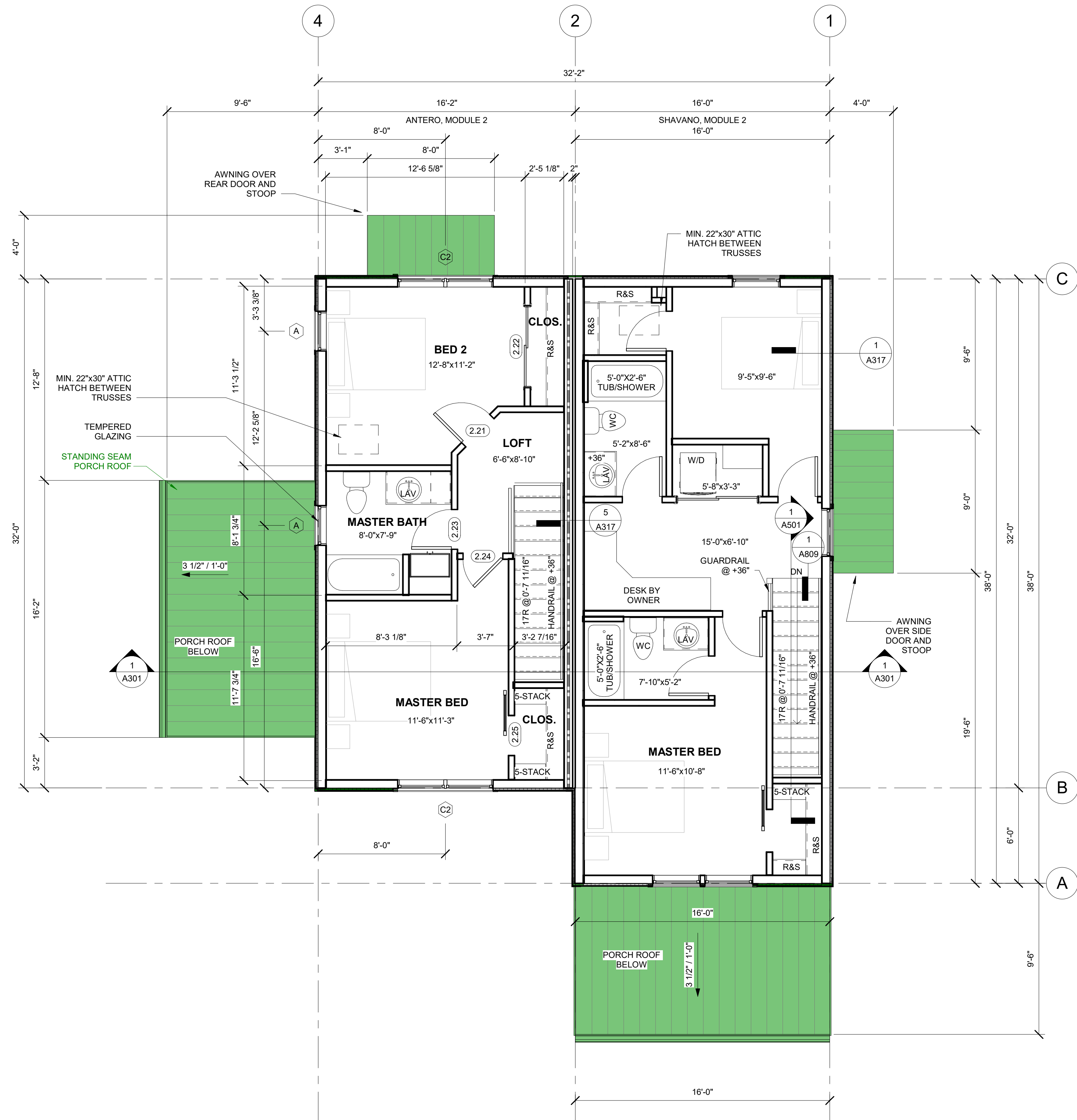
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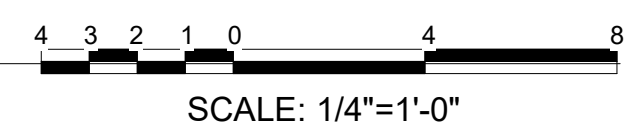
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RATED WALL LEGEND

1-HOUR FIRE RESISTANCE RATING

INDICATES ITEMS WHICH ARE TO BE FIELD INSTALLED

EVstudio

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Evergreen, CO

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303.607.7242x37

TELLURIDE RIDGEWAY
SHANTERO (MM)
MASTER SET
SAN MIGUEL COUNTY, COLORADO

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CONSTRUCTION

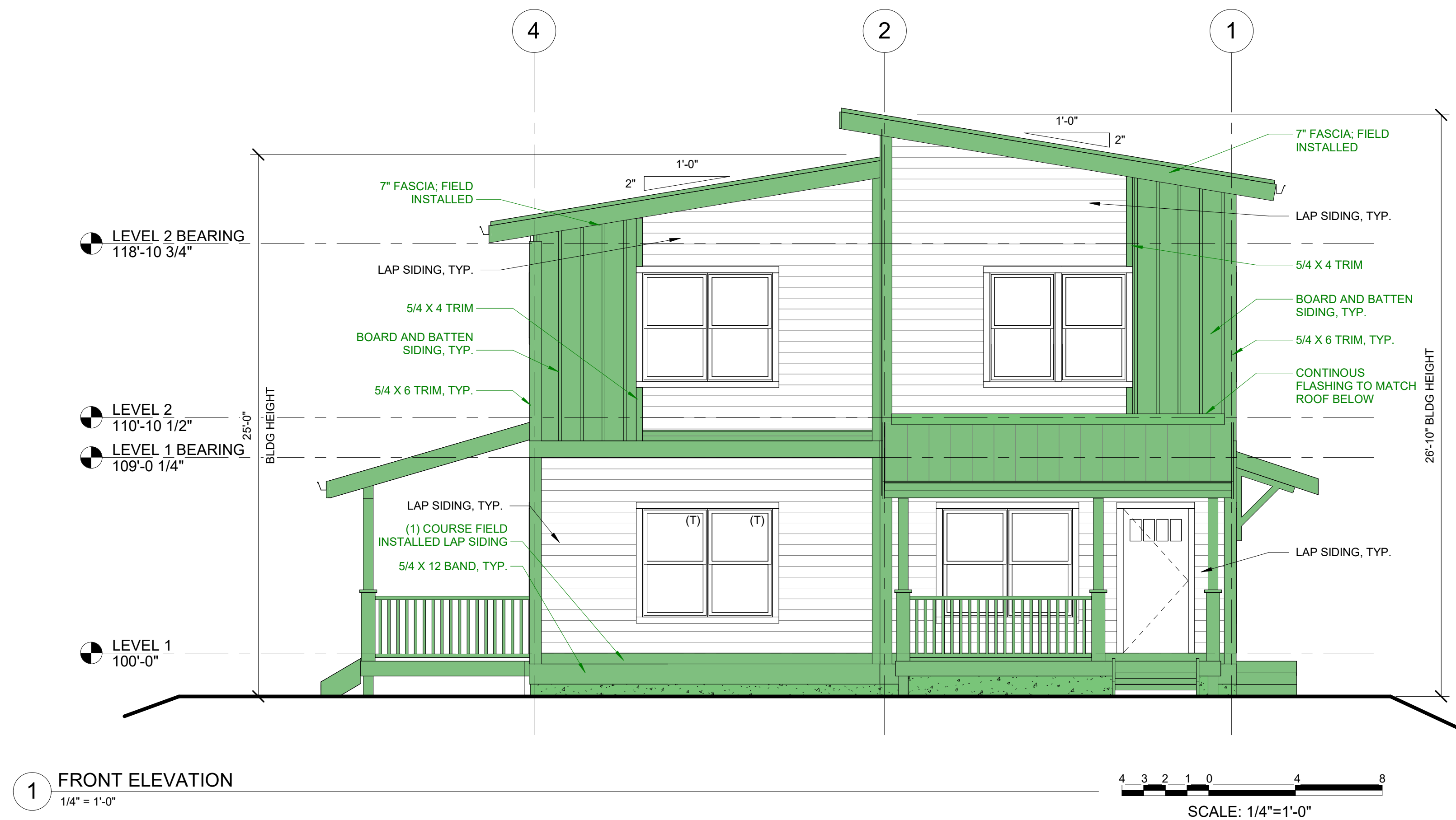
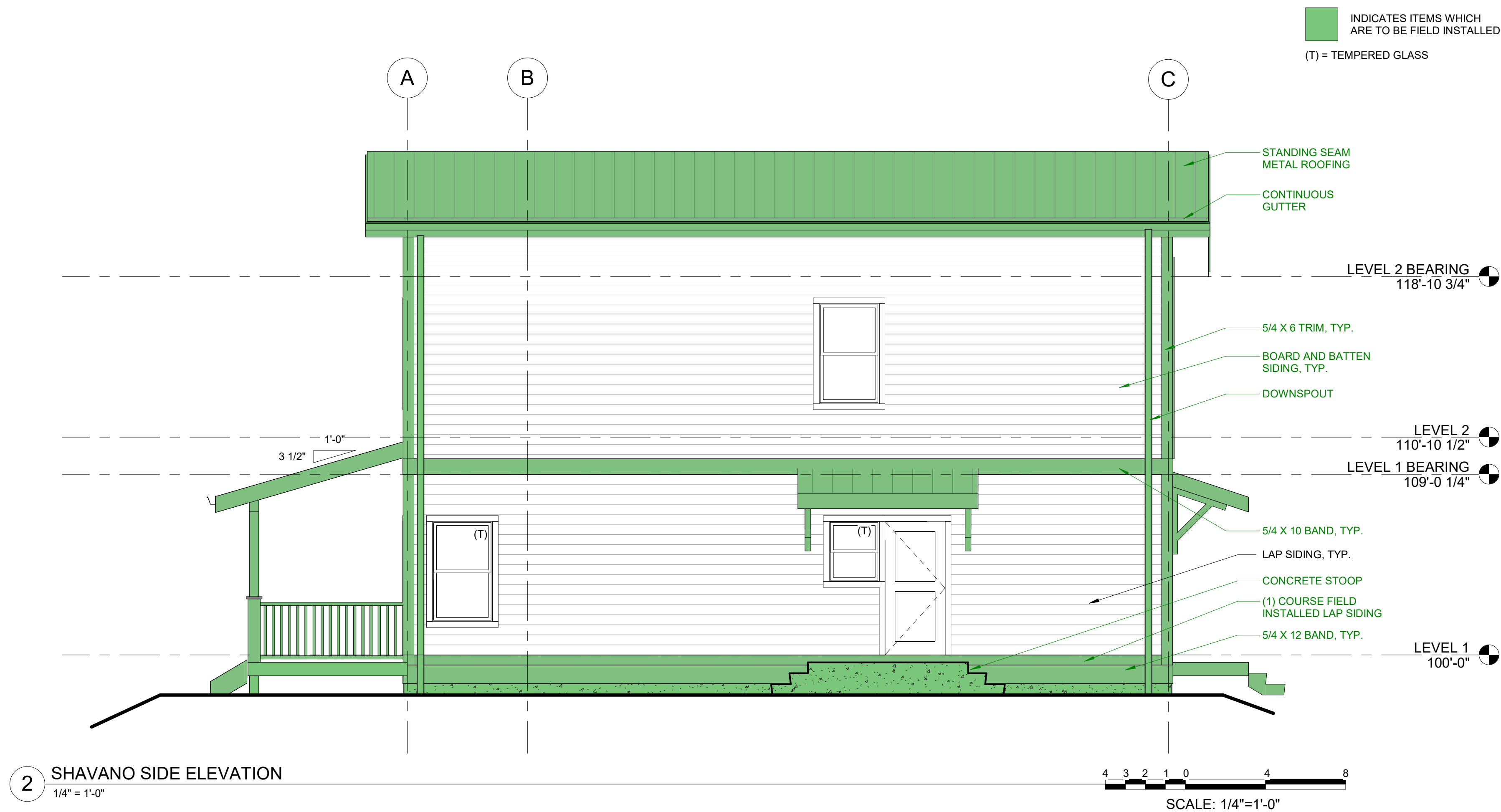
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UPPER FLOOR
PLAN

A102



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ELEVATIONS

A201

TELLURIDE RIDGEWAY
SHANTERO (MM)
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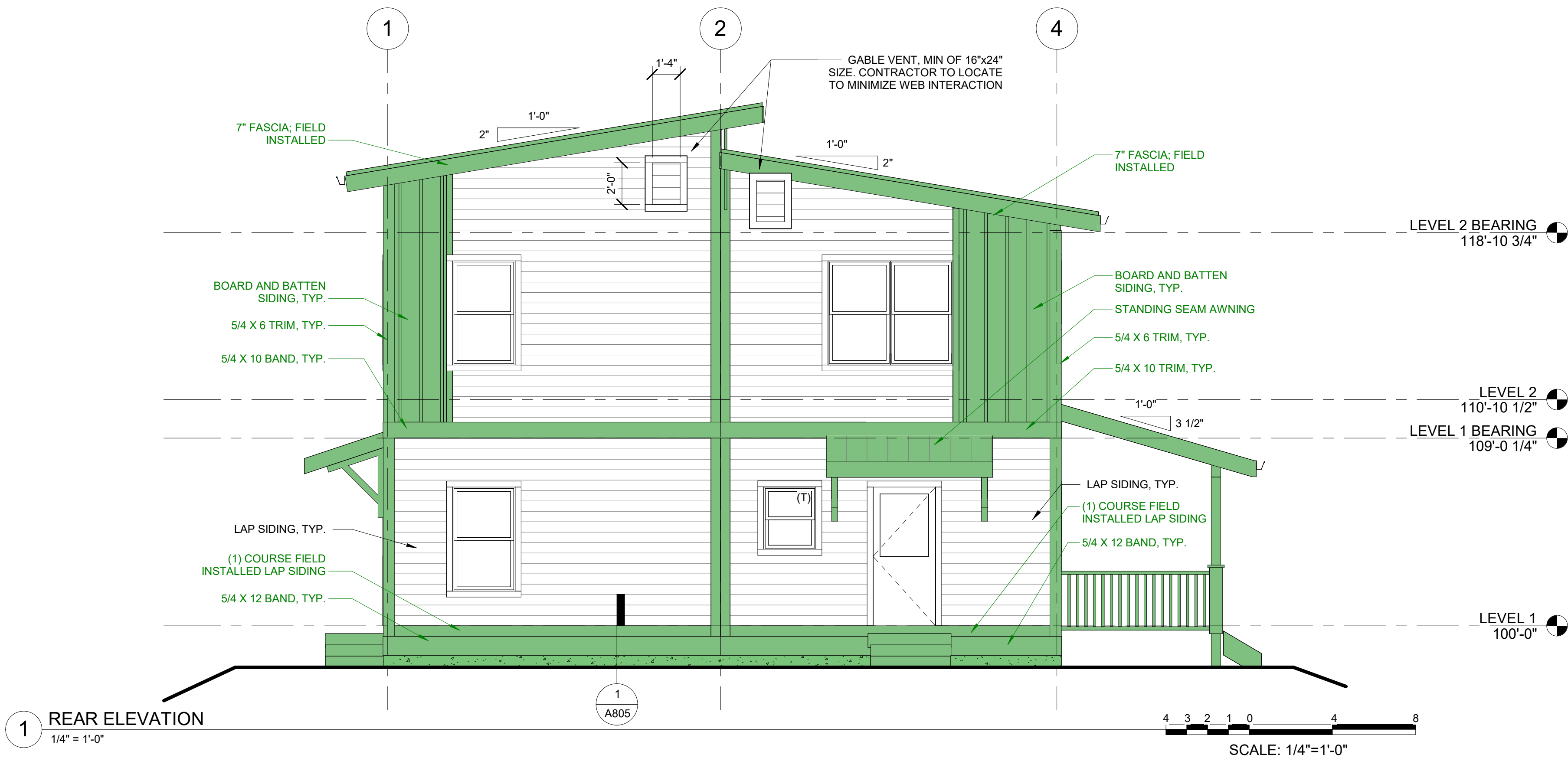
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ELEVATIONS

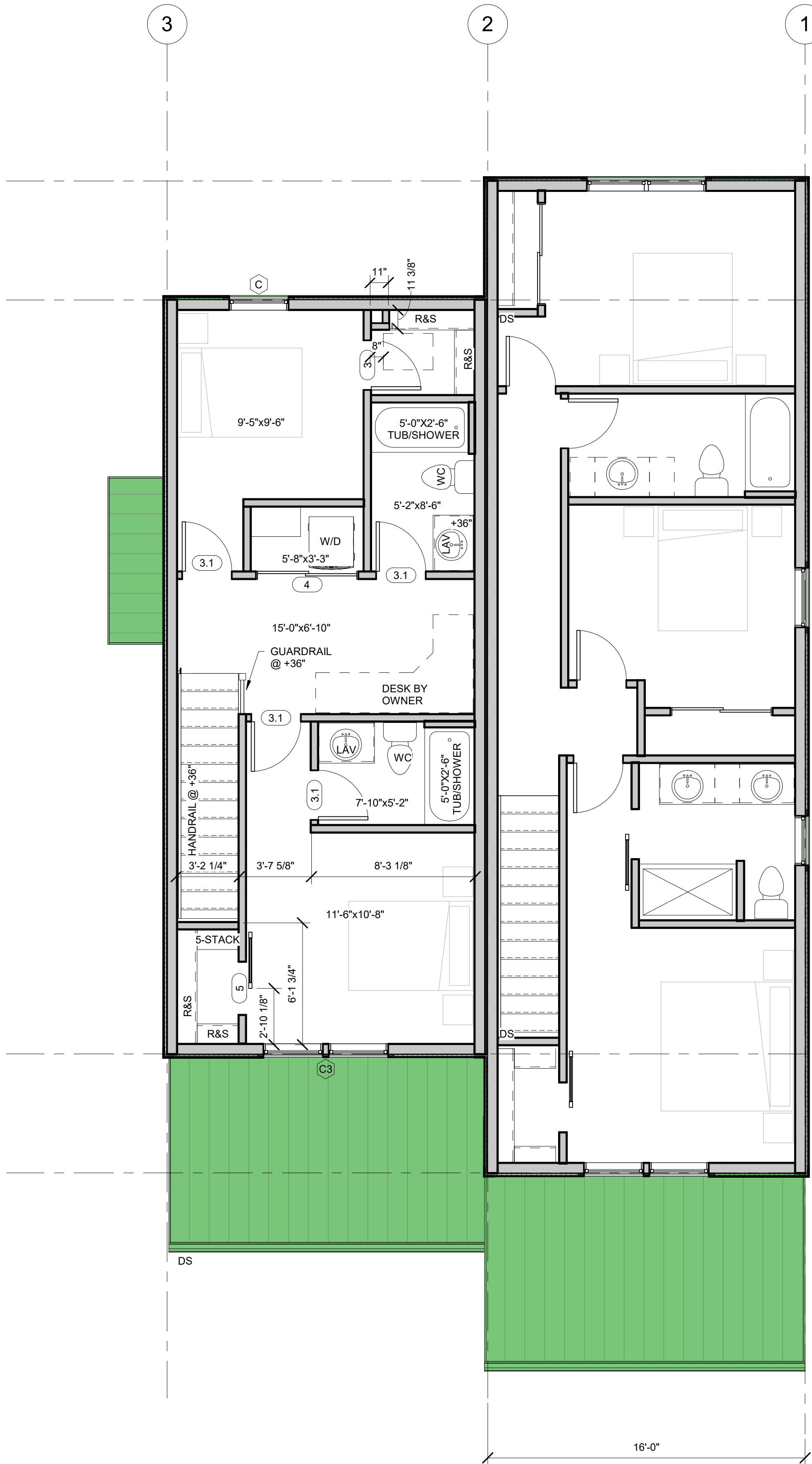
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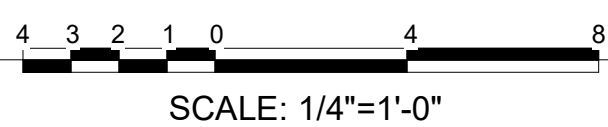
2 ANTERO SIDE ELEVATION
1/4" = 1'-0"



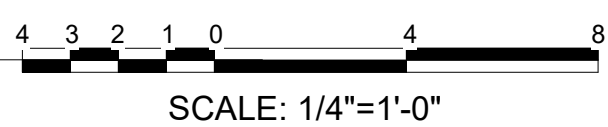
1 REAR ELEVATION
1/4" = 1'-0"



2 FLOOR PLAN - LEVEL 2
1/4" = 1'-0"



1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"



FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
2. ALL STUDS TO BE 2X6 U.N.O.
3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING STUD TYPE, SIZE & SPACING AND SHEAR WALL LOCATIONS.
4. SEE BUILDING ELEVATIONS ON A20- SERIES SHEETS AND WALL SECTIONS ON A31- SERIES SHEETS FOR EXTERIOR WALL ASSEMBLY INFORMATION.
5. SEE WALL SECTIONS ON A31- SERIES SHEETS FOR HORIZONTAL ASSEMBLY INFORMATION.
6. INTERIOR DOOR FRAMES SHALL BE LOCATED 3-INCHES FROM FINISHED FACE OF ROOM CORNER TO FACE OF OPENING U.N.O.
7. GLAZING IN DOORS AND FIXED OR OPERABLE PANELS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR IN A CLOSED POSITION AND WITHIN 60" OF THE FLOOR MUST BE SAFETY GLASS AS PER SECTION R308.4, 2018 I.R.C.
8. GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM AND TOP EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE MUST BE SAFETY GLASS AS PER SECTION R308.4, 2018 I.R.C.
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10. PROVIDE A MECHANICALLY OPERATED EXHAUST SYSTEM IN ALL BATHROOMS, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS WHOSE OPERABLE EXTERIOR OPENINGS ARE LESS THAN 3 SQ. FT. PER SECTION R303.3, 2018 I.R.C.
11. PROVIDE ATTIC VENTILATION PER SECTION R806.1, 2018 I.R.C.

RATED WALL LEGEND

1-HOUR FIRE RESISTANCE RATING

INDICATES ITEMS WHICH ARE TO BE FIELD INSTALLED

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**TELLURIDE RIDGEWAY
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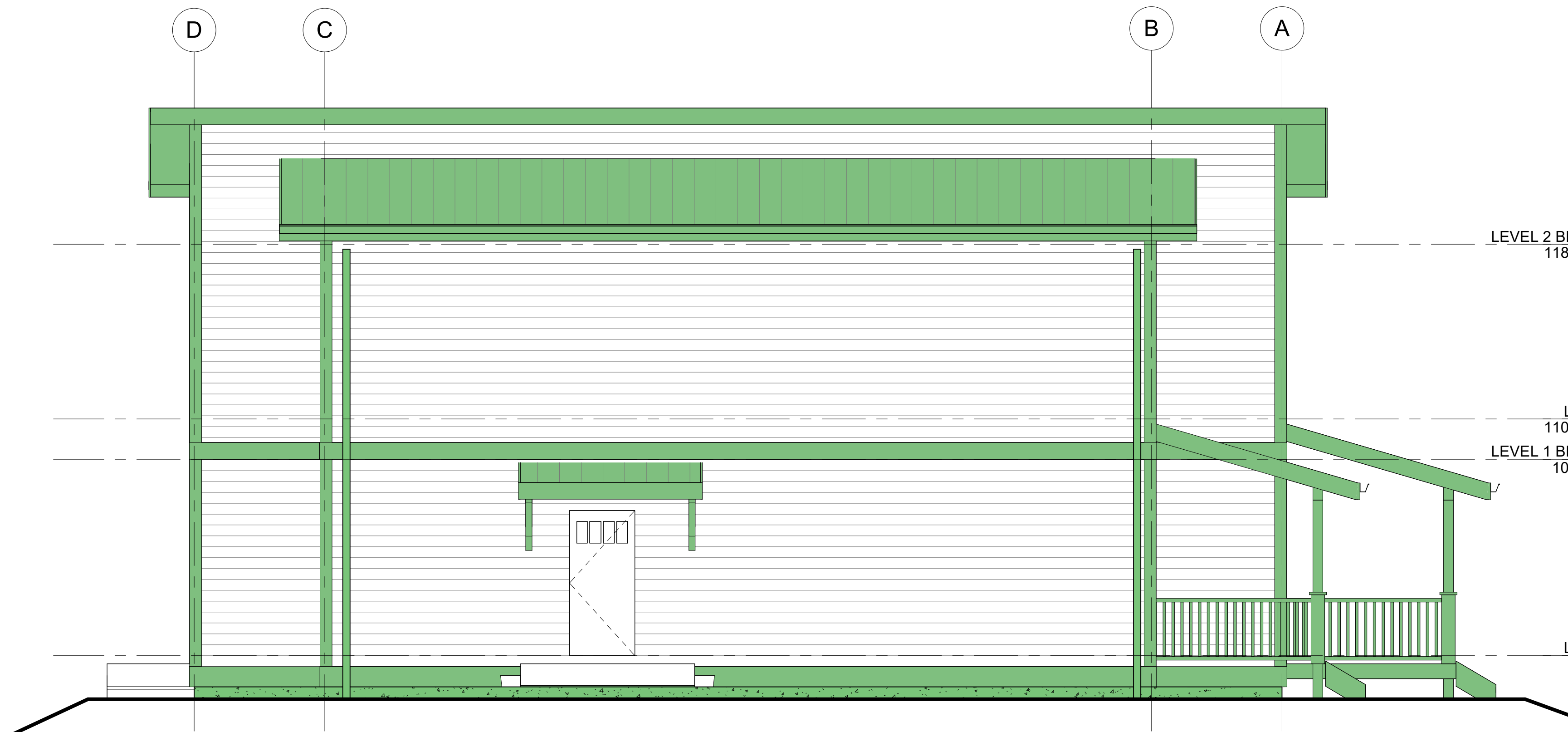
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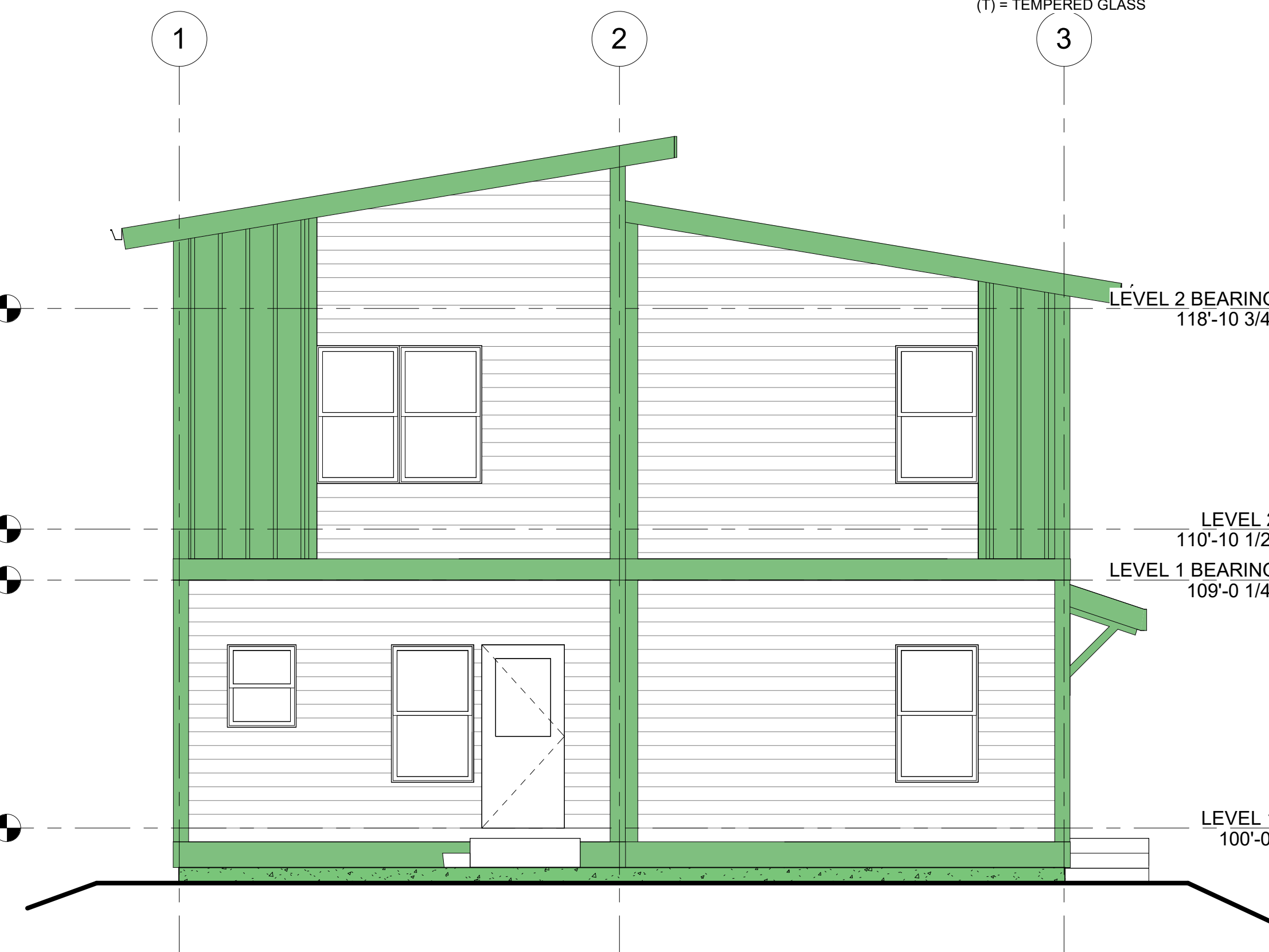
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FLOOR PLANS
A101



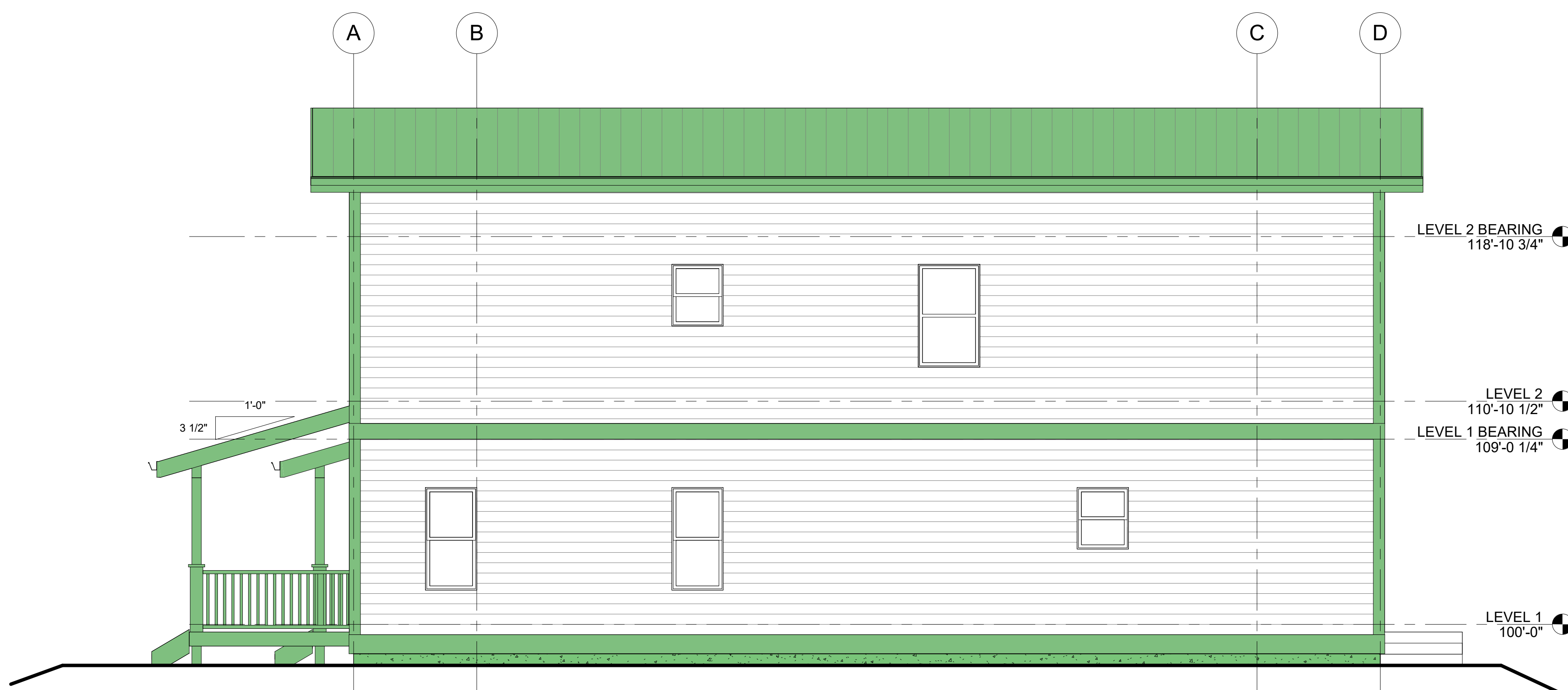
2 SIDE ELEVATION
1/4" = 1'-0"

4 3 2 1 0 4 8
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
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SCALE: 1/4"=1'-0"

INDICATES ITEMS WHICH
ARE TO BE FIELD INSTALLED
(T) = TEMPERED GLASS

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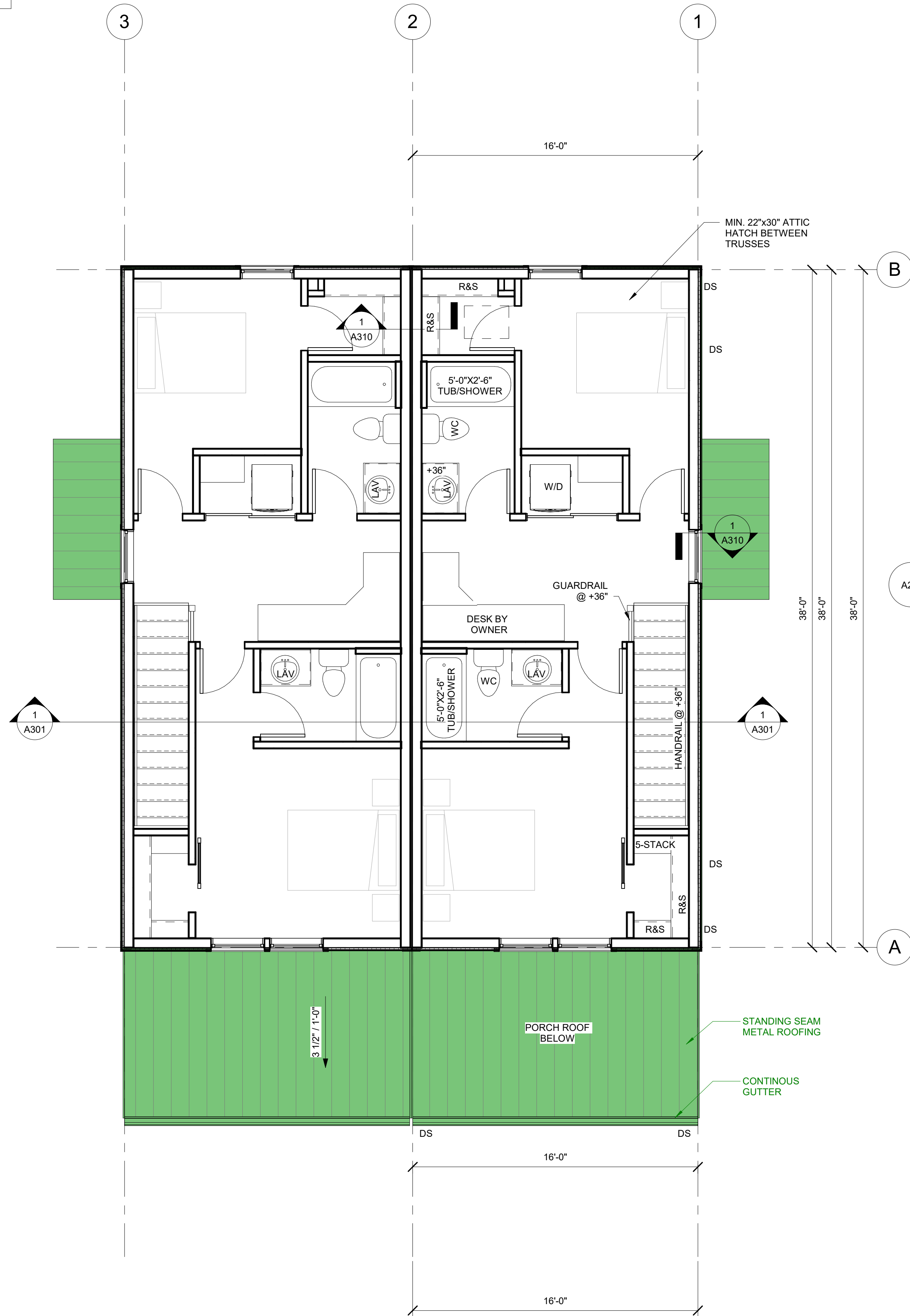
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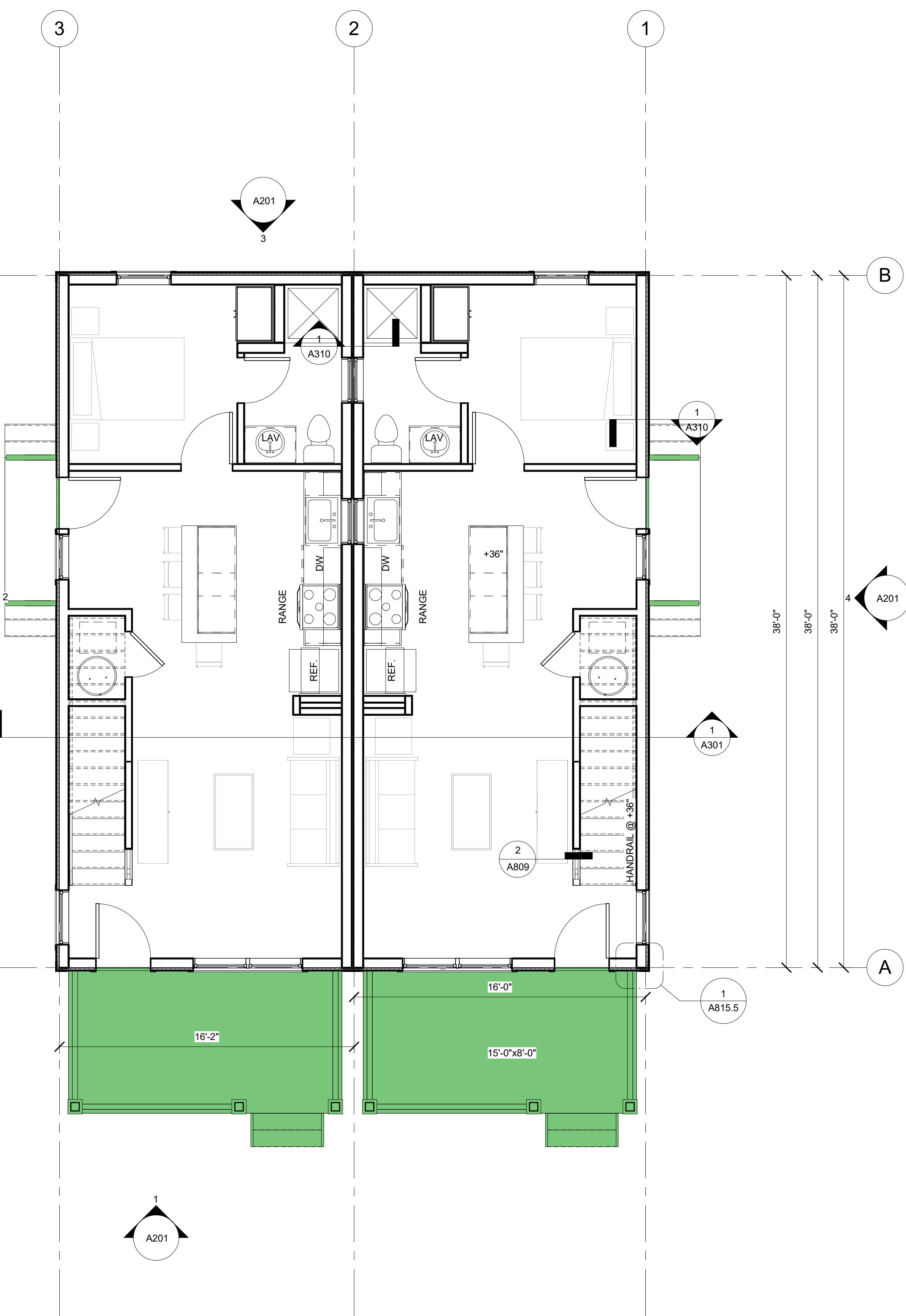
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ELEVATIONS
A201



2 FLOOR PLAN - LEVEL 2 (SHAVANO)
1/4" = 1'-0"



1 FLOOR PLAN - LEVEL 1 (SHAVANO)
1/4" = 1'-0"

FLOOR PLAN NOTES

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TELLURIDE RIDGWAY
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FLOOR PLANS
A101

TELLURIDE RIDGWAY
SHAVANO DUPLEX (FH)
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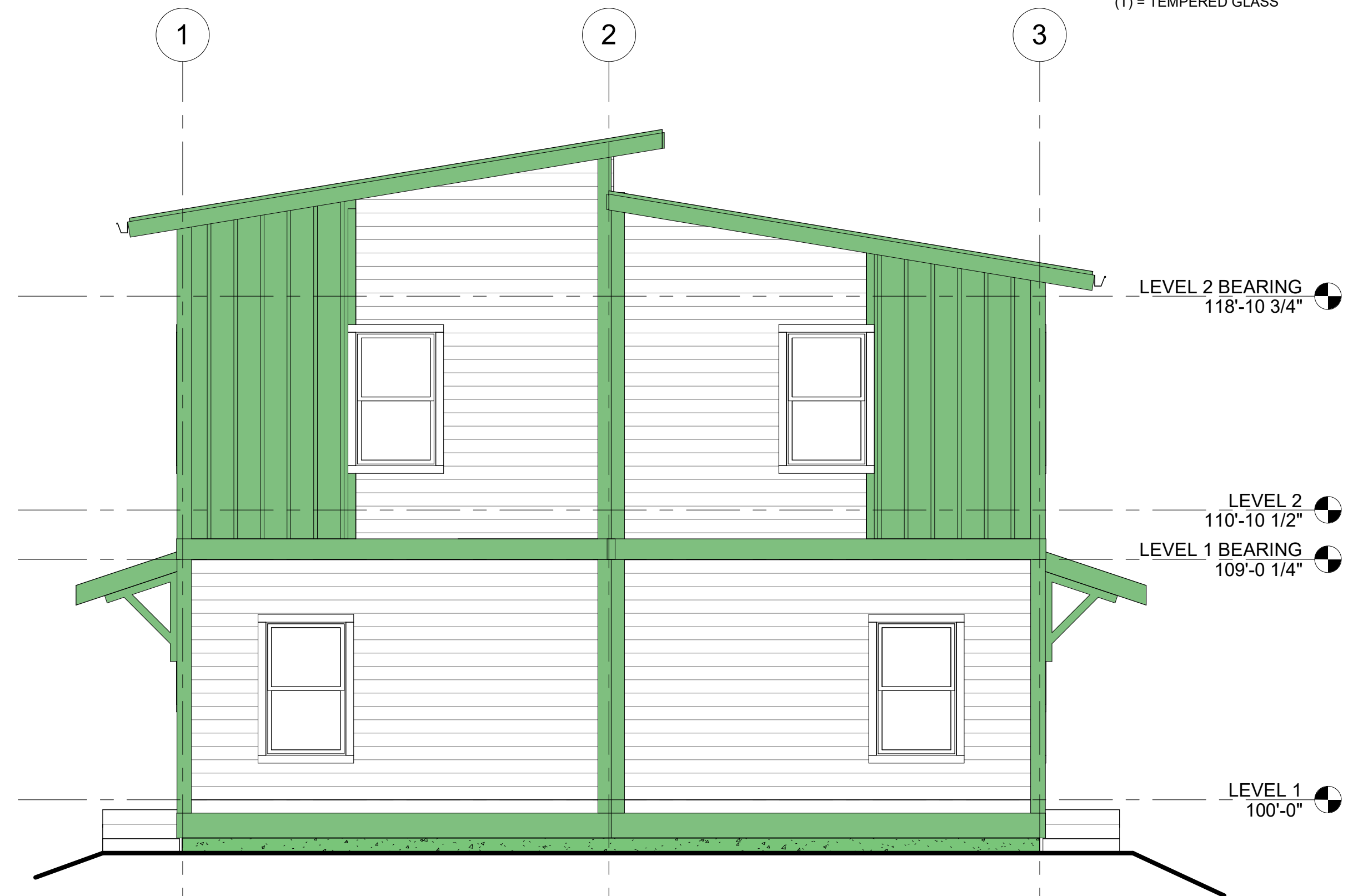
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ELEVATIONS
A201

INDICATES ITEMS WHICH
ARE TO BE FIELD INSTALLED
(T) = TEMPERED GLASS



2 SIDE ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
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4 3 2 1 0 4 8
SCALE: 1/4"=1'-0"



4 SIDE ELEVATION
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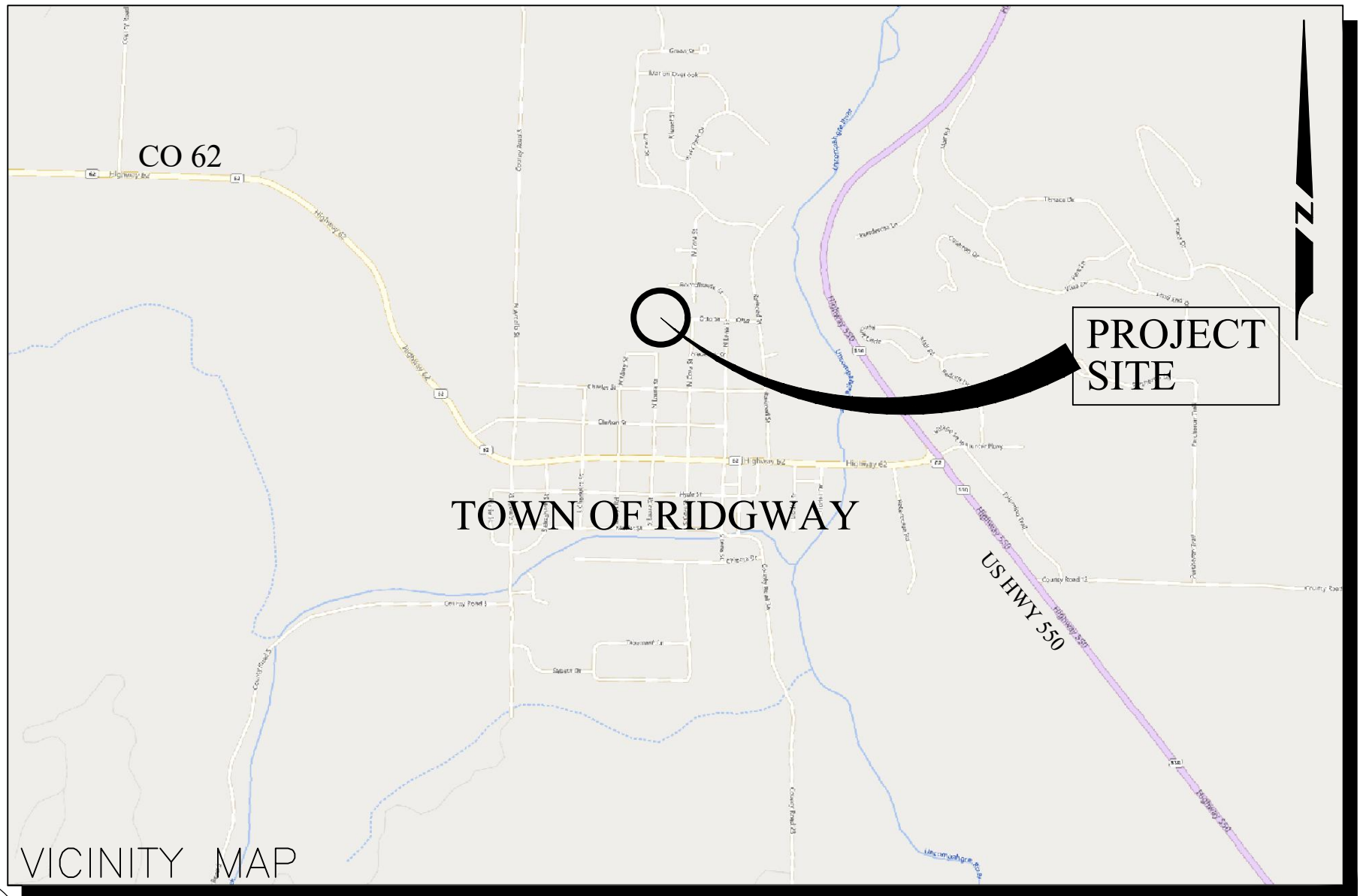
YELLOW BRICK TOWNHOMES SUBDIVISION
TOWN OF RIDGWAY, COLORADO

PROJECT CONTACT LIST				
AGENCY	ROLE	NAME	PHONE	EMAIL
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GOFF ENGINEERING	PROJECT ENGINEER	ROB HARRIES	(970) 247-1705	rharries@goffengineering.com
TOWN OF RIDGWAY	PUBLIC WORKS DIRECTOR			
	INSPECTOR			
SAN MIGUEL POWER AUTHORITY (SMPA)	ELECTRIC UTILITY			
BLACK HILLS ENERGY	GAS UTILITY			
CLEAR NETWORKS	TELECOMM UTILITY			
CONTRACTOR	PROJECT SUPERINTENDENT			
CONTRACTOR	PROJECT MANAGER			

ABBREVIATION LEGEND

ABC	AGGREGATE BASE COURSE	L	LEFT
BVC	FINISH GROUND AT BASE OF WALL	LP	LOW POINT
BVCS	BEGINNING VERTICAL CURVE ELEVATION	LPEA	LA PLATA ELECTRIC ASSOCIATION
CDOT	BEGINNING VERTICAL CURVE STATION	LVC	LENGTH OF VERTICAL CURVE
CEN	COLORADO DEPARTMENT OF TRANSPORTATION	MAX	MAXIMUM
CL	CENTER	MIN	MINIMUM
CMP	CENTERLINE	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
CP	CORRUGATED METAL PIPE	N	NORTHING
DIA	CONTROL POINT	PC	POINT OF CURVATURE
DIP	DIAMETER	PE	POLYETHYLENE
DMH	DUCTILE IRON PIPE	PGL	PROFILE GRADE LINE
dso	DRAINAGE MANHOLE	PI	POINT OF INTERSECTION
E	MEDIAN STONE SIZE	PT	POINT OF TANGENCY
EG	EASTING	PVI	POINT OF VERTICAL INTERSECTION
ELEV	EXISTING GROUND	R	RADIUS
EOC	ELEVATION	RT	RIGHT
EOP	EDGE OF CONCRETE	RCP	REINFORCED CONCRETE PIPE
ESMT	EDGE OF PAVEMENT	R/W	RIGHT-OF-WAY
EVCE	EASEMENT	SD	STORM DRAIN
EVCS	ENDING VERTICAL CURVE ELEVATION	SMPA	SAN MIGUEL POWER AUTHORITY
EX	ENDING VERTICAL CURVE STATION	SSMH	SANITARY SEWER MANHOLE
FES	EXISTING	SS	SANITARY SEWER
FG	FLARED END SECTION	STA	STATION
FL	FINISHED GROUND	TB	THRUST BLOCKING
FO	FLOW LINE	TBOC	TOP BACK OF CURB
FS	FIBER OPTIC	TEMP	TEMPORARY
GP	FINISHED SURFACE	TOR	TOWN OF RIDGWAY
HMA	GRADE BREAK	TOW	TOWN OF WALL RETAINING
HP	HOT MIX ASPHALT	(TYP)	TYPICAL
INV	HIGH POINT	W/	WITH
LC	INVERT		
	LONG CHORD		
		CH	APPROXIMATE
		Δ	CENTERLINE
		Δ	INTERIOR ANGLE
		Δ	DIAMETER

SHEET INDEX	
SHEET #	SHEET TITLE
G1.01	COVER SHEET
G1.02	CONSTRUCTION NOTES
G2.01	TYPICAL ROADWAY SECTIONS
G2.02	TYPICAL ROADWAY SECTIONS
G3.01	DETAILS (1)
G3.02	DETAILS (2)
G3.03	DETAILS (3)
RD0.00	EXISTING CONDITIONS
RD0.01	OVERVIEW PLAN
RD1.01	FREDERICK ST. PLAN & PROFILE
RD1.02	LAURA ST. PLAN & PROFILE
RD1.03	OTTO ST. PLAN & PROFILE
RD1.04	ALLEY PLAN & PROFILE
RD2.01	CROSS SECTIONS - FREDERICK ST
RD2.02	CROSS SECTIONS - LAURA ST
RD2.03	CROSS SECTIONS - OTTO ST
RD2.04	CROSS SECTIONS - ALLEY
SS1.01	SEWER A PLAN & PROFILE
SS1.02	SEWER B PLAN & PROFILE
SS1.03	EX. SEWER PLAN & PROFILE
SS1.04	EX. SS MAIN SERVICES & CUVERT PROFILES
W1.01	WATER A PLAN & PROFILE
W1.02	WATER B PLAN & PROFILE
W1.03	WATER C PLAN & PROFILE
SD1.01	STORM DRAIN B PLAN & PROFILE
SD1.02	STORM POND PLAN
UT1.01	UTILITY PLAN
SW1.01	STORMWATER MANAGEMENT PLAN



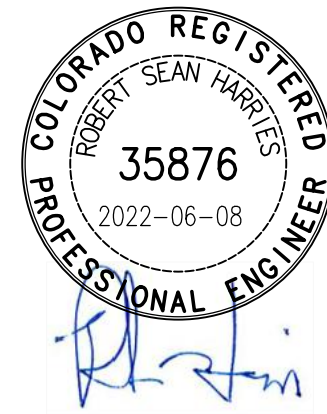
Know what's below.
Call before you dig.

Legend of Civil Features

Existing Features	
	WATER MAIN (SIZE NOTED)
	SEWER MAIN (SIZE NOTED)
	SEWER FORCEMAIN
	STORM CULVERT (SIZE NOTED)
	IRRIGATION
	UNDERGROUND POWER
	OVERHEAD POWER
	UNDERGROUND FIBER OPTIC
	UNDERGROUND TELECOMM
	OVERHEAD TV/TELE
	WATERCOURSE FLOWLINE
	UNDERGROUND GAS
	FENCE/GEOTEXTILE FABRIC
	PAVEMENT EDGE
	GRAVEL/DIRT ROAD
	RAILROAD TRACK
	GUARDRAIL
	ROCK WALL
	STRUCTURAL RETAINING WALL
	SAWCUT LINE
	STORM DRAIN CATEGORY
	CULVERT END SECTION
	INLET TYPE 'R'
	INLET GENERAL/AREA DRAIN
	INLET TYPE 'D'/TYPE 'C'
	STORMDRAIN MANHOLE
	ELECTRIC CATEGORY
	ELECTRIC TRANSMISSION TOWER
	TRANSFORMER
	ELECTRIC PEDESTAL/VAULT
	POWER MANHOLE
	ELECTRIC METER
	ELECTRIC OUTLET
	TRANSFORMER ON POLE
	POLE MOUNTED STREET LIGHT
	LUMINAIRE (MISC)
	UTILITY POLE
	UTILITY POLE ANCHOR
	TRAFFIC SIGNAL CATEGORY
	TRAFFIC SIGNAL POLE W/ MAST ARM
	TRAFFIC SIGNAL CONTROL PANEL
	PEDESTRIAN POLE
	GAS/OIL CATEGORY
	GAS WELLHEAD
	GAS VALVE
	GAS METER
	GAS VAULT/RISER
	PROPANE TANK
	WATER CATEGORY
	WATER MANHOLE - WELLHEAD
	BLOW OFF ASSEMBLY
	WATER METER
	FIRE HYDRANT
	WATER VALVE
	HOSE BIB / YARD HYDRANT
	PUMP
	SANITARY SEWER CATEGORY
	SEWER MANHOLE
	SEWER CLEANOUT
	SEPTIC TANK
	DITCH/WATERWAY CATEGORY
	CHECK DAM
	DIVERSION BOX
	FLUME
	FLOW GAUGE
	HEADGATE
	SPRING
	WETLAND AREA
	WATERWAY MISC (SEE NOTE)
	FENCE CATEGORY
	POST/BOLLARD
	FENCE GATE
	GEOLOGY CATEGORY
	TEST HOLE
	BOULDER
	MINE SHAFT
	ROADWAY CATEGORY
	GUARDRAIL END SECTION
	LANDSCAPE/CAMPING CATEGORY
	CONIFEROUS TREE (DIA. NOTED)
	DECIDUOUS TREE (DIA. NOTED)
	SHRUB/VEGETATION LIMIT
	SWING SET
	TEETER TOTTER
	JUNGLE GYM
	BENCH/TABLE
	GRILL/FIRE RING
	SPRINKLER HEAD
	IRRIGATION VALVE
	MISCELLANEOUS TOPO CATEGORY
	WASTE SITE/GRAVE
	ARCH SITE/AREA OF CONCERN
	MISC.POINT (SEE DESCRIPTION)
	CAMPSITE
	MAILBOX
	RAILROAD CATEGORY
	RR SIGN/SIGNAL/SWITCH
	STRUCTURE CATEGORY
	BRIDGE DRAIN/COLUMN
	TELECOMMUNICATION CATEGORY
	TELECOMM RISER
	TELECOMM MANHOLE/VAULT
	ANTENNAE
	SIGN CATEGORY
	SIGN (GENERAL)
	SIGN (CLASS 1 OR 2)
	SIGN (CLASS 3)
	BILLBOARD
	DELINEATOR
	SIGN W/ BEACON
	SURVEY CATEGORY
	RIGHT OF WAY MARKER
	AERIAL PANEL POINT
	CONTROL MONUMENT (HARN)
	BENCHMARK
	SECTION CORNER
	PROPERTY PIN
	USGS MARKER
	NOAA MARKER
	BLM MARKER
	WITNESS CORNER
	TOWNSHIP CORNER
	CONTROL MONUMENT FEDERAL
	CONTROL MONUMENT LOCAL/PLSS
	TRACT CORNER

Proposed Features	
	ASPHALT SURFACING
	CONCRETE SURFACING
	GRAVEL SURFACING
	RIP-RAP SURFACING
	SEWER MAIN (SIZE NOTED)
	STORM DRAIN CULVERT
	WATER MAIN
	SEWER FORCEMAIN
	GAS LINE
	LIMITS OF GRADING
	WATER METER
	FIRE HYDRANT
	WATER VALVE
	BEND FITTING & THRUST BLOCK
	CURB STOP
	FINISHED GRADE
	STREET SIGN
	STORM MANHOLE
	CLEANOUT
	SEWER MANHOLE
	STORM INLET (TYPE 16)
	STORM INLET (TYPE R)
	STORM INLET (TYPE D)
	STORM INLET (TYPE C)
	DETAIL #
	SHEET #

Existing Features	Proposed Features	SURVEY LINE TYPES
		CENTERLINE
		LOTLINE
		RIGHT OF WAY
		EASEMENT
		PARCEL BOUNDARY



YELLOW BRICK TOWNHOMES
SUBDIVISION
COVER SHEET

g:\2021\21-160_ridgway affordable housing\cad\sheets\g1.02 construction notes.dwg DATE:7/19/2022 4:18 PM USER:JENGLISH PLOT SCALE=1:1

PROJECT GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE PER TOWN OF RIDGWAY'S STANDARD SPECIFICATION AND TYPICAL DRAWINGS FOR INFRASTRUCTURE CONSTRUCTION – JUNE 2020, WITH ANY ADDENDA ADOPTED THEREAFTER TO DATE OF PRELIMINARY PLAT APPROVAL. (HEREAFTER STANDARD SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED)

GENERAL WATER NOTES:

1. ALL EQUIPMENT, MATERIALS, INSTALLATION, TESTING, AND INSPECTIONS SHALL BE IN ACCORDANCE TO THESE PLANS, THE LATEST EDITION OF THE TOWN OF RIDGWAY'S STANDARD SPECIFICATIONS (SECTION 02712 – WATER SYSTEM – MINIMUM DESIGN STANDARDS & SECTION 02713 – WATER SYSTEM CONSTRUCTION), AS WELL AS COLORADO DEPARTMENT OF HEALTH STANDARDS.
2. ALL FITTINGS SHALL BE FLANGE END.
3. ALL GATE VALES SHALL BE FLANGE BY MECHANICAL JOINT.

GENERAL SEWER NOTES:

1. ALL EQUIPMENT, MATERIALS, INSTALLATION, TESTING, AND INSPECTIONS SHALL BE IN ACCORDANCE TO THESE PLANS, THE LATEST EDITION OF THE TOWN OF RIDGWAY'S STANDARD SPECIFICATIONS (SECTION 02722 – SEWER SYSTEM – MINIMUM DESIGN STANDARDS & SECTION 02733 – SEWER SYSTEM CONSTRUCTION), AS WELL AS COLORADO DEPARTMENT OF HEALTH STANDARDS.

GRADING AND SITE PREPARATION

1. ALL EQUIPMENT, MATERIALS, INSTALLATION, TESTING, AND INSPECTIONS SHALL BE IN ACCORDANCE WITH THESE PLANS, THE LATEST EDITION OF THE TOWN OF RIDGWAY'S STANDARD SPECIFICATIONS (SECTION 02200 –EXCAVATION, BACKFILL, AND COMPACTION).

STORM WATER MANAGEMENT NOTES:

1. ALL EQUIPMENT, MATERIALS, INSTALLATION, TESTING, AND INSPECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TOWN OF RIDGWAY'S STORMWATER STANDARDS – SEPTEMBER 2020, AS AMENDED.
2. STORM CULVERTS TO BE ADS–N12 O.A.E.

ROADWAY SURFACING NOTES:

1. THE FOLLOWING APPLICATION RATES WERE USED FOR DEVELOPING THE APPROXIMATE PLAN QUANTITIES:
- AGGREGATE BASE COURSE (ABC) – 133 POUNDS PER CUBIC FOOT

TESTING AND INSPECTION REQUIREMENTS

1. ALL TESTING AND INSPECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TOWN OF RIDGWAY'S STANDARD SPECIFICATIONS.

GEOTECHNICAL

1. "GEOTECHNICAL STUDY FOR YELLOW BRICK LANE HOUSING" BY CESARE INC. JANUARY 17, 2022 IS CONSIDERED A PART OF THE PROJECT CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REVIEW AND ADHERE TO ALL CONDITIONS AND REQUIREMENTS CONTAINED THEREIN.

SUMMARY OF APPROXIMATE QUANTITIES

ITEM NO.	CONTRACT ITEM	UNIT	PLAN
GENERAL ITEMS			
G01	POTHOLING	HR	8
G02	FLOWABLE FILL (ESTIMATE)	CY	10
SITE PREPARATION ITEMS			
SP01	SAWCUT EXISTING CONCRETE PAVEMENT (~6" DEPTH)	LF	275.0
SP02	CLEARING & GRUBBING	AC	1.0
SP03	UNCLASSIFIED EXCAVATION (CIP VOLUME)	CY	1,510
SP04	SUBGRADE PREPARATION AND COMPACTION	SY	4,920
ROADWAY ITEMS			
R01	AGGREGATE BASE COURSE CLASS 2 (CIP VOLUME)	CY	670
R02	AGGREGATE BASE COURSE CLASS 6 (CIP VOLUME)	CY	1,130
R03	CURB & GUTTER (STANDARD)	LF	1,350
R04	CONCRETE SIDEWALK (6" THICKNESS)	SF	4,725
STORM DRAINAGE ITEMS			
SD01	18 INCH RCP PIPE (INCL. TRENCHING, BEDDING, BACKFILL)	LF	210
SD02	CONNECT TO EXISTING STORM STRUCTURE	EA	1
SD03	OUTLET CONTROL STRUCTURE	EA	1
POTABLE WATER ITEMS			
W01	8" C-900 PVC (DR-18) WATER MAIN (INCL. TRENCH, BED, BACKFILL)	LF	880
W02	8" GATE VALVE (INCL. RMJ FITTINGS AND T. BLOCK)	EA	5
W03	6"x8" REDUCER FITTING (INCL. RMJ FITTINGS AND T. BLOCK)	EA	2
W04	8" BEND FITTING (INCL. RMJ FITTINGS)	EA	1
W05	8" TEE FITTING (INCL. RMJ FITTINGS AND T. BLOCK)	EA	2
W06	1 INCH WATER SERVICE (INCL. TAP, CORP & CURB STOP, SVC. LINE)	EA	14
W07	CONNECT TO EXISTING WATER MAIN	EA	2
W08	FIRE HYDRANT (COMPLETE WITH APPURTENANCES)	EA	1
W09	8" CAP END FITTING (INCL. RMJ FITTINGS AND T. BLOCK)	EA	2
W10	SYSTEM DISINFECTION AND PRESSURE TESTING	LS	1
SANITARY SEWER ITEMS			
SS01	8" SDR-35 PVC SEWER MAIN (INCL. TRENCH, BED, BACKFILL)	LF	610
SS02	4" SDR-35 PVC SEWER SERVICE (INCL. TRENC, BED, BACKFILL)	LF	905
SS03	CONCRETE MANHOLE, 48" DIA (10'-15')	EA	4
SS04	4" SDR-35 SEWER SERVICE TAP	EA	14
SS05	CONNECT TO EXISTING SEWER MANHOLE	EA	1
LANDSCAPING AND EROSION CONTROL ITEMS			
SL01	STOCKPILED TOPSOIL	CY	310
SL02	SWEEPING (SEDIMENT REMOVAL)	HR	8
SL03	EROSION LOG (12 INCH)	LF	200
SL04	EROSION BALES (WEED FREE)	EA	20
SL05	SILT FENCE	LF	500
SL06	GRAVEL BAG	EA	20
SL07	CONCRETE WASHOUT STRUCTURE	EA	1
SL08	STORM DRAIN INLET PROTECTION	EA	2
SL09	ROCK CHECK DAM	LF	5
SL10	VEHICLE TRACKING PAD	EA	1
SL11	REMOVAL AND DISPOSAL OF SEDIMENT (EQUIPMENT)	HR	8
SL12	REMOVAL AND DISPOSAL OF SEDIMENT (LABOR)	HR	8
SL13	PROCUREMENT AND ADMINISTRATION OF SWMP	LS	1
SL14	EROSION CONTROL SUPERVISOR	HR	24
SL15	HYDROSEEDING (UPLAND SEED MIX) (INCL. HYDROMULCHING)	AC	0.5

MATERIAL QUANTITY NOTES:

1. SUMMARY OF APPROXIMATE QUANTITIES IS FURNISHED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR REVIEWING CONTRACT DOCUMENTS AND DEVELOPING MATERIAL QUANTITIES AS A BASIS FOR BID PRICING.
2. AUTOCAD DRAWINGS AND DIGITAL TERRAIN MODELS WILL BE FURNISHED TO CONTRACTOR AS REQUESTED TO FACILITATE DEVELOPING MATERIAL QUANTITY TAKEOFF AND SURVEY LAYOUT

ADDITIONAL SAQ FOR FREDRICK STREET EXTENSION

ITEM NO.	CONTRACT ITEM	UNIT	PLAN
GENERAL ITEMS			
G01	POTHOLING	HR	4
G02	FLOWABLE FILL (ESTIMATE)	CY	10
SITE PREPARATION ITEMS			
SP02	CLEARING & GRUBBING	AC	0.3
SP03	UNCLASSIFIED EXCAVATION (CIP VOLUME)	CY	425
SP04	SUBGRADE PREPARATION AND COMPACTION	SY	1,000
ROADWAY ITEMS			
R01	AGGREGATE BASE COURSE CLASS 2 (CIP VOLUME)	CY	200
R02	AGGREGATE BASE COURSE CLASS 6 (CIP VOLUME)	CY	100
R03	CURB & GUTTER (STANDARD)	LF	300
STORM DRAINAGE ITEMS			
SD01	18 INCH RCP PIPE (INCL. TRENCHING, BEDDING, BACKFILL)	LF	75
POTABLE WATER ITEMS			
W01	8" C-900 PVC (DR-18) WATER MAIN (INCL. TRENCH, BED, BACKFILL)	LF	250
W02	8" GATE VALVE (INCL. RMJ FITTINGS AND T. BLOCK)	EA	3
W03	6"x8" REDUCER FITTING (INCL. RMJ FITTINGS AND T. BLOCK)	EA	2
W05	8" TEE FITTING (INCL. RMJ FITTINGS AND T. BLOCK)	EA	1
W07	CONNECT TO EXISTING WATER MAIN	EA	1
W10	SYSTEM DISINFECTION AND PRESSURE TESTING	LS	1

MATERIAL QUANTITIES TO BE UPDATED
FOLLOWING TOWN OF RIDGWAY'S
APPROVAL OF CONSTRUCTION PLANS.

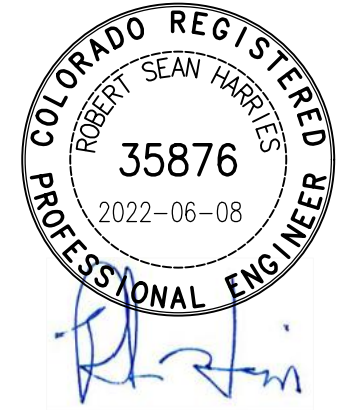
WATER DEMAND TABULATION	
# residential units	14
Occupancy (ppl/unit)	2.5
water usage (May-Nov) [GPD]	250
water usage (Dec-Apr) [GPD]	125
Annual Consumption [Gallons]	2,535,313
Annual Consumption [Acre Feet]	58.20
SEWERAGE GENERATION TABULATION	
# residential units	14
Occupancy (ppl/unit)	2.5
Sewer generation [GPD]	125
Annual Consumption [Gallons]	1,596,875
Annual Consumption [Acre Feet]	36.66

- Notes:
1. WATER USAGE RATES DERIVED FROM "WATER SUPPLY ASSESSMENT FOR TOWN OF RIDGWAY" BY LRE, DATED 2022–02–01

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YELLOW BRICK TOWNHOMES
SUBDIVISION
CONSTRUCTION NOTES

Issue Record:

PRELIMINARY REVIEW07-18-2022

Revisions:

Project Number:

21-160

Drawn By:

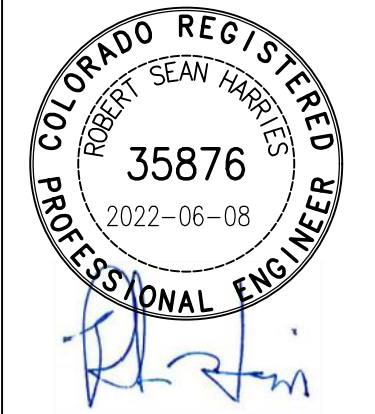
JAE

Designed by:

RSH

Checked By:

RSH



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YELLOW BRICK TOWNHOMES
SUBDIVISION
TYPICAL ROADWAY SECTIONS

Issue Record:
PRELIMINARY REVIEW 07-18-2022

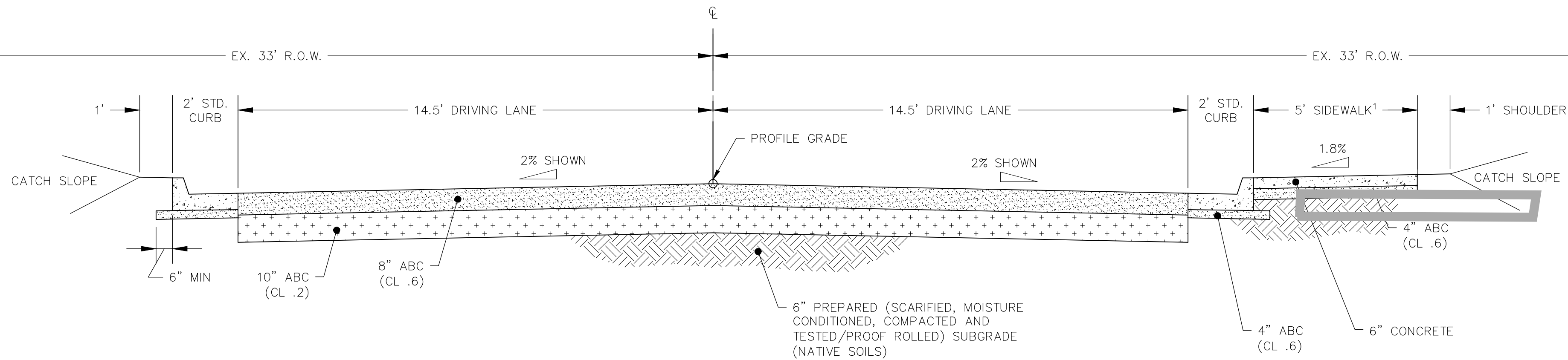
Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

Sheet

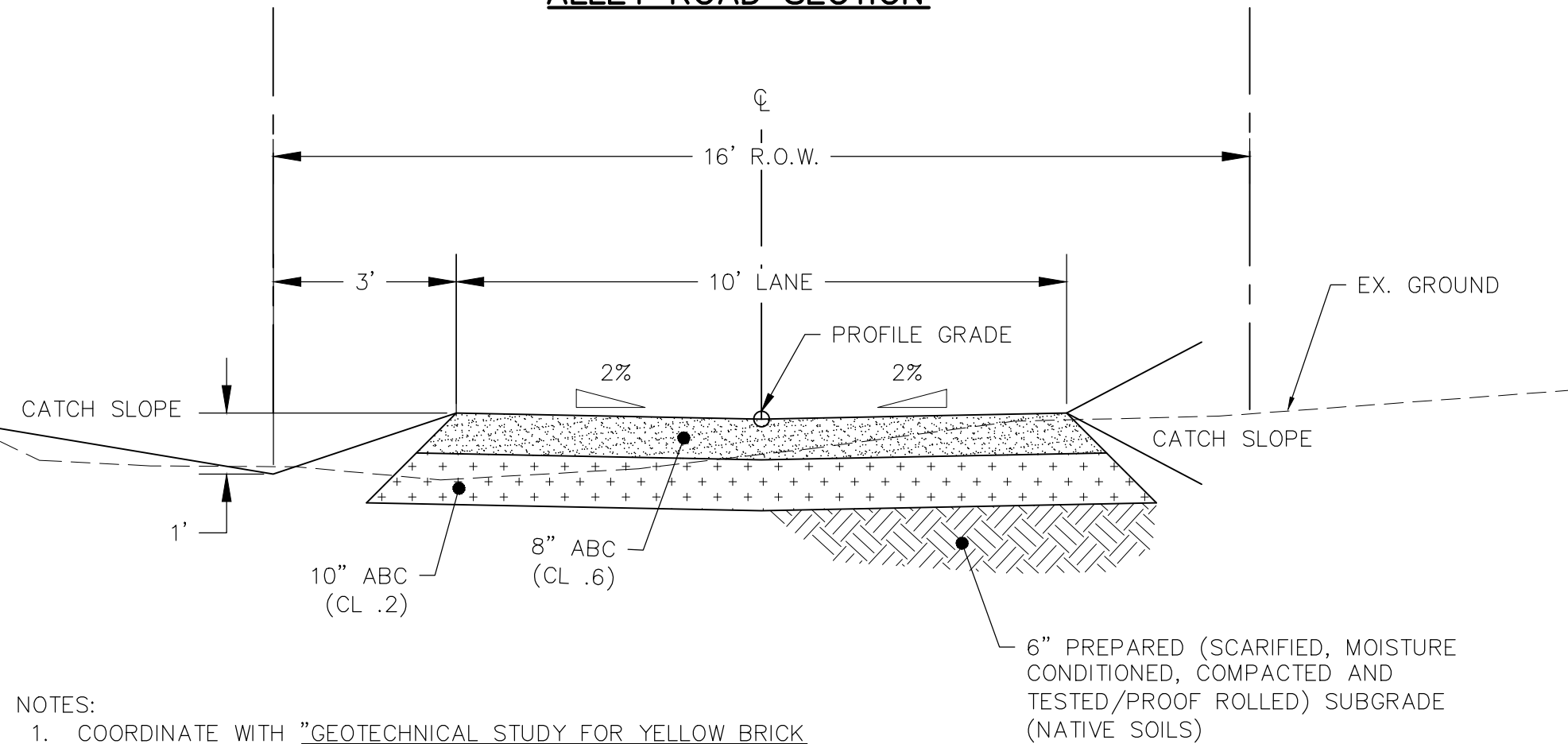
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FREDERICK STREET SECTION



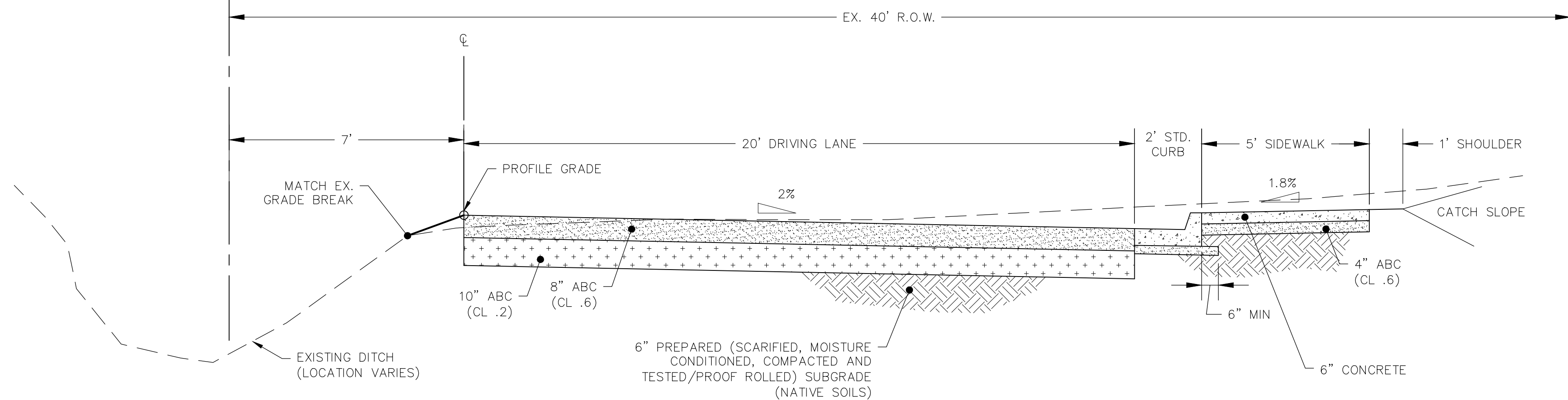
- NOTES:
1. REFER TO ROAD PLANS FOR SIDEWALK TERMINATION LOCATIONS.
 2. COORDINATE WITH "GEOTECHNICAL STUDY FOR YELLOW BRICK LANE HOUSING" BY CESARE INC. JANUARY 17, 2022. FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 3. REFER TO CROSS SECTIONS FOR DAYLIGHT SLOPES.
 4. ALL SECTIONS SHALL INCLUDE 6" PREPARED SUBGRADE.

ALLEY ROAD SECTION



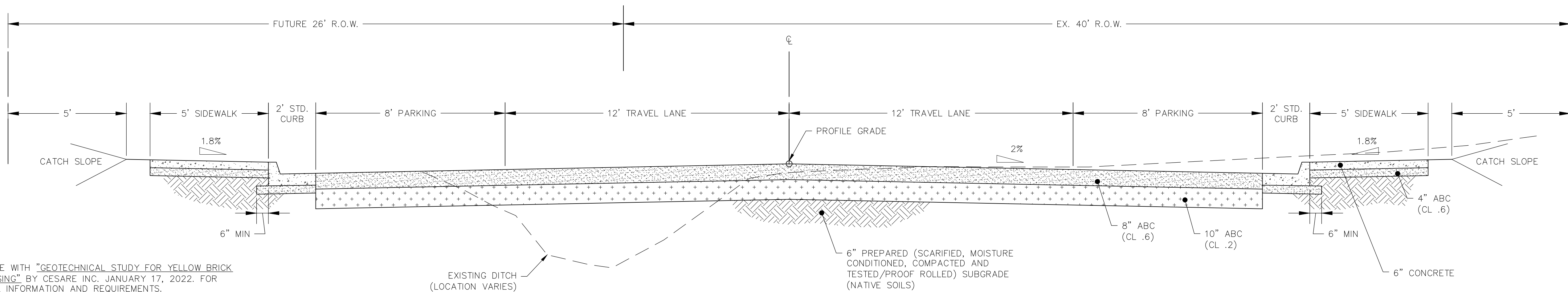
- NOTES:
1. COORDINATE WITH "GEOTECHNICAL STUDY FOR YELLOW BRICK LANE HOUSING" BY CESARE INC. JANUARY 17, 2022. FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 2. REFER TO CROSS SECTIONS FOR DAYLIGHT SLOPES.

LAURA STREET SECTION
(TEMORARY STREET)



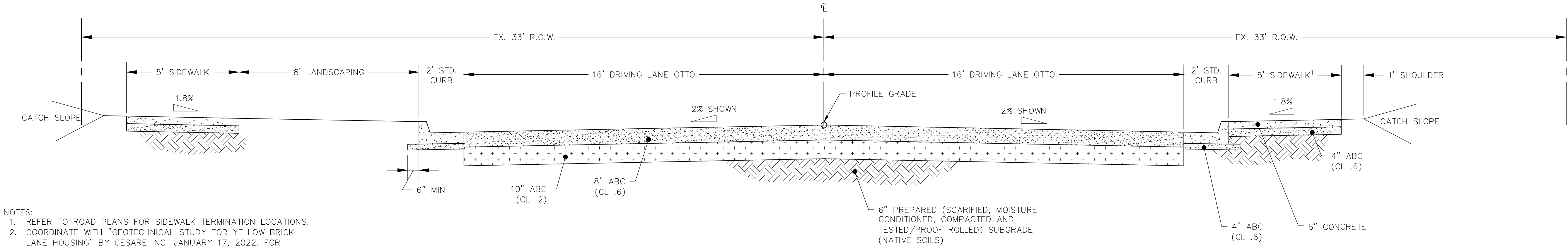
- NOTES:
1. COORDINATE WITH "GEOTECHNICAL STUDY FOR YELLOW BRICK LANE HOUSING" BY CESARE INC. JANUARY 17, 2022. FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 2. REFER TO CROSS SECTIONS FOR DAYLIGHT SLOPES.
 3. ALL SECTIONS SHALL INCLUDE 6" PREPARED SUBGRADE.

LAURA STREET SECTION
(POTENTIAL FUTURE CONDITION)



- NOTES:
1. COORDINATE WITH "GEOTECHNICAL STUDY FOR YELLOW BRICK LANE HOUSING" BY CESARE INC. JANUARY 17, 2022. FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 2. REFER TO CROSS SECTIONS FOR DAYLIGHT SLOPES.
 3. ALL SECTIONS SHALL INCLUDE 6" PREPARED SUBGRADE.

OTTO STREET SECTION

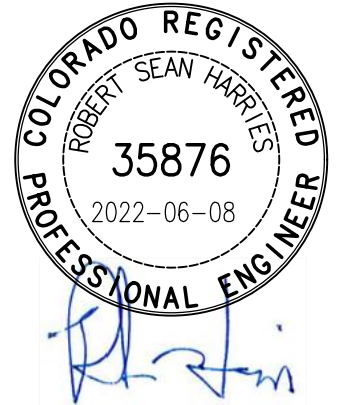


- NOTES:
1. REFER TO ROAD PLANS FOR SIDEWALK TERMINATION LOCATIONS.
 2. COORDINATE WITH "GEOTECHNICAL STUDY FOR YELLOW BRICK LANE HOUSING" BY CESARE INC. JANUARY 17, 2022. FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 3. REFER TO CROSS SECTIONS FOR DAYLIGHT SLOPES.
 4. ALL SECTIONS SHALL INCLUDE 6" PREPARED SUBGRADE.

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YELLOW BRICK TOWNHOMES
SUBDIVISION
TYPICAL ROADWAY SECTIONS

Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
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Checked By: RSH

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G2.02



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**YELLOW BRICK TOWNHOMES
SUBDIVISION
DETAILS (1)**

Issue Record:

PRELIMINARY REVIEW	07-18-2022
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Revisions:

Project Number:	21-160
Drawn By:	JAE
Designed by:	RSH
Checked By:	RSH

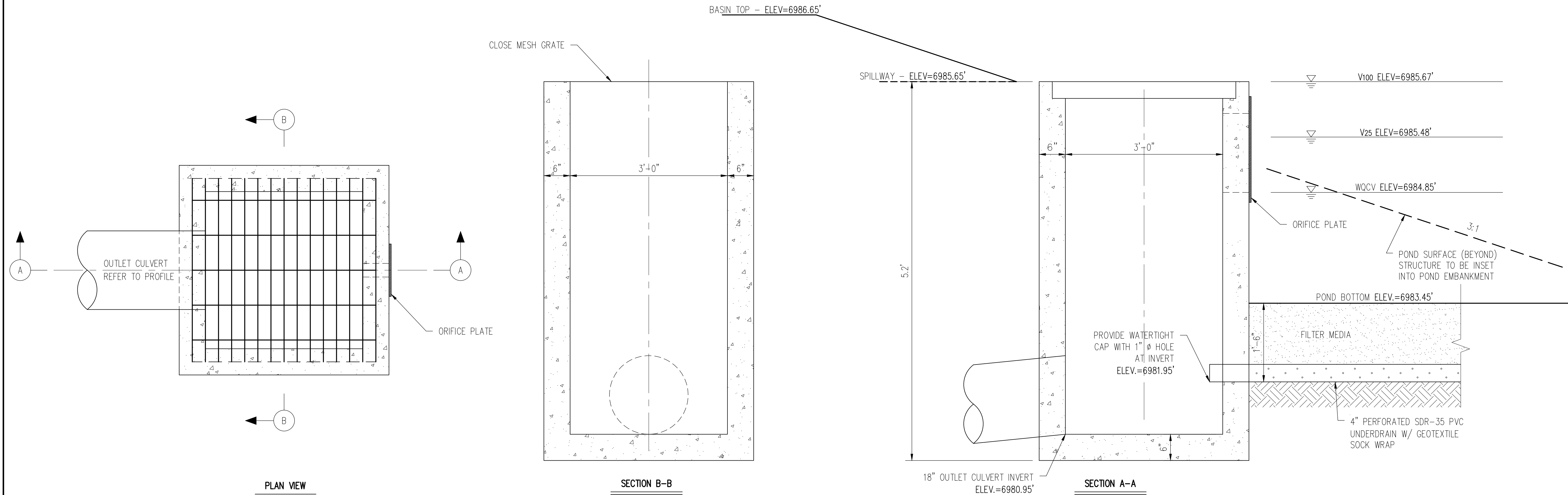
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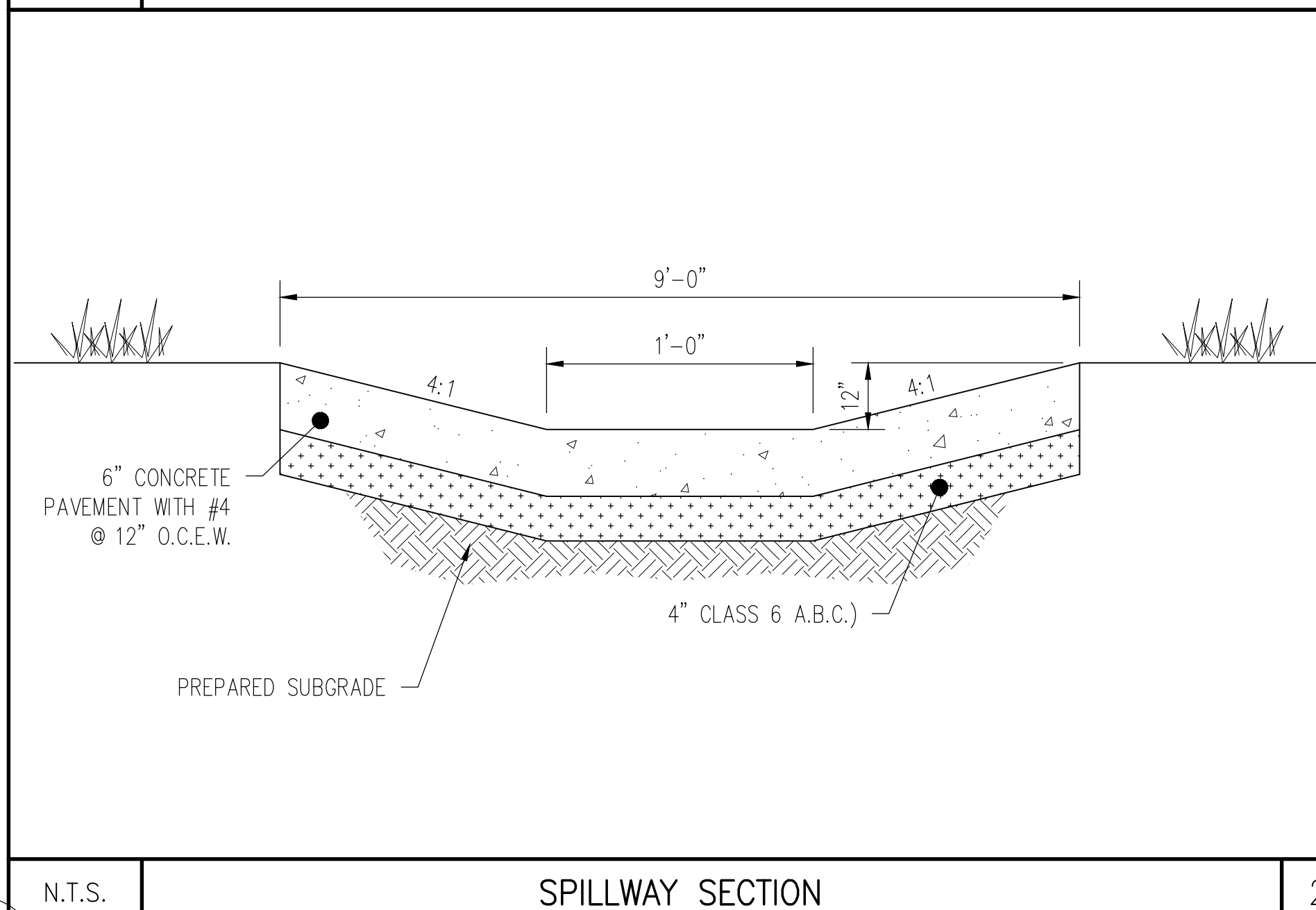
CONSTRUCTION NOTES:

1. INLET STRUCTURE TO BE "TYPE C" REINFORCED CONCRETE PER CDOT STANDARD PLAN M-604-10
2. INLET GRATE TO BE "CLOSE MESH GRATE" PER CDOT STD PLAN M-604-10
3. ORIFICE PLATE TO BE $\frac{3}{8}$ " x 18" STEEL PLATE.
4. SAND FILTER MEDIA TO BE CONCRETE SAND, CRUSHER FINES, OR AS APPROVED BY ENGINEER.



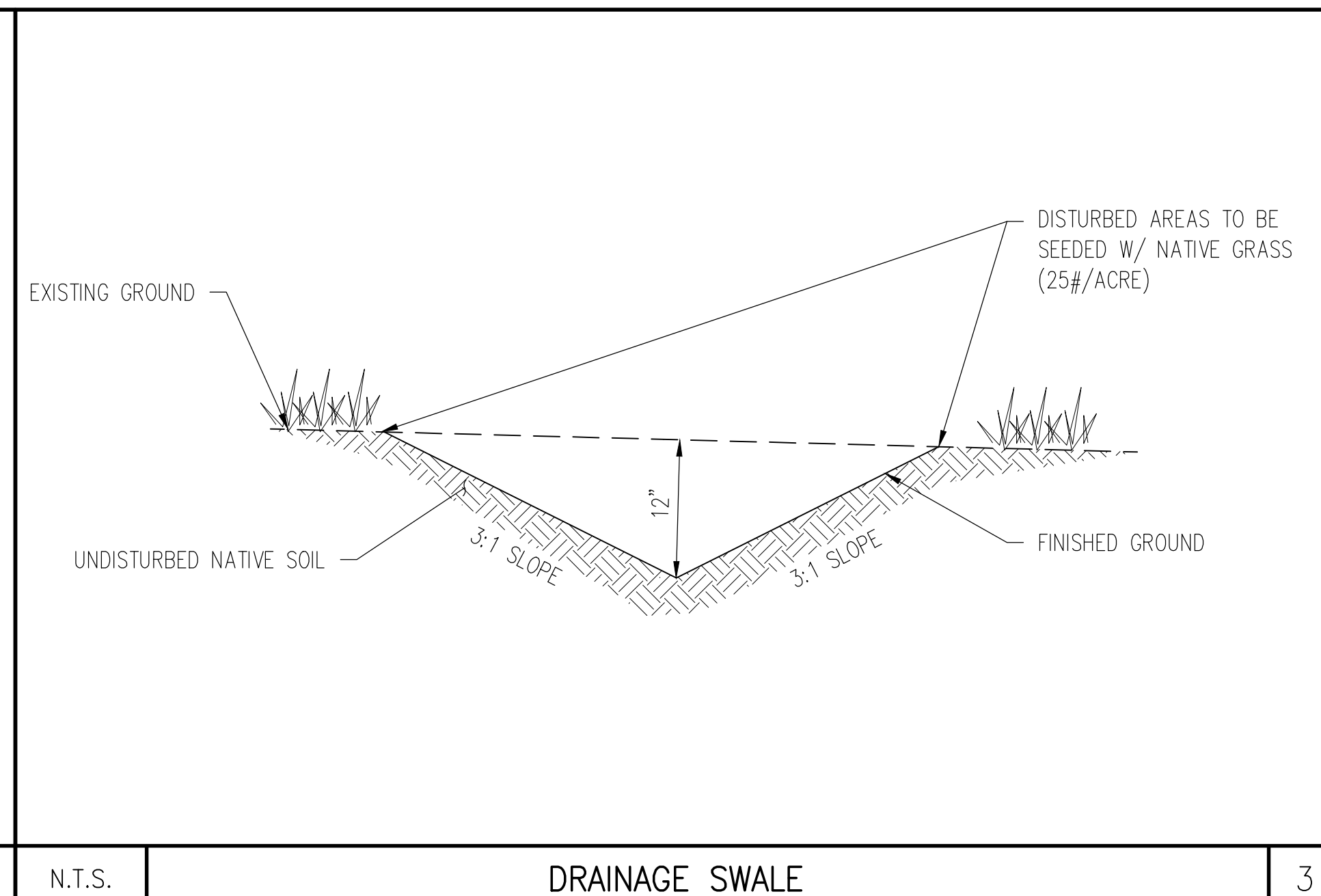
SAND FILTER WATER QUALITY TREATMENT FACILITY

1



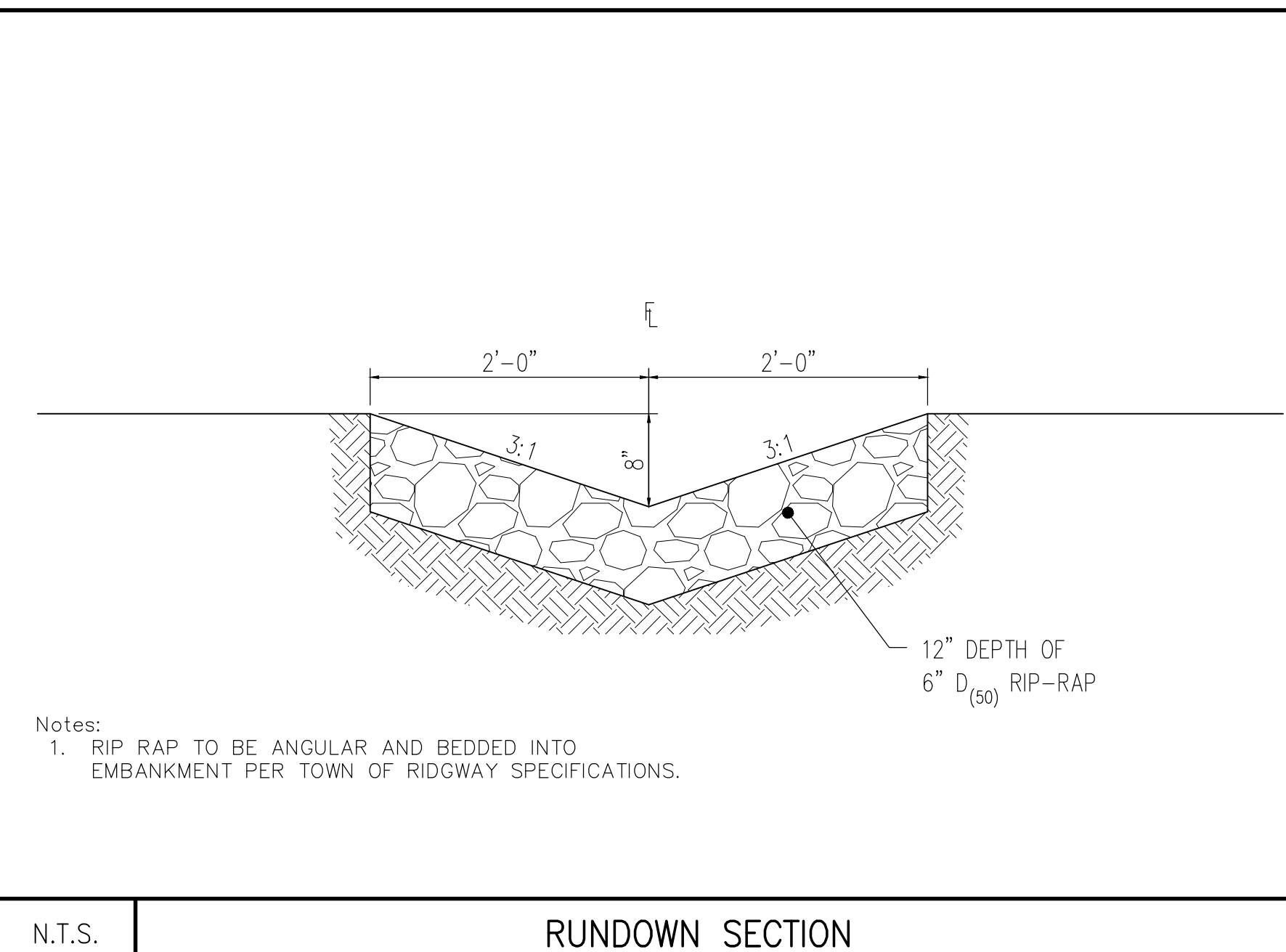
SPILLWAY SECTION

2



DRAINAGE SWALE

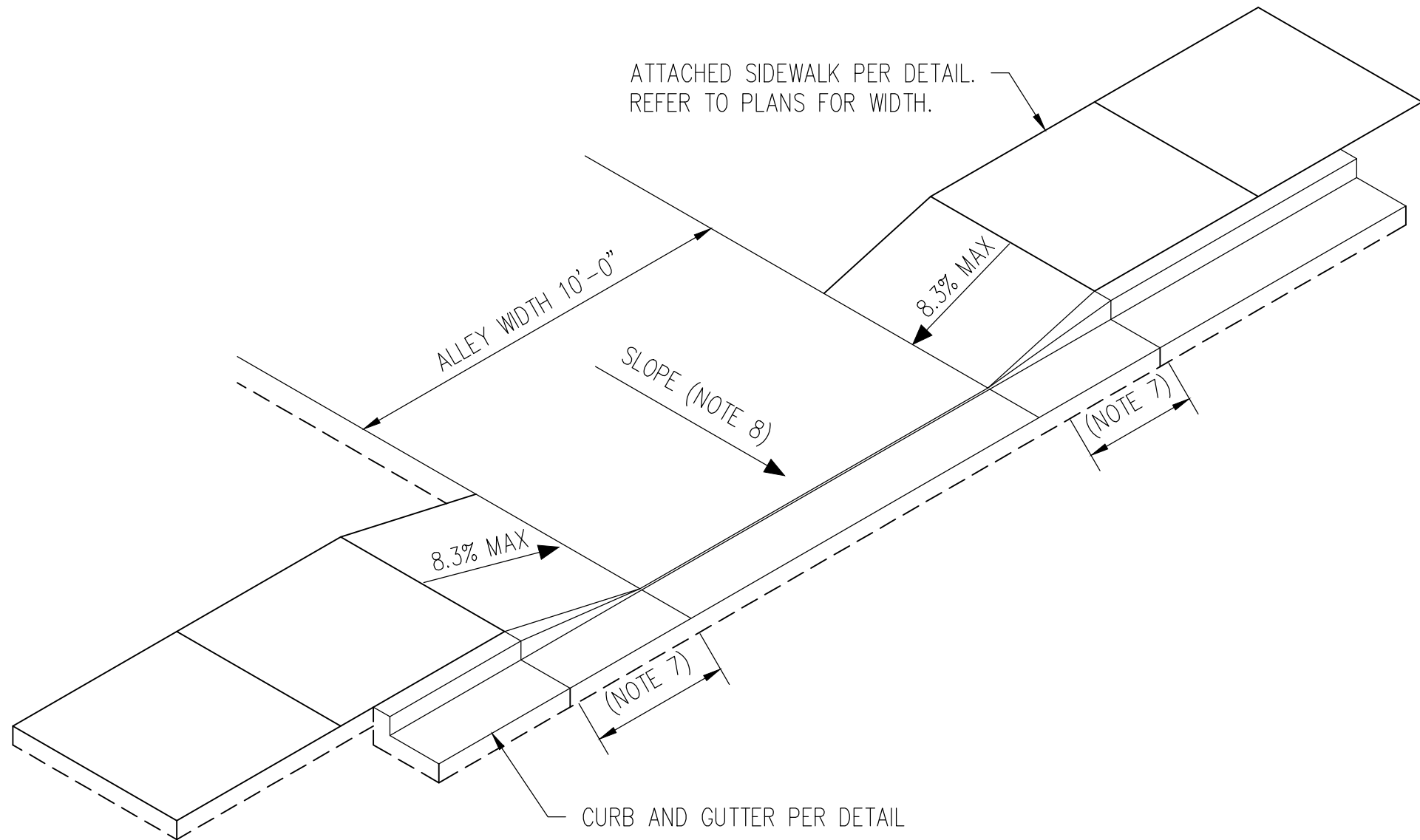
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Notes:
1. RIP RAP TO BE ANGULAR AND BEDDED INTO EMBANKMENT PER TOWN OF RIDGWAY SPECIFICATIONS.

RUNDOWN SECTION

1



- NOTES:**
1. ALL CONCRETE SHALL BE 6-IN THICK AND FIBER REINFORCED.
 2. ALL AREAS UNDER DRIVE APRON SHALL HAVE 6-IN CLASS 6 AGGREGATE BASE COURSE, 12-IN CLASS 2 AGGREGATE BASE COURSE, AND 6-IN PREPARED SUBGRADE.
 3. FOR CONSTRUCTION AGAINST EXISTING ROADWAY, ASPHALT IS TO BE CLEANLY SAWCUT 2-FT (MIN) FROM LIP OF GUTTER AND PATCHED WITH 5-IN OF HMA.
 4. REPLACEMENT SIDEWALK SHALL BE JOINTED AND SURFACED TO MATCH ANY EXISTING ADJACENT SIDEWALK.
 5. NEW SIDEWALK SHALL BE GIVEN A LIGHT BROOM FINISH, PERPENDICULAR TO THE DRIVEWAY.
 6. NEW CURB AND GUTTER SHALL BE GIVEN A LIGHT BROOM FINISH, PARALLEL TO THE ROADWAY.
 7. RAMP LENGTH IS DEPENDENT UPON THE RAMP SLOPE AND THE CHANGE OF ELEVATION FROM THE DRIVEWAY TO THE SIDEWALK. WHERE TERRAIN IS SLOPING A RAMP IS NOT REQUIRED TO CHASE GRADE MORE THAN 15FT. REGARDLESS OF THE RESULTING RAMP SLOPE.
 8. DRIVEWAY SLOPE:
SINGLE FAMILY RESIDENTIAL: 12% MAX
MULTI-FAMILY OR COMMERCIAL: 10% MAX

N.T.S.	ALLEY CURB CUT	1
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YELLOW BRICK TOWNHOMES
SUBDIVISION
DETAILS (2)

Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
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Sheet
G3.02



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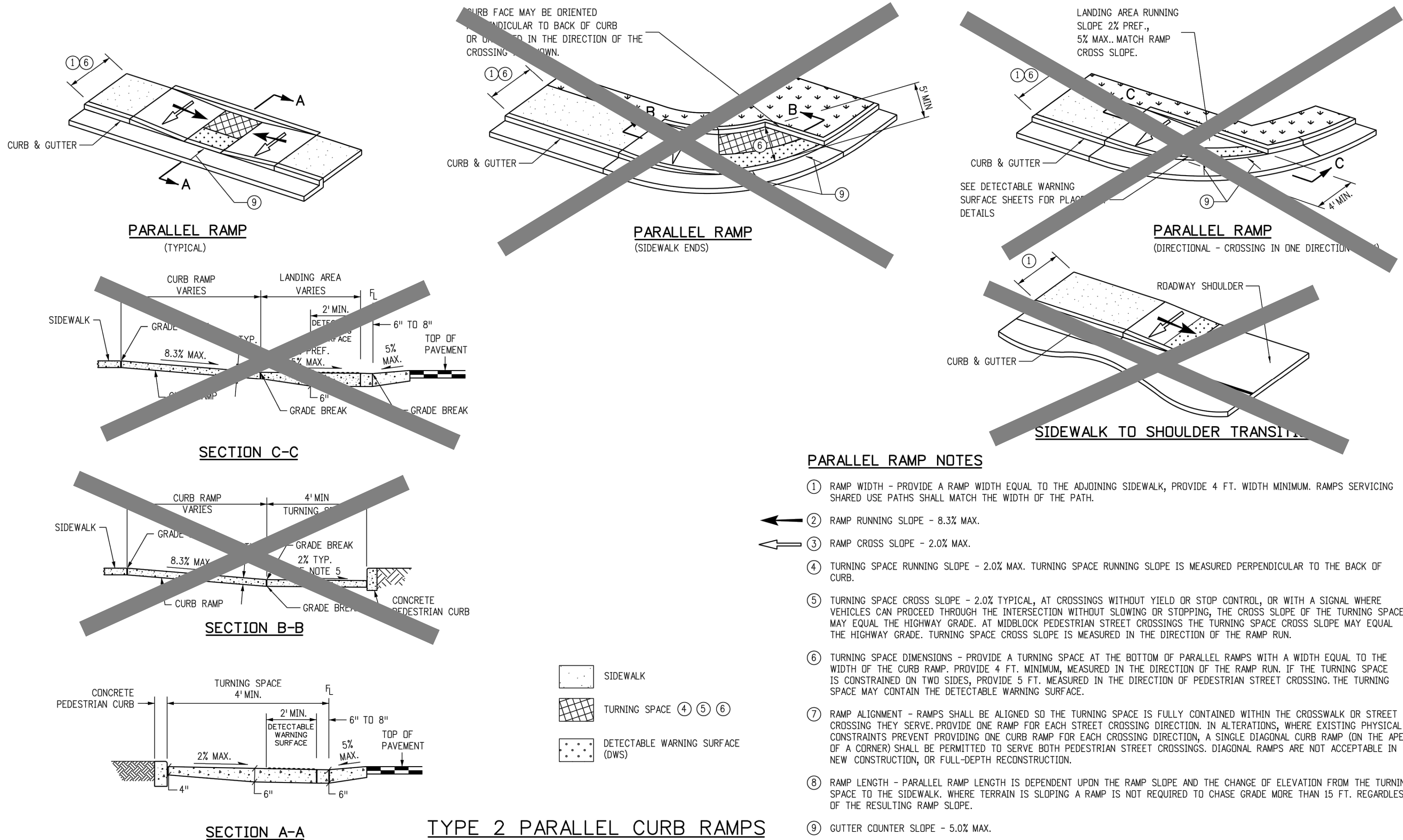
YELLOW BRICK TOWNHOMES
SUBDIVISION
DETAILS (3)

Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

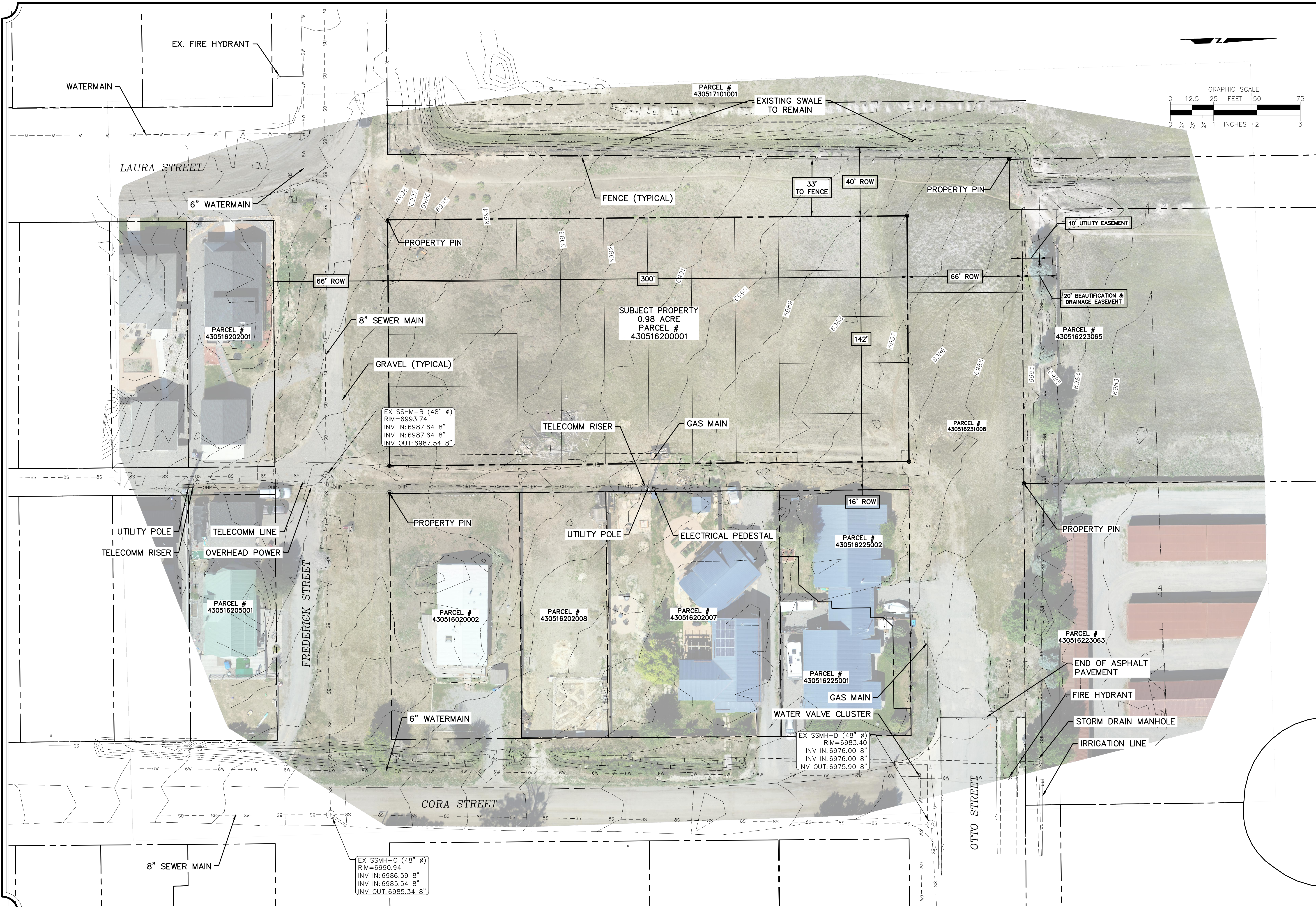
Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

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G3.03



Computer File Information		Sheet Revisions		Colorado Department of Transportation 2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868 Project Development Branch JBK	CURB RAMPS	STANDARD PLAN NO.	
Creation Date: 07/31/19		Date:	Comments			M-608-1	
Designer Initials: JBK	(R-X)					Standard Sheet No. 4 of 10	
Last Modification Date: 07/31/19	(R-X)					Project Sheet Number:	
Detailer Initials: LTA	(R-X)						
CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English	(R-X)						

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2022-06-08

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**YELLOW BRICK TOWNHOMES
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EXISTING CONDITIONS**

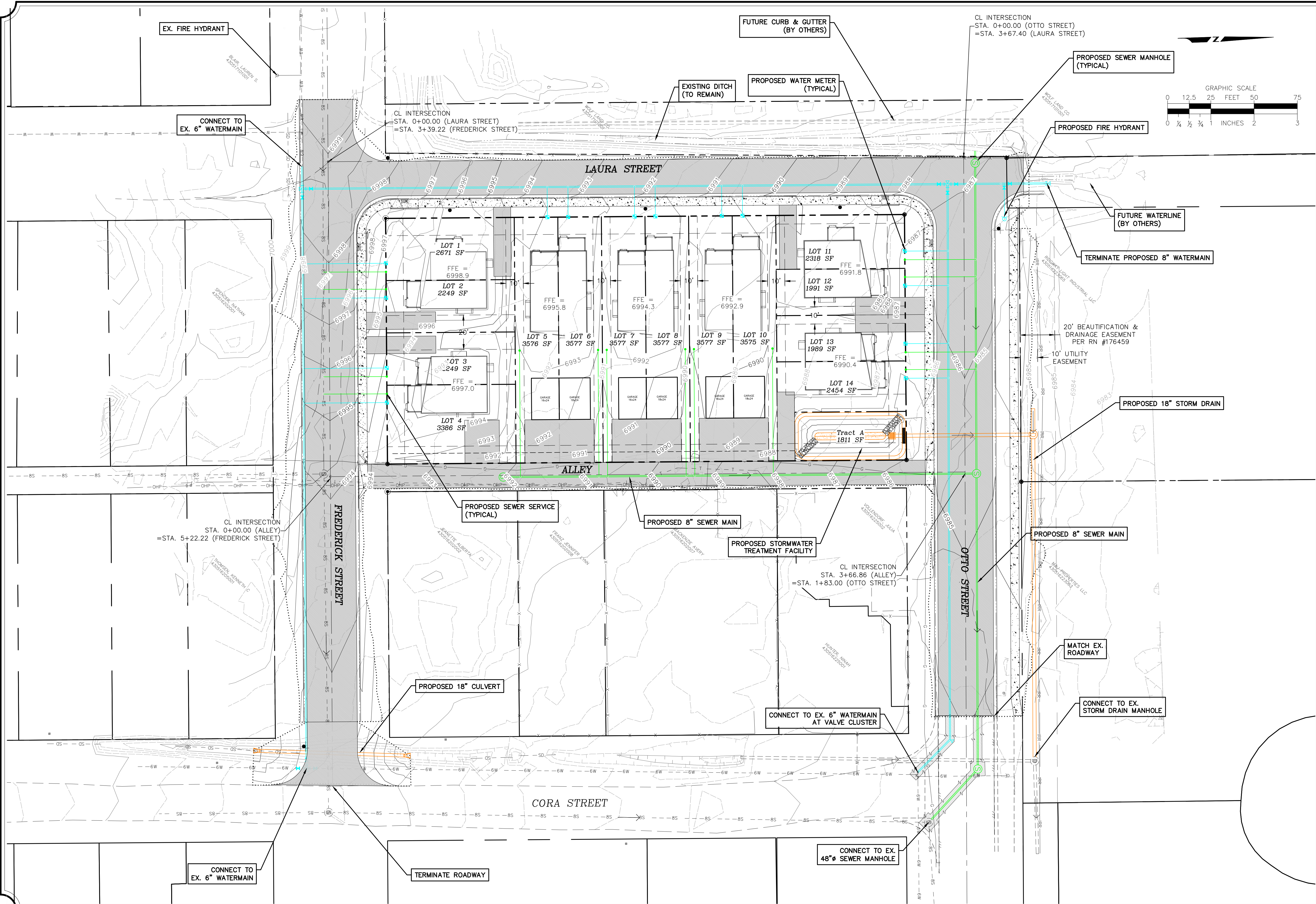
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PRELIMINARY REVIEW 07-18-2022

Revisions:

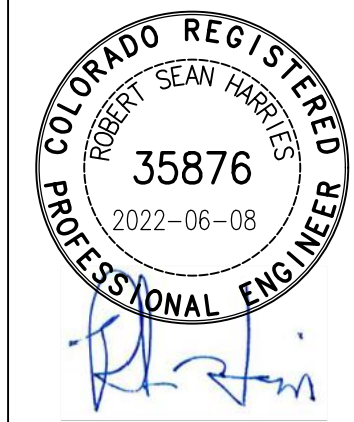
Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

Sheet
RD0.00

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YELLOW BRICK TOWNHOMES SUBDIVISION OVERVIEW PLAN

Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

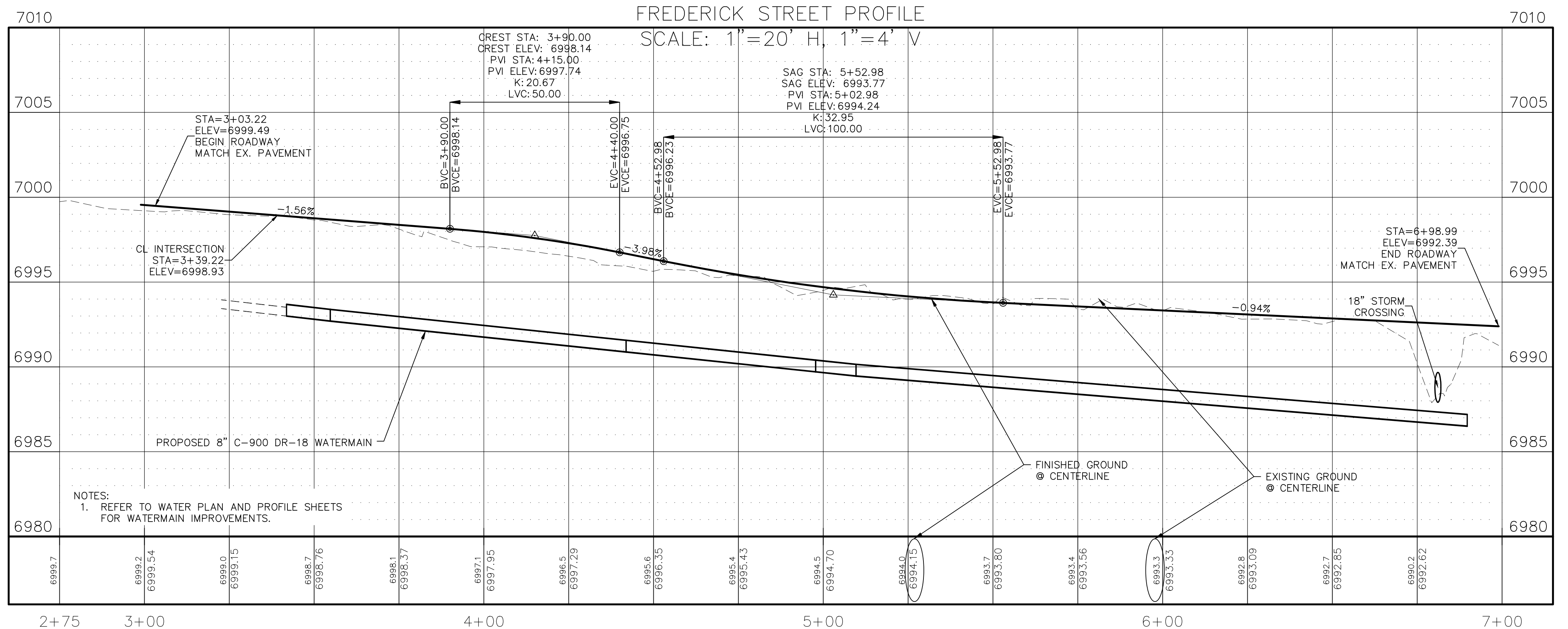
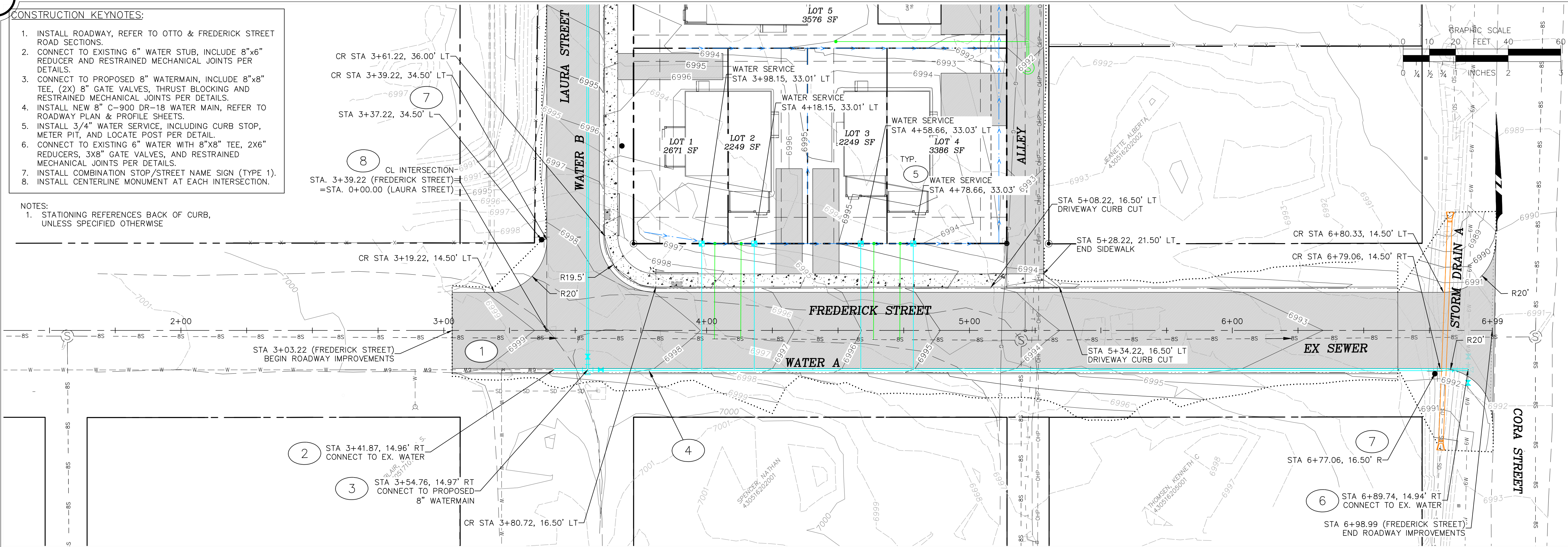
Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

Sheet
RD0.01

CONSTRUCTION KEYNOTES:

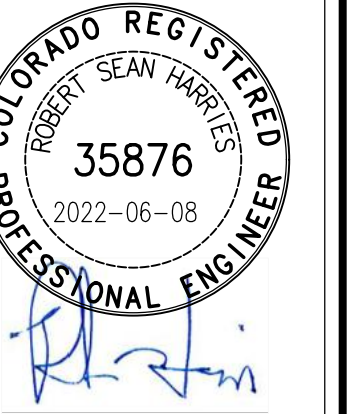
1. INSTALL ROADWAY, REFER TO OTTO & FREDERICK STREET ROAD SECTIONS.
2. CONNECT TO EXISTING 6" WATER STUB, INCLUDE 8"x6" REDUCER AND RESTRAINED MECHANICAL JOINTS PER DETAILS.
3. CONNECT TO PROPOSED 8" WATERMAIN, INCLUDE 8"x8" TEE, (2X) 8" GATE VALVES, THRUST BLOCKING AND RESTRAINED MECHANICAL JOINTS PER DETAILS.
4. INSTALL NEW 8" C-900 DR-18 WATER MAIN, REFER TO ROADWAY PLAN & PROFILE SHEETS.
5. INSTALL 3/4" WATER SERVICE, INCLUDING CURB STOP, METER PIT, AND LOCATE POST PER DETAIL.
6. CONNECT TO EXISTING 6" WATER WITH 8"x8" TEE, 2X6" REDUCERS, 3X8" GATE VALVES, AND RESTRAINED MECHANICAL JOINTS PER DETAILS.
7. INSTALL COMBINATION STOP/STREET NAME SIGN (TYPE 1).
8. INSTALL CENTERLINE MONUMENT AT EACH INTERSECTION.

- NOTES:
1. STATIONING REFERENCES BACK OF CURB, UNLESS SPECIFIED OTHERWISE



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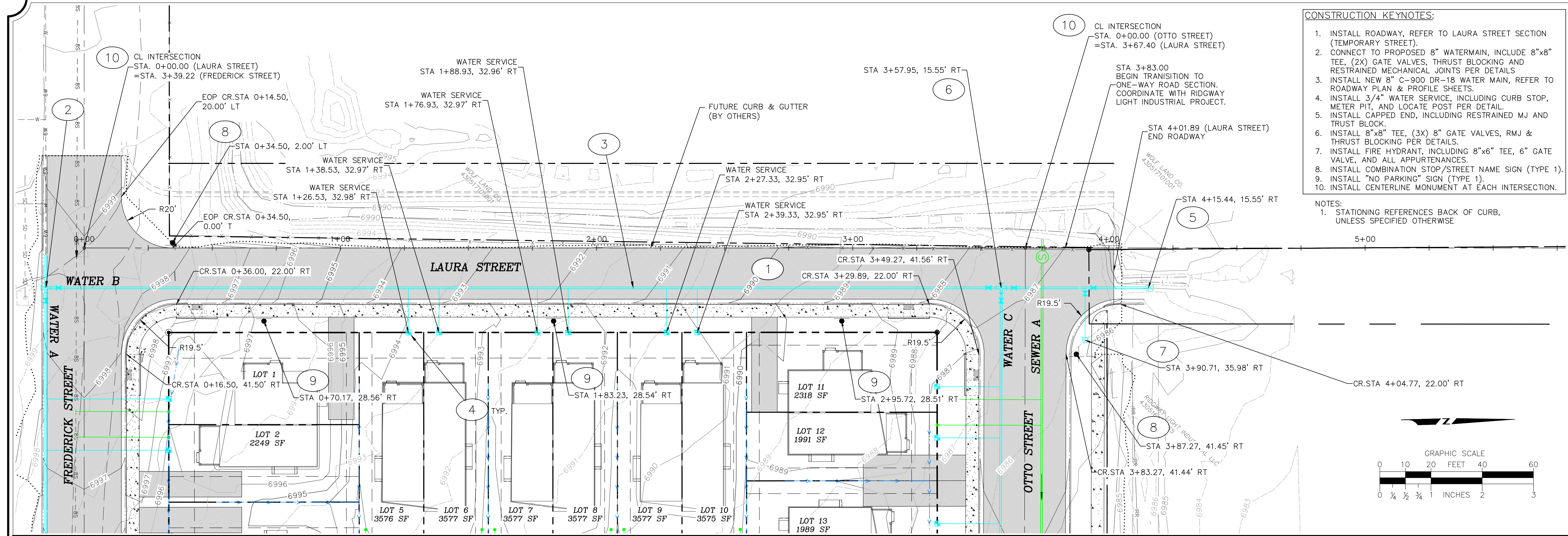
**YELLOW BRICK TOWNHOMES
SUBDIVISION
FREDERICK ST. PLAN & PROFILE**

Issue Record:
PRELIMINARY REVIEW 07-18-2022

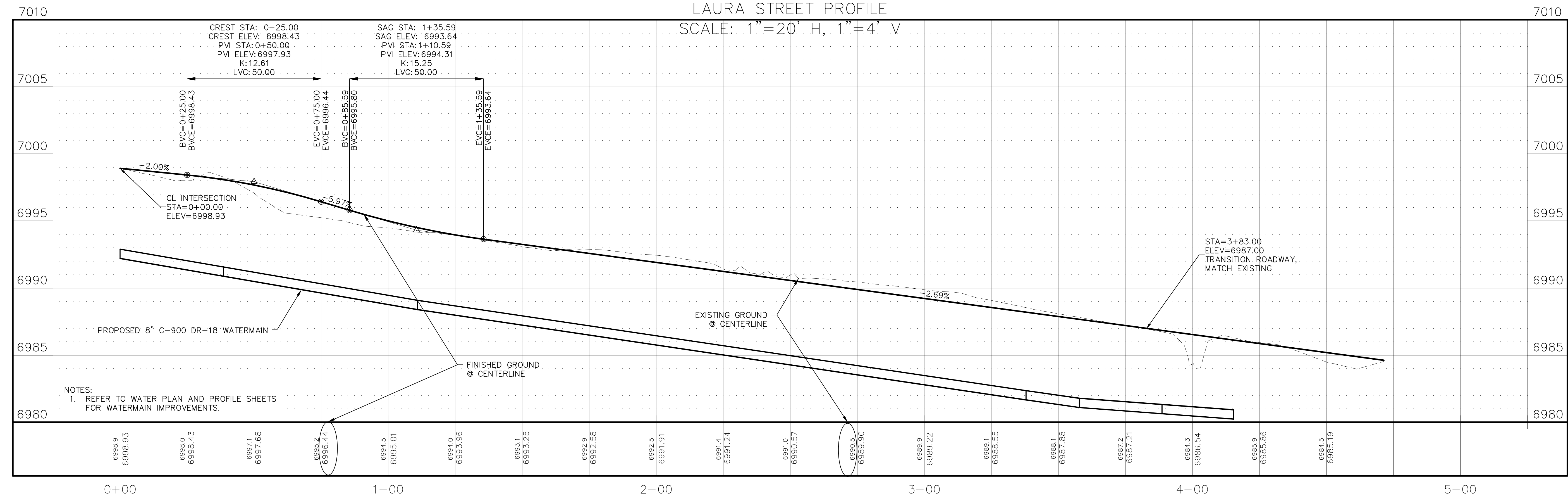
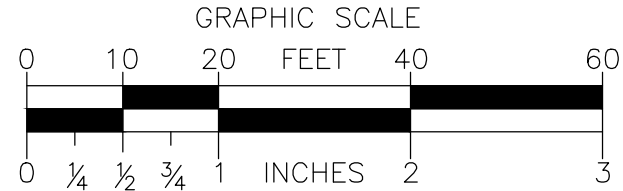
Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

Sheet
RD1.01

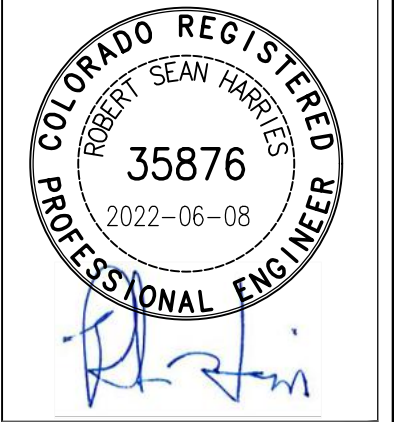


- CONSTRUCTION KEYNOTES:
1. INSTALL ROADWAY, REFER TO LAURA STREET SECTION (TEMPORARY STREET).
 2. CONNECT TO PROPOSED 8" WATERMAIN, INCLUDE 8"x8" TEE, (2X) GATE VALVES, THRUST BLOCKING AND RESTRAINED MECHANICAL JOINTS PER DETAILS
 3. INSTALL NEW 8" C-900 DR-18 WATER MAIN, REFER TO ROADWAY PLAN & PROFILE SHEETS.
 4. INSTALL 3/4" WATER SERVICE, INCLUDING CURB STOP, METER PIT, AND LOCATE POST PER DETAIL.
 5. INSTALL CAPPED END, INCLUDING RESTRAINED MJ AND TRUST BLOCK.
 6. INSTALL 8"x8" TEE, (3X) 8" GATE VALVES, RMJ & THRUST BLOCKING PER DETAILS.
 7. INSTALL FIRE HYDRANT, INCLUDING 8"x6" TEE, 6" GATE VALVE, AND ALL APPURTENANCES.
 8. INSTALL COMBINATION STOP/STREET NAME SIGN (TYPE 1).
 9. INSTALL "NO PARKING" SIGN (TYPE 1).
 10. INSTALL CENTERLINE MONUMENT AT EACH INTERSECTION.
- NOTES:
1. STATIONING REFERENCES BACK OF CURB, UNLESS SPECIFIED OTHERWISE



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**YELLOW BRICK TOWNHOMES
SUBDIVISION
LAURA ST. PLAN & PROFILE**

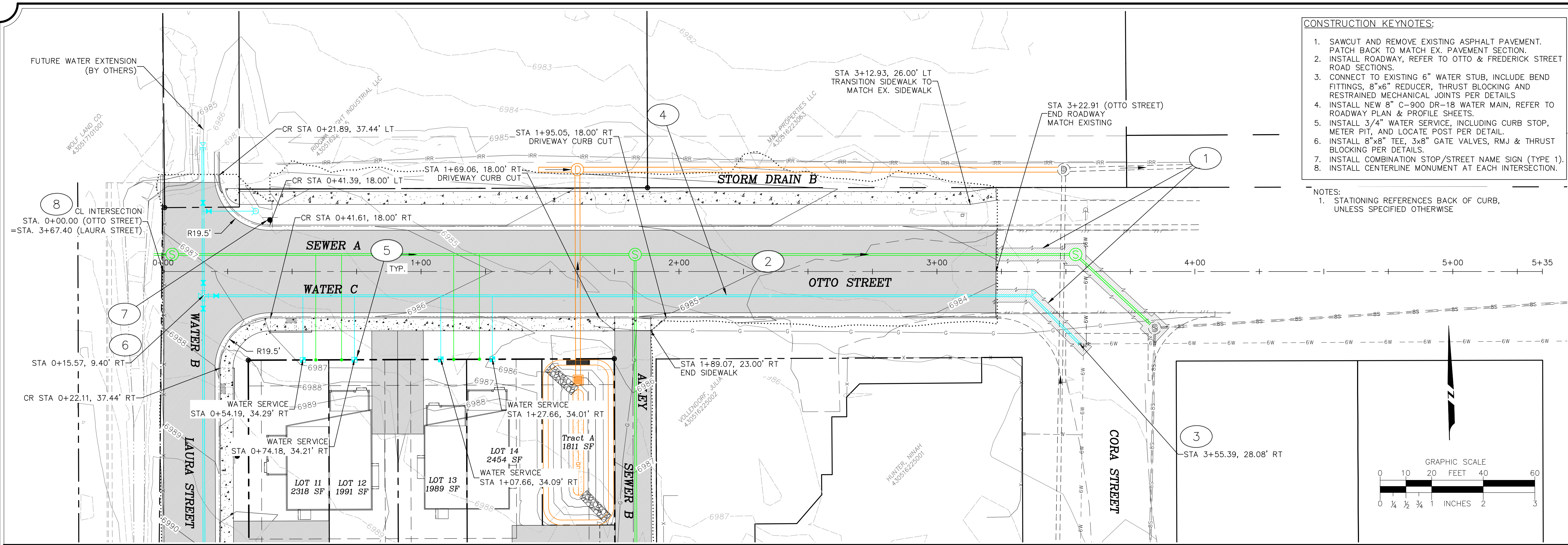
Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

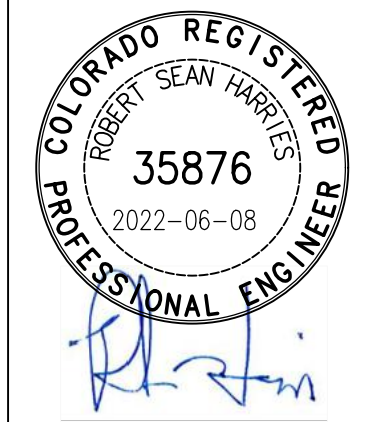
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g:\2021\1-180 Highway Enhancements\working\cadd\streets\plan\otto st. plan & profile.dwg DATE: 7/19/2022 USER: JENGUSH PLOT SCALE=1:1



- CONSTRUCTION KEYNOTES:
1. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT. PATCH BACK TO MATCH EX. PAVEMENT SECTION.
 2. INSTALL ROADWAY, REFER TO OTTO & FREDERICK STREET ROAD SECTIONS.
 3. CONNECT TO EXISTING 6" WATER STUB, INCLUDE BEND FITTINGS, 8"x6" REDUCER, THRUST BLOCKING AND RESTRAINED MECHANICAL JOINTS PER DETAILS
 4. INSTALL NEW 8" C-900 DR-18 WATER MAIN, REFER TO ROADWAY PLAN & PROFILE SHEETS.
 5. INSTALL 3/4" WATER SERVICE, INCLUDING CURB STOP, METER PIT, AND LOCATE POST PER DETAIL.
 6. INSTALL 8"x8" TEE, 3x8" GATE VALVES, RMJ & THRUST BLOCKING PER DETAILS.
 7. INSTALL COMBINATION STOP/STREET NAME SIGN (TYPE 1).
 8. INSTALL CENTERLINE MONUMENT AT EACH INTERSECTION.
- NOTES:
1. STATIONING REFERENCES BACK OF CURB, UNLESS SPECIFIED OTHERWISE

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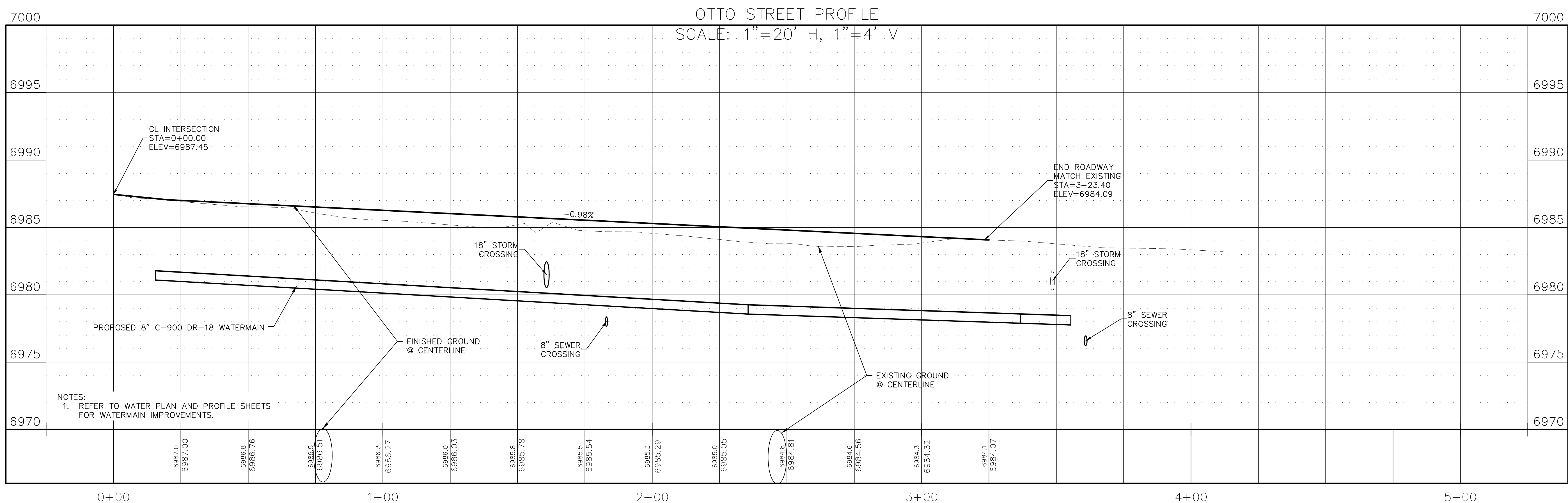
**YELLOW BRICK TOWNHOMES
SUBDIVISION**
OTTO ST. PLAN & PROFILE

Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

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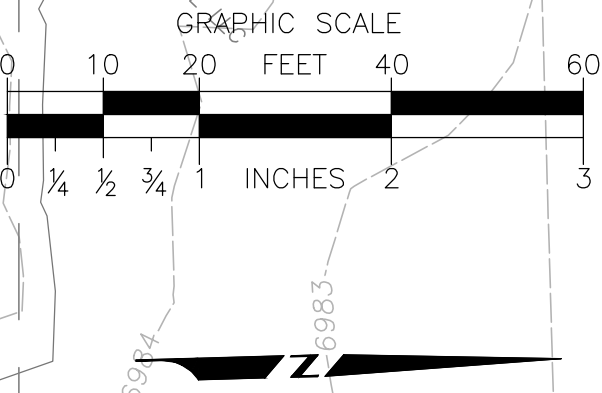
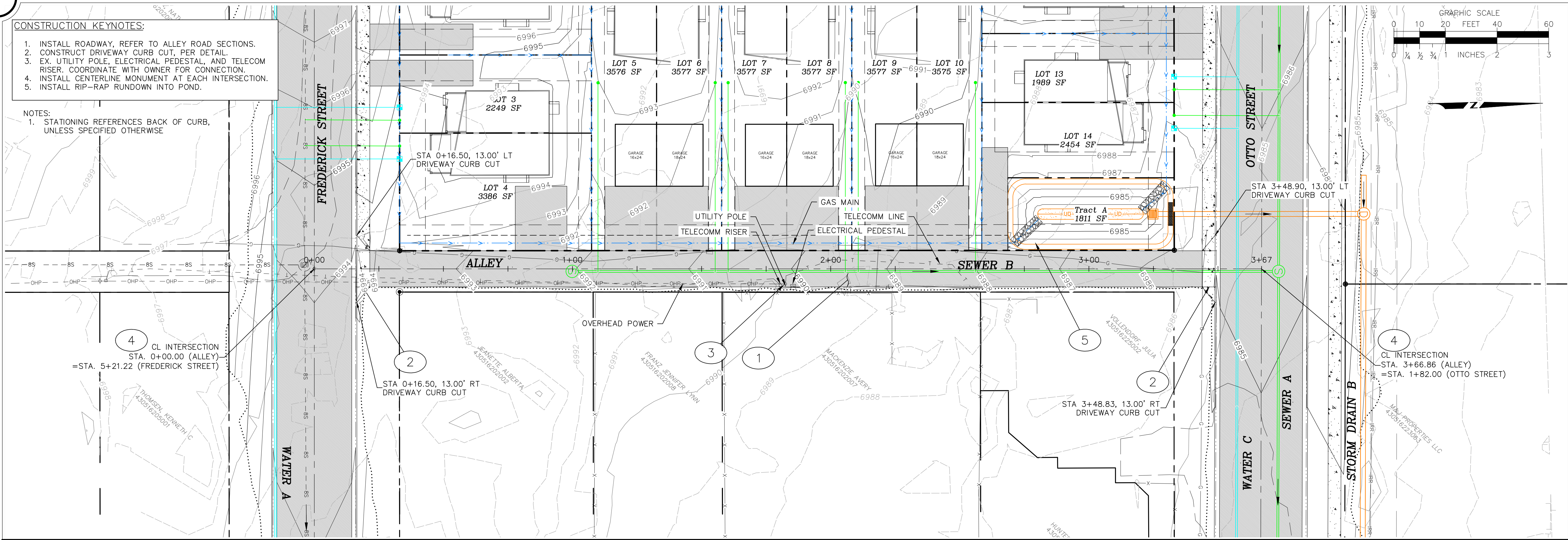


CONSTRUCTION KEYNOTES:

1. INSTALL ROADWAY, REFER TO ALLEY ROAD SECTIONS.
2. CONSTRUCT DRIVEWAY CURB CUT, PER DETAIL.
3. EX. UTILITY POLE, ELECTRICAL PEDESTAL, AND TELECOM RISER. COORDINATE WITH OWNER FOR CONNECTION.
4. INSTALL CENTERLINE MONUMENT AT EACH INTERSECTION.
5. INSTALL RIP-RAP RUNDOWN INTO POND.

NOTES:

1. STATIONING REFERENCES BACK OF CURB, UNLESS SPECIFIED OTHERWISE



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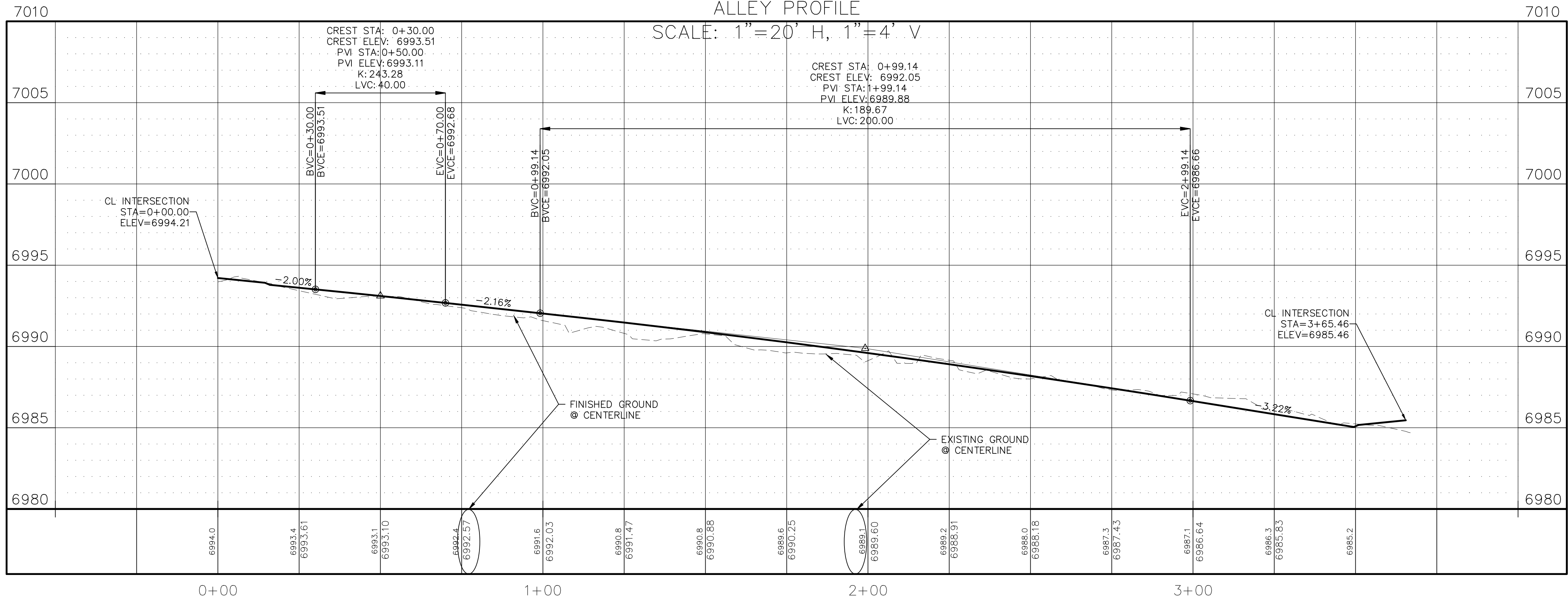
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ALLEY PROFILE

SCALE: 1"=20' H, 1"=4' V



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ALLEY PLAN & PROFILE

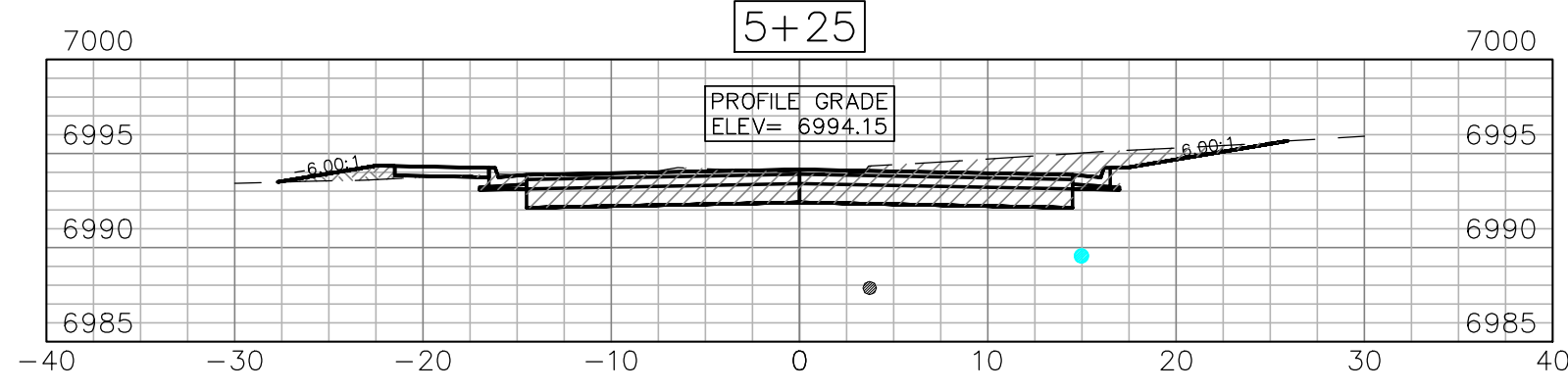
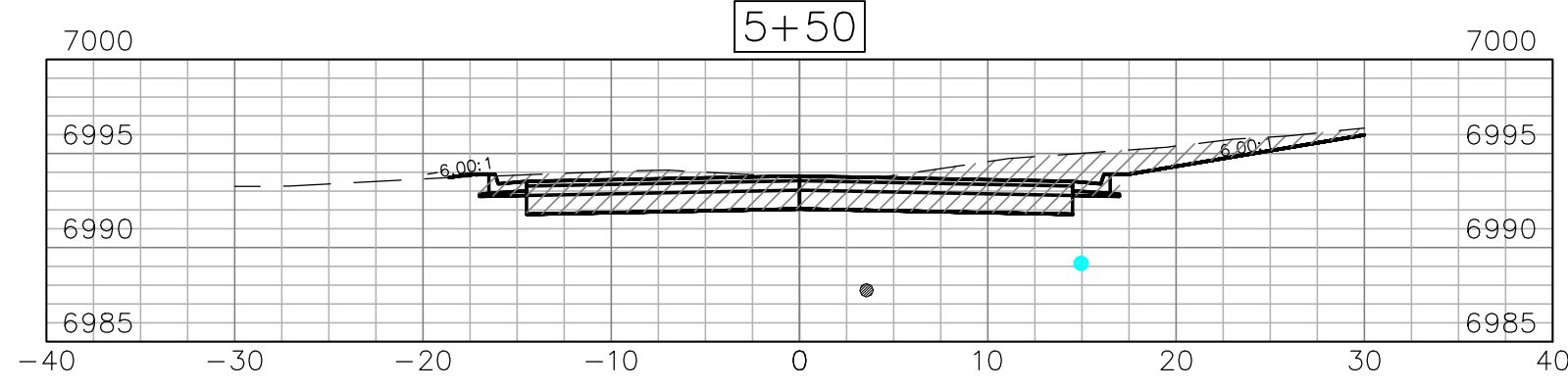
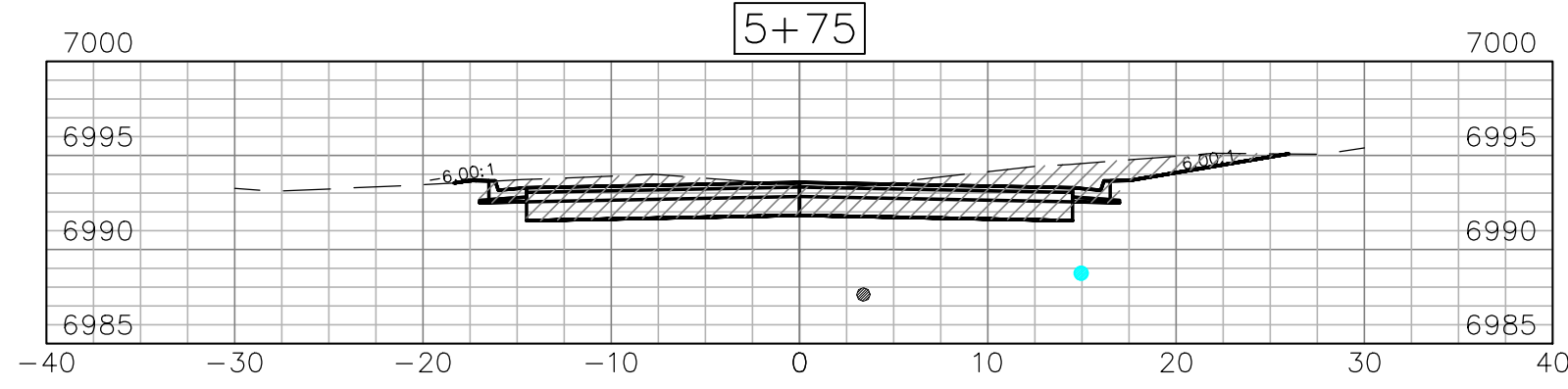
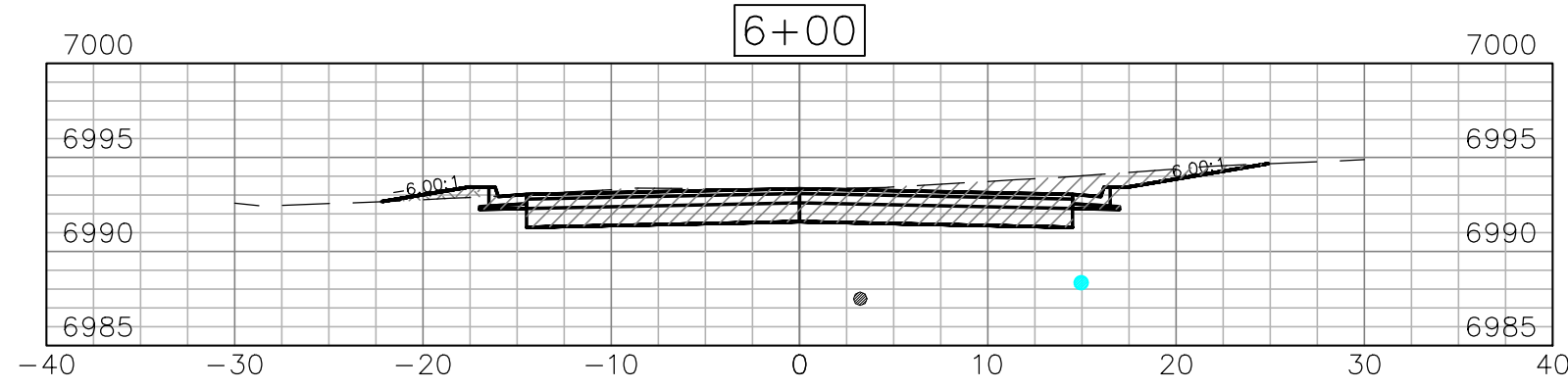
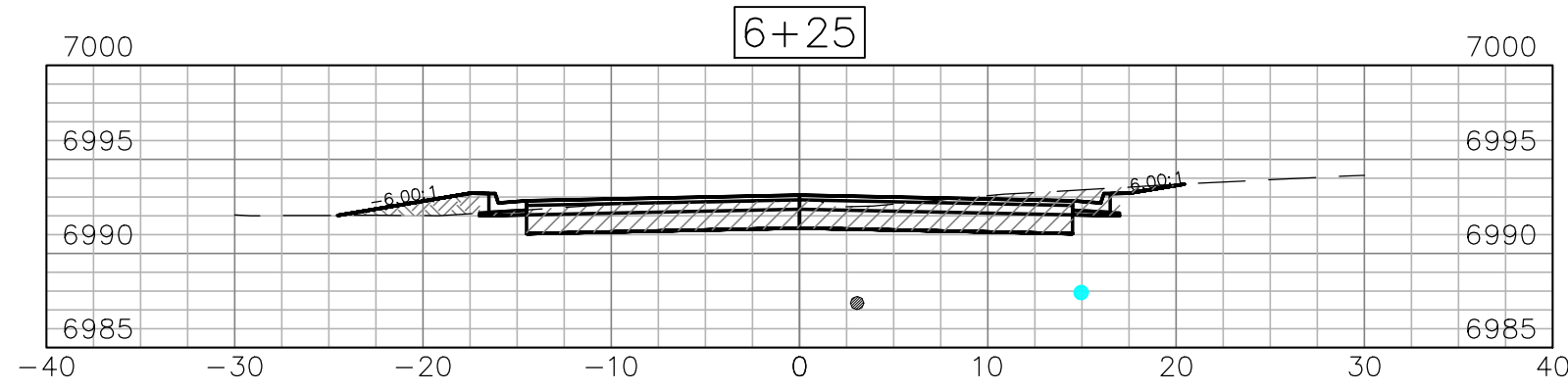
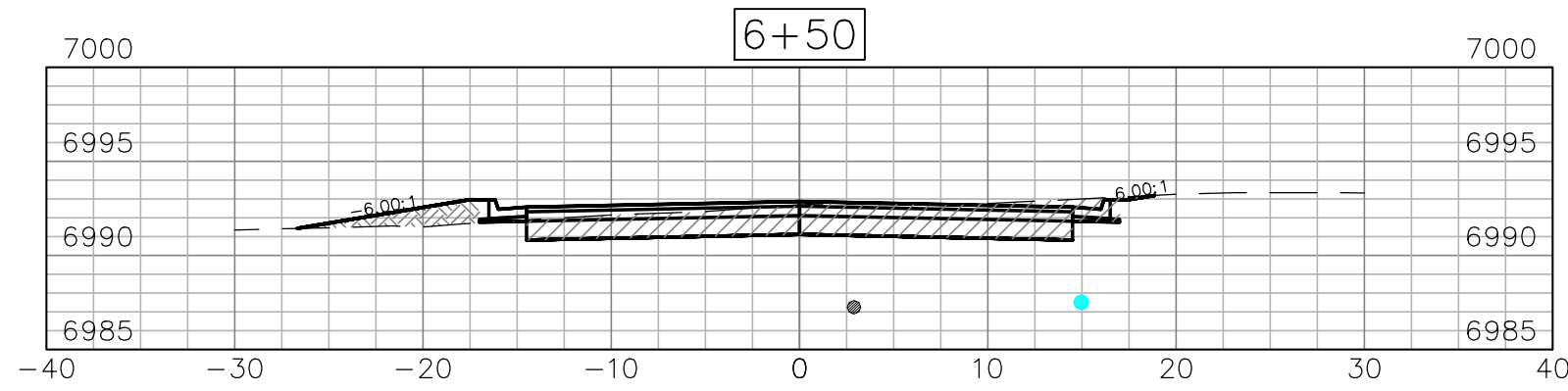
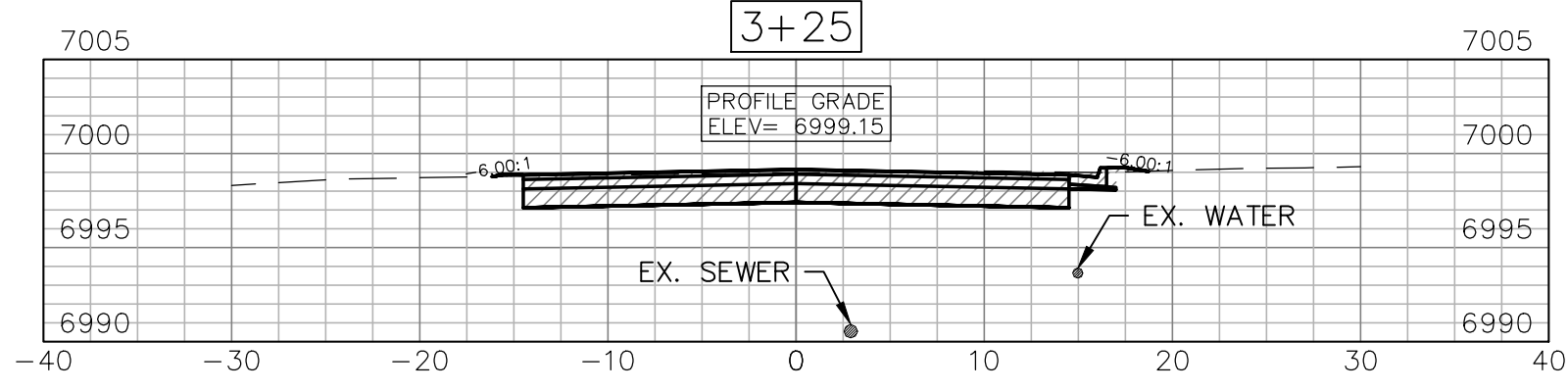
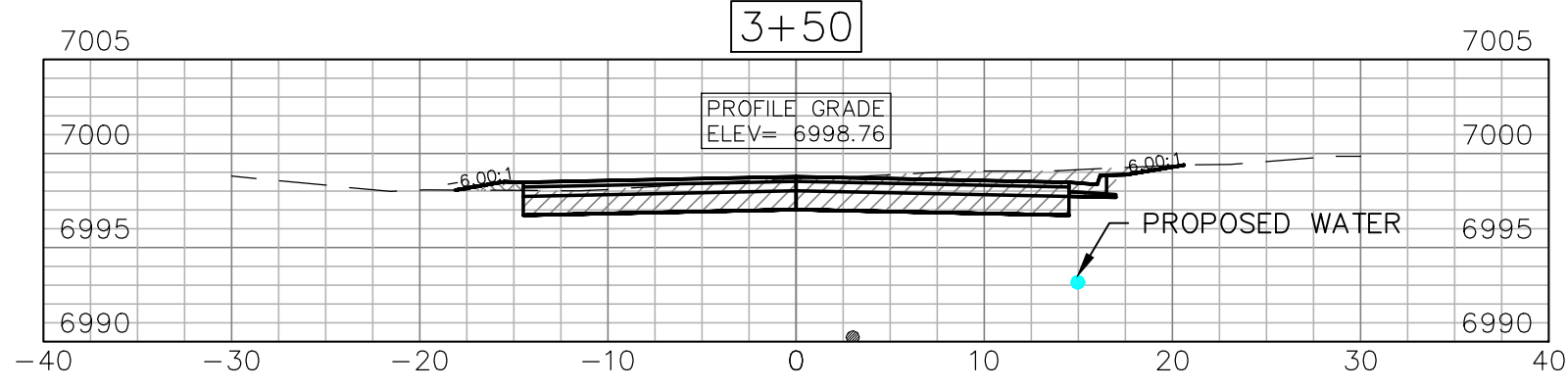
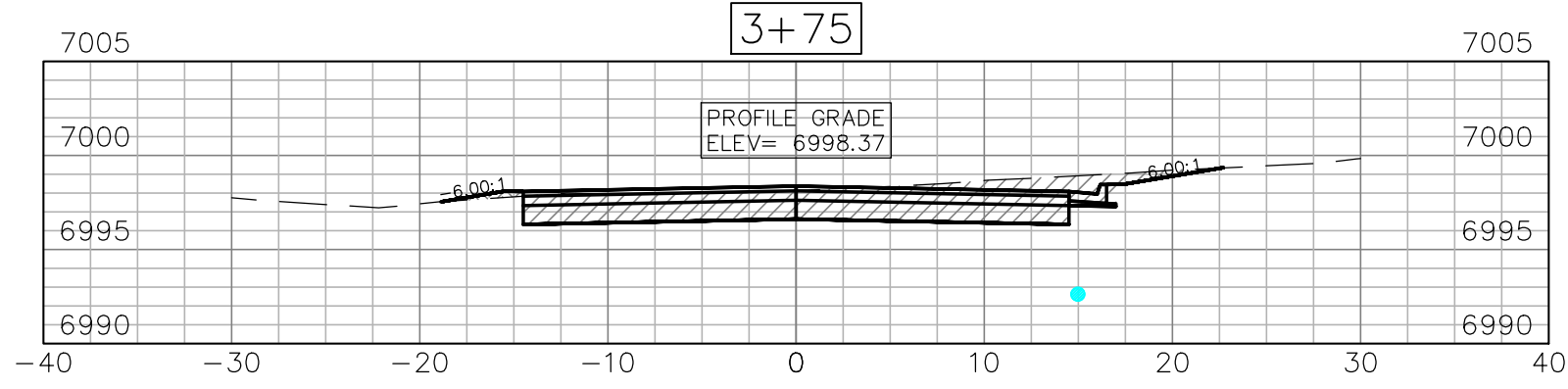
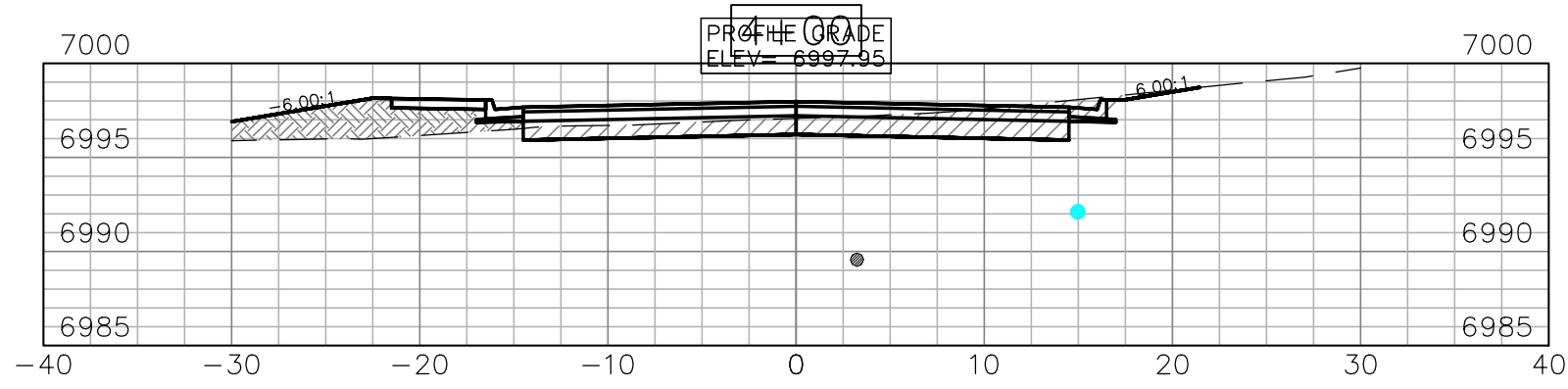
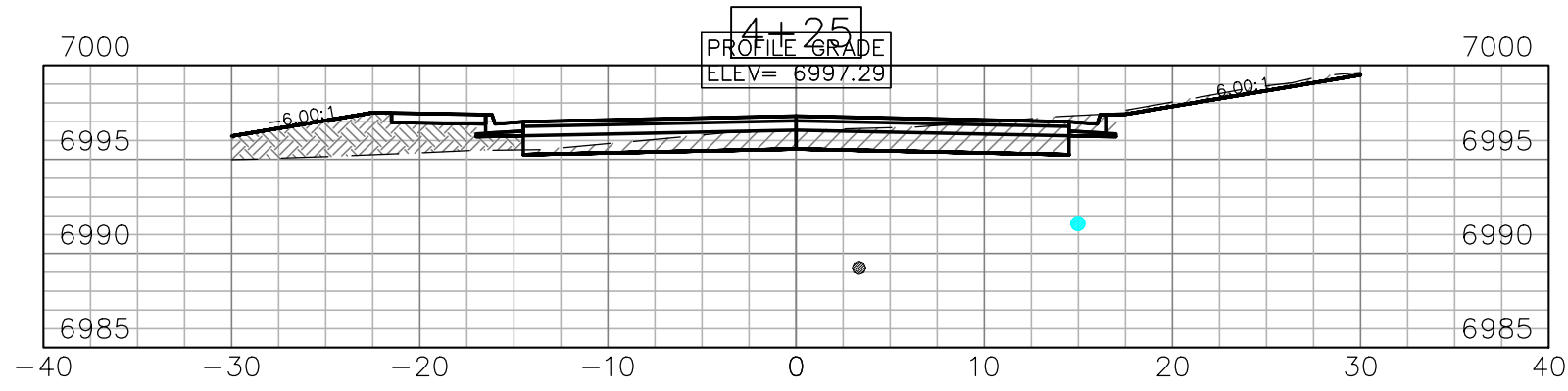
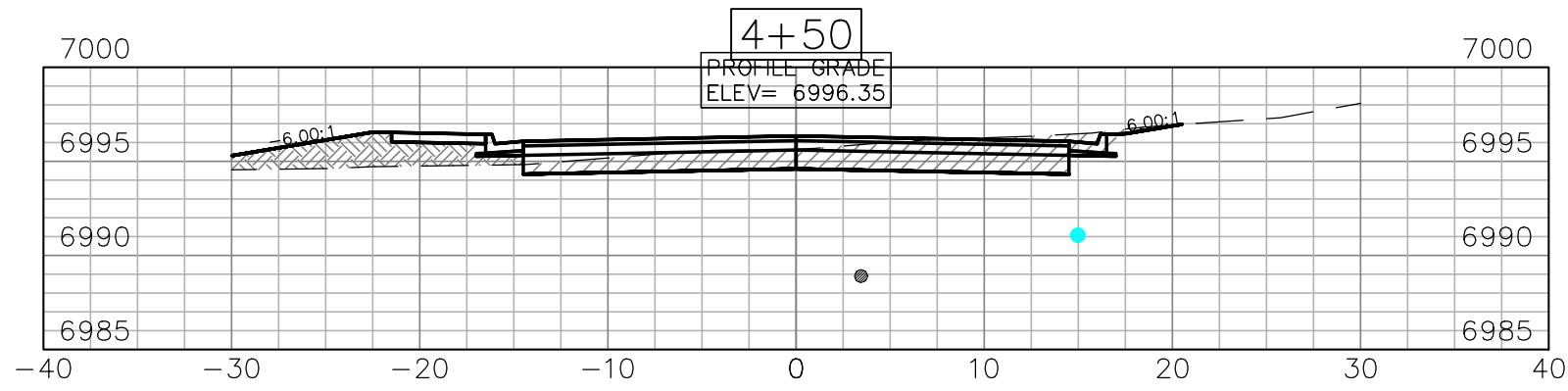
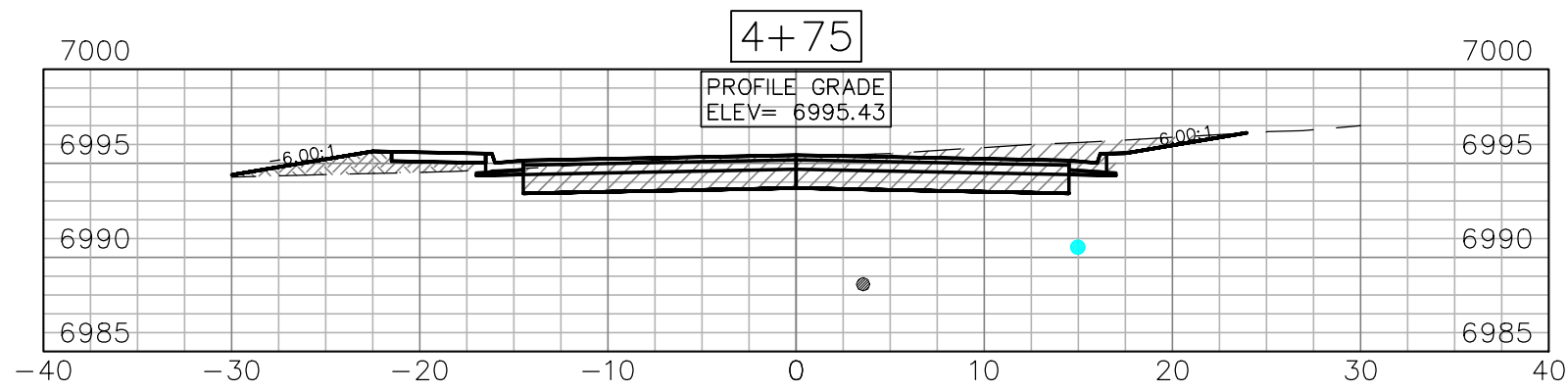
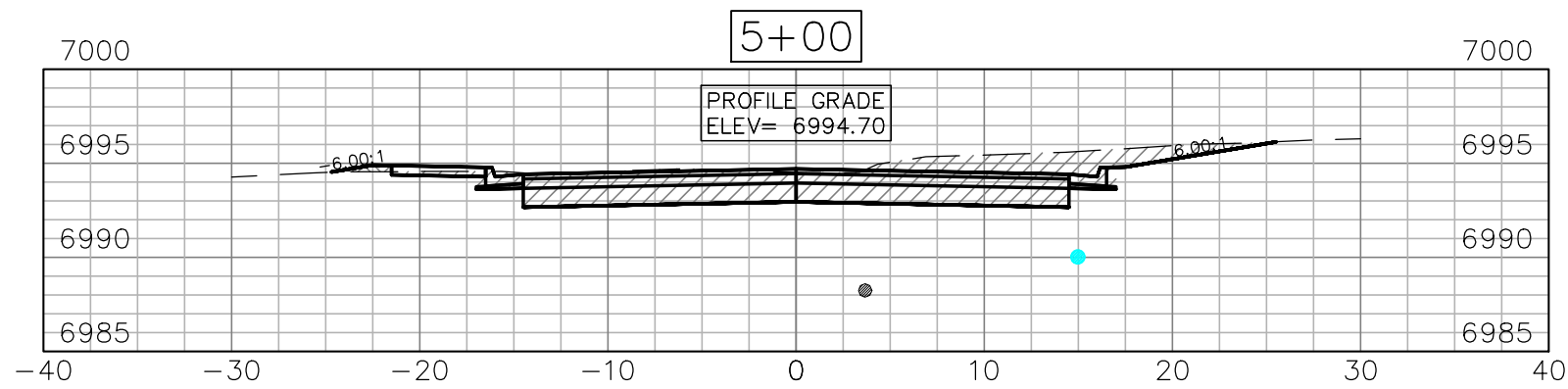
Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

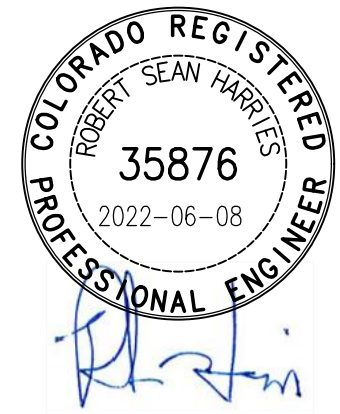
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FREDERICK STREET – EARTHWORK TABULATION						
Station	Fill Area	Cut Area	Fill Volume	Cut Volume	Cumulative Fill Vol	Cumulative Cut Vol
3+25.00	0.38	51.53	0.00	0.00	0.00	0.00
3+50.00	1.04	55.01	0.66	49.32	0.66	49.32
3+75.00	0.85	57.06	0.88	51.88	1.54	101.21
4+00.00	21.23	34.56	10.22	42.42	11.76	143.63
4+25.00	24.22	36.45	21.04	32.88	32.81	176.50
4+50.00	18.41	39.90	19.74	35.35	52.54	211.85
4+75.00	8.32	61.75	12.37	47.06	64.92	258.90
5+00.00	0.69	72.45	4.17	62.13	69.09	321.03
5+25.00	2.89	68.23	1.66	65.13	70.74	386.16
5+50.00	0.15	82.65	1.41	69.85	72.15	456.01
5+75.00	0.08	76.33	0.11	73.60	72.26	529.61
6+00.00	1.63	67.66	0.79	66.66	73.06	596.27
6+25.00	4.64	49.76	2.90	54.36	75.96	650.63
6+50.00	6.73	48.21	5.26	45.36	81.22	695.99

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SUBDIVISION
CROSS SECTIONS - FREDERICK ST**

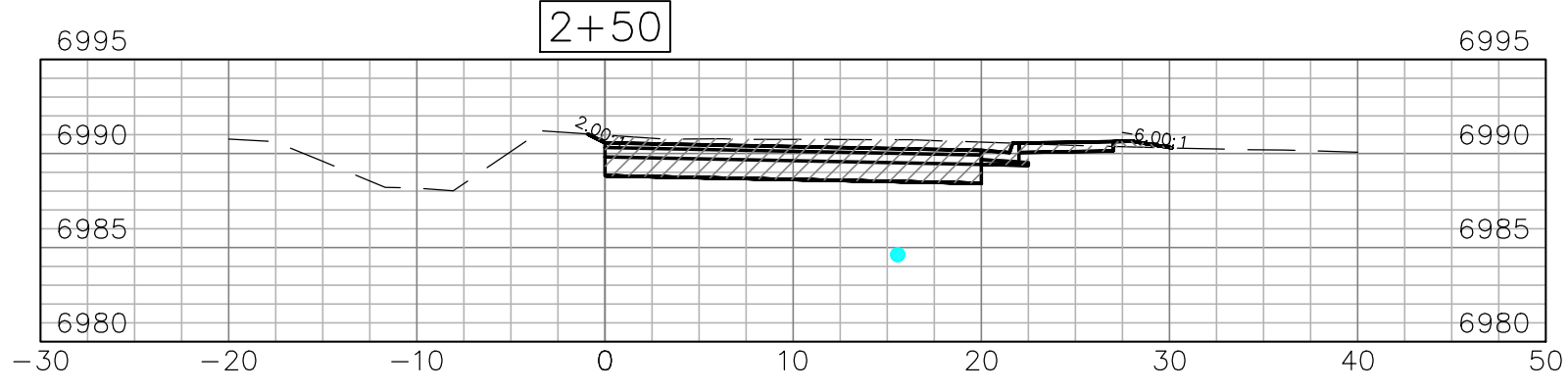
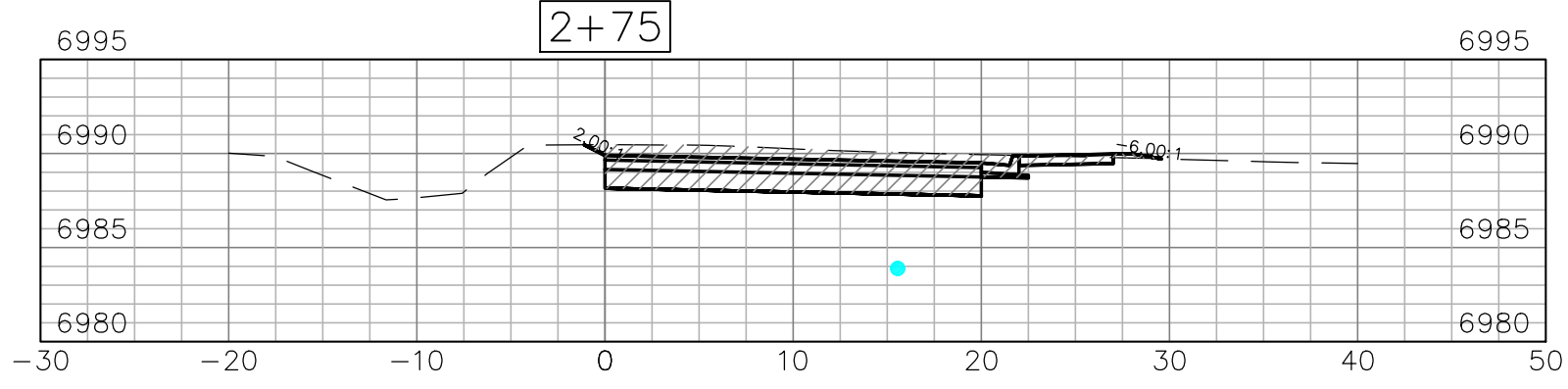
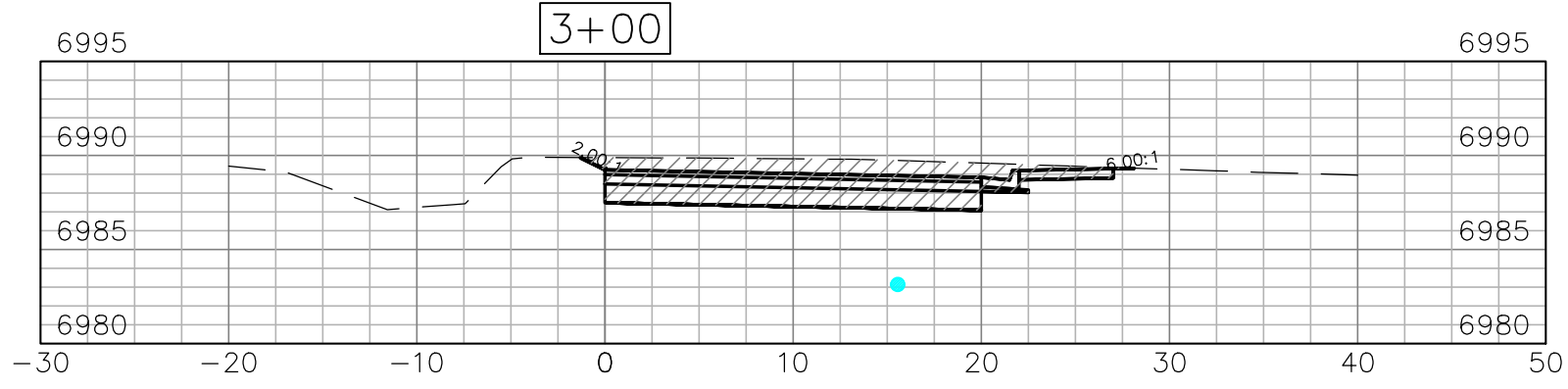
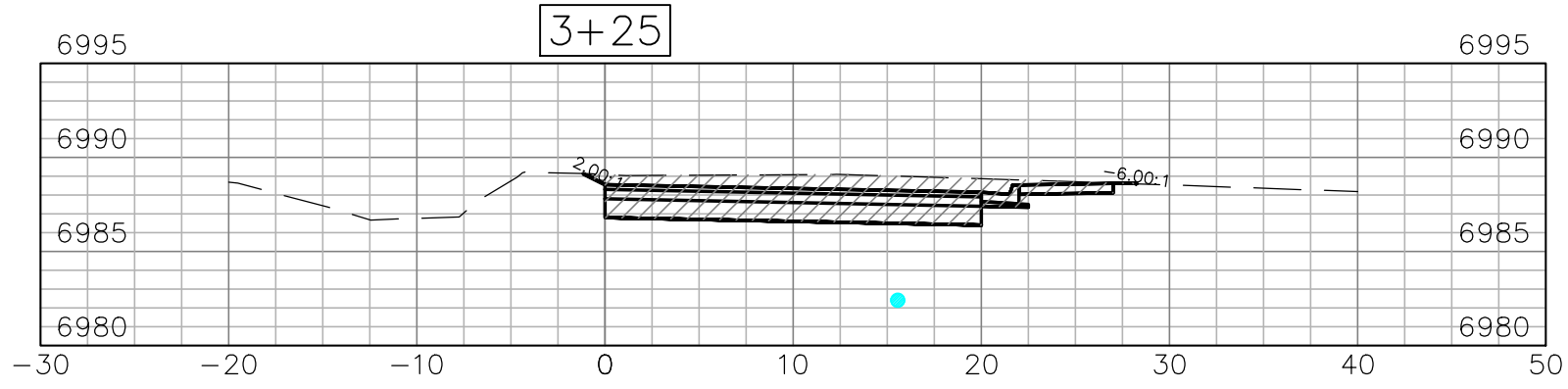
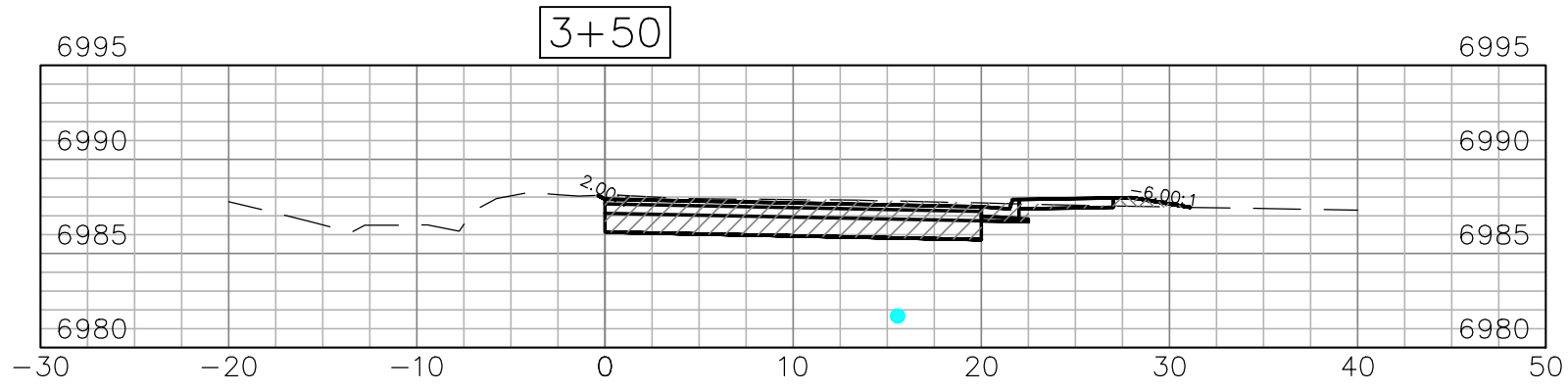
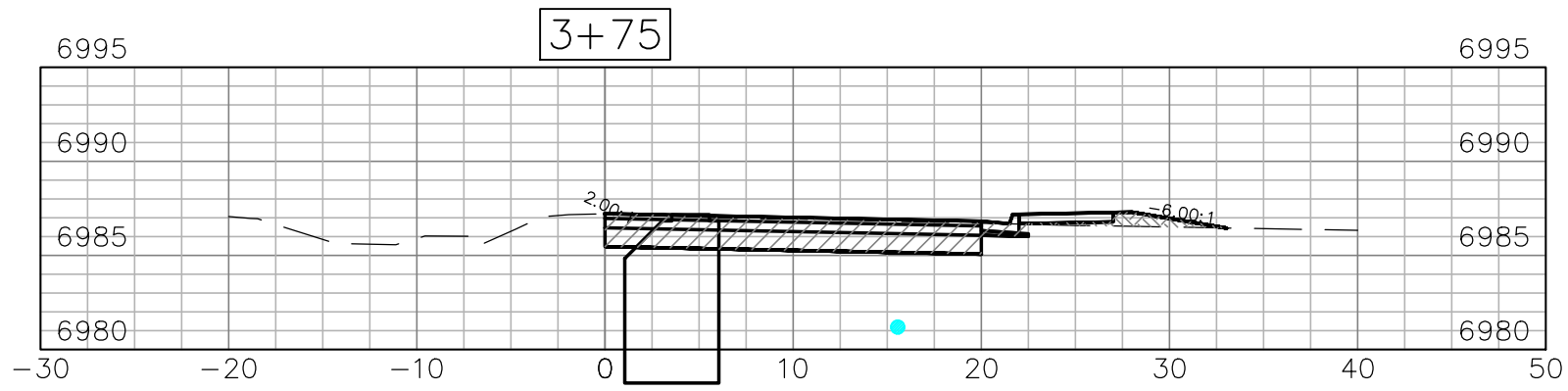
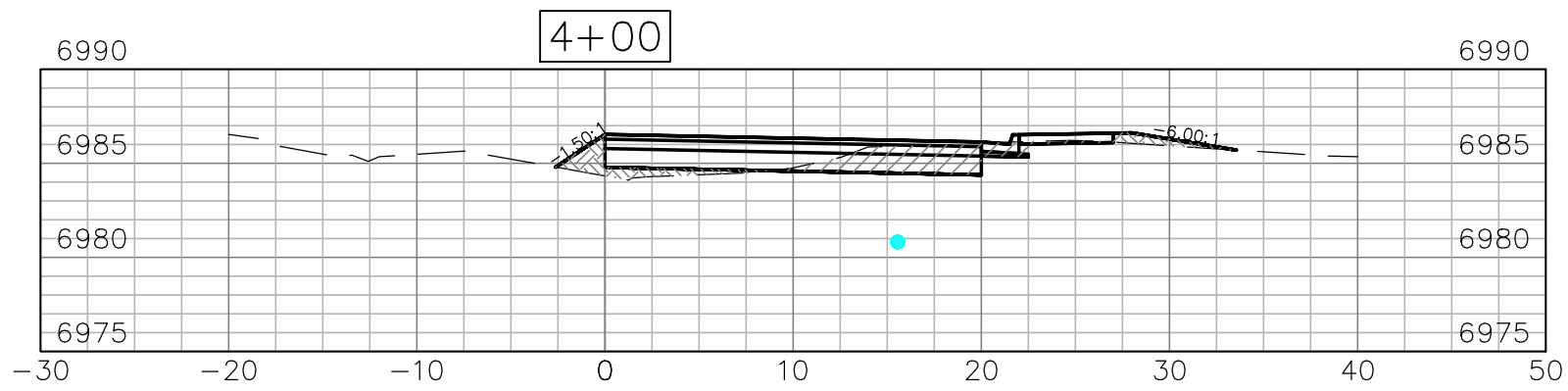
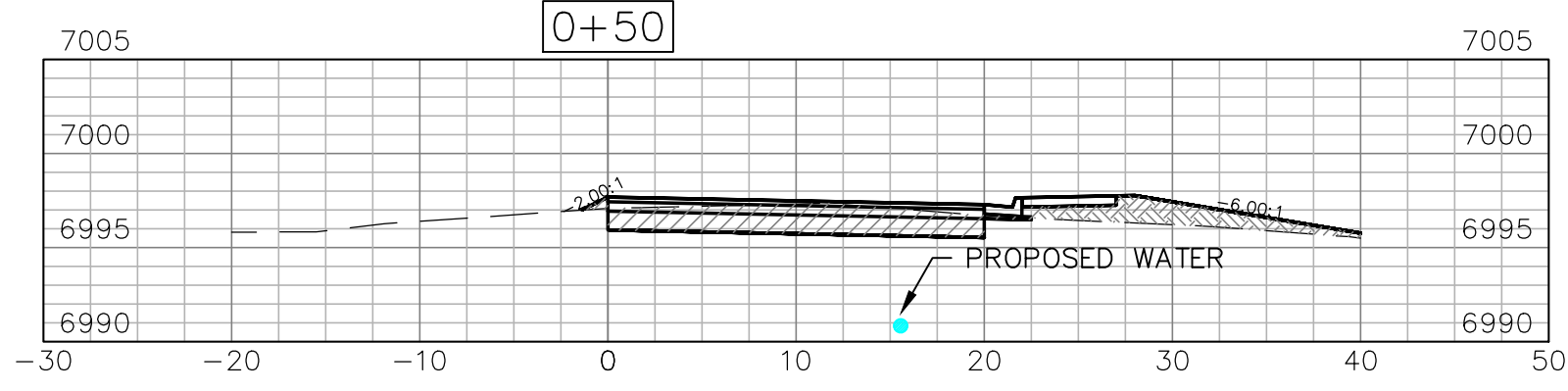
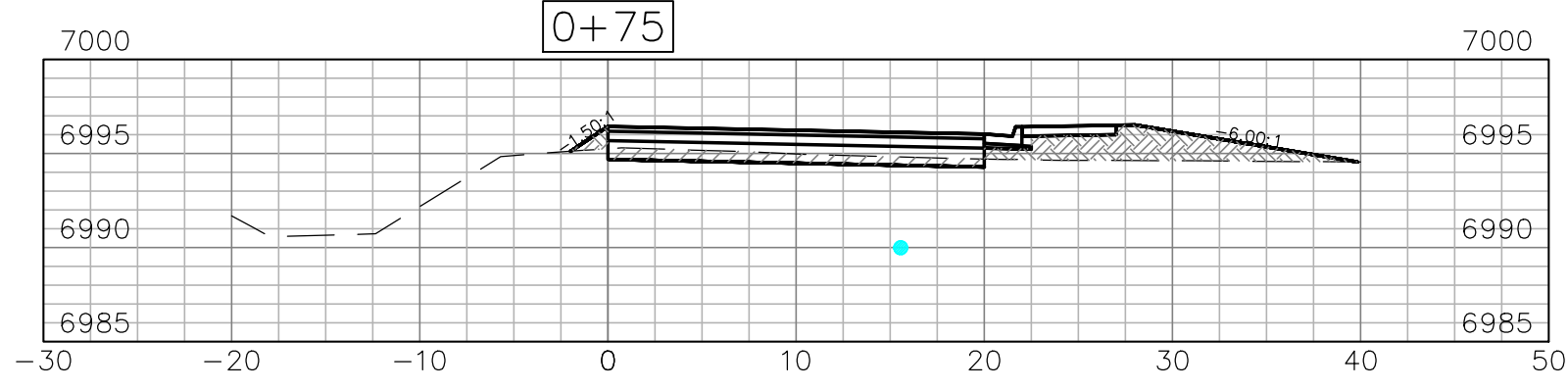
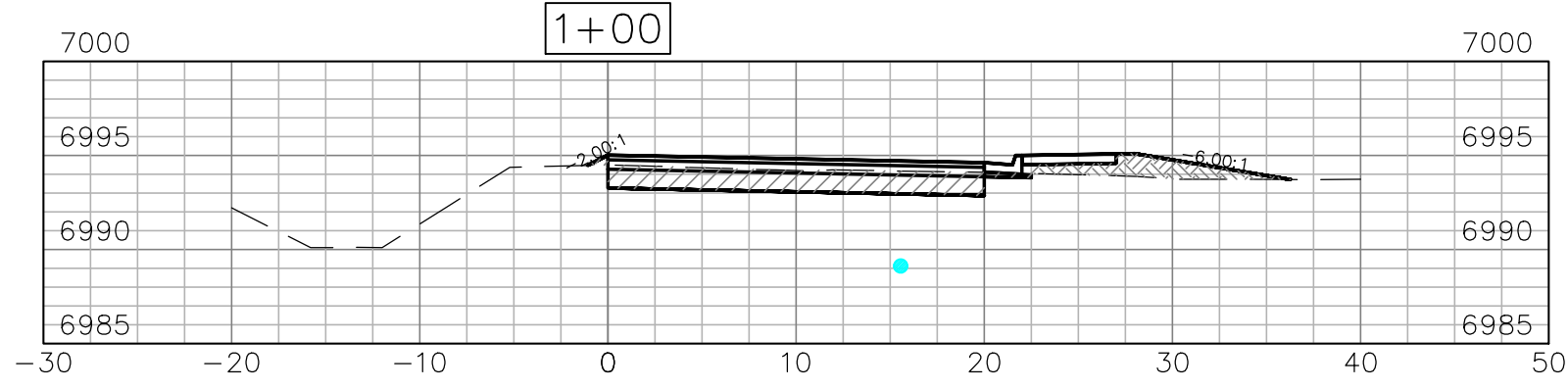
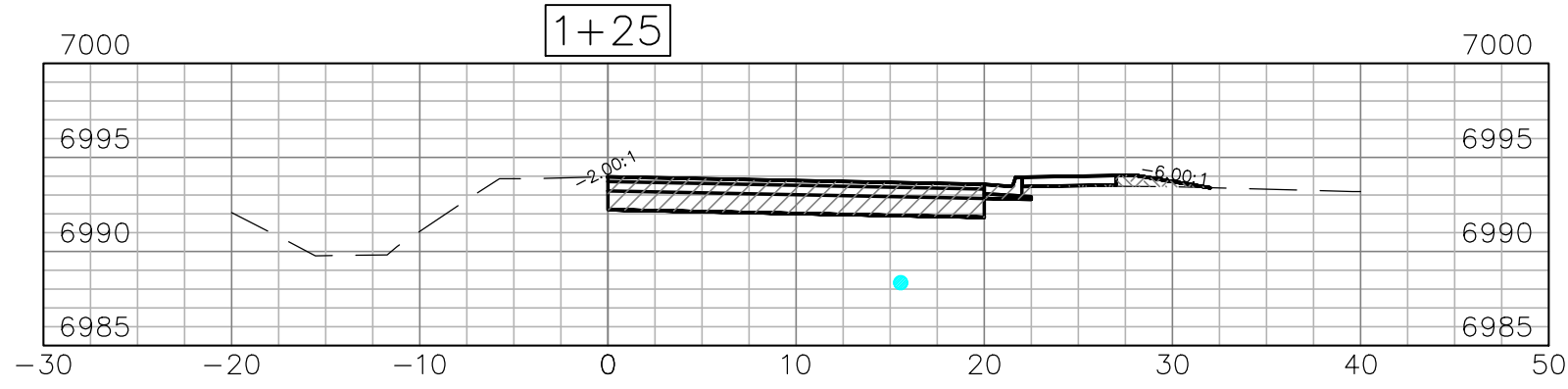
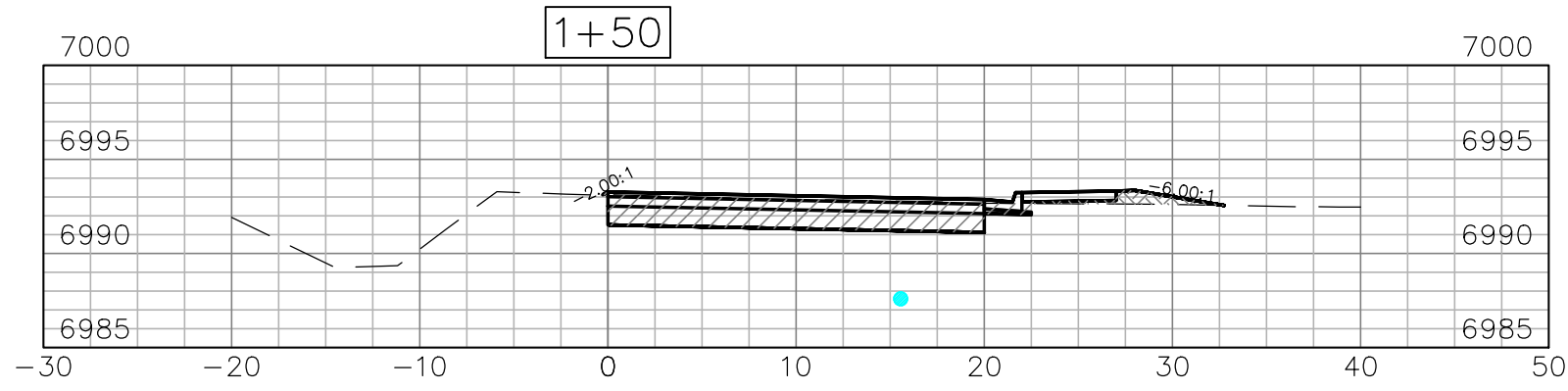
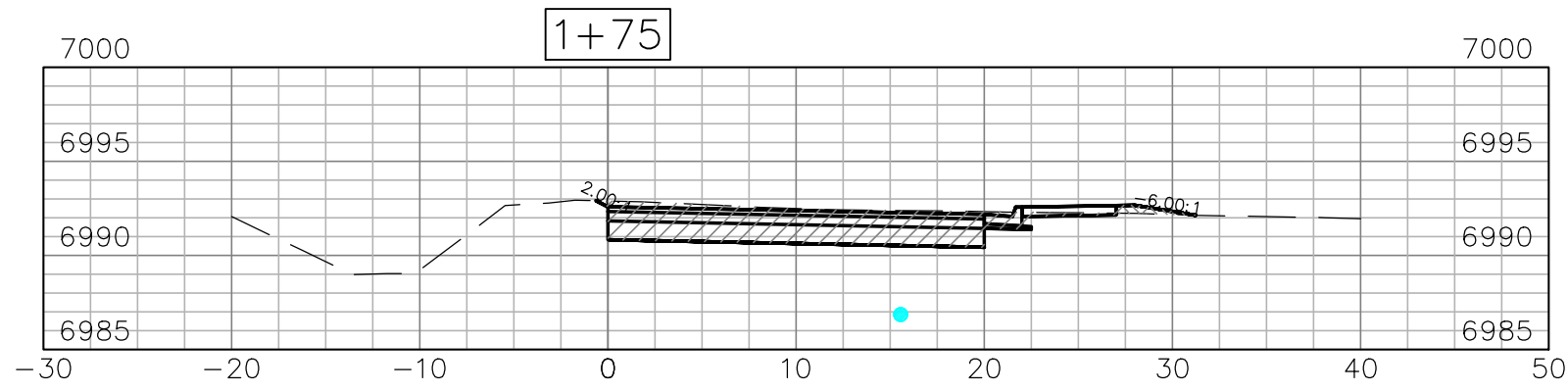
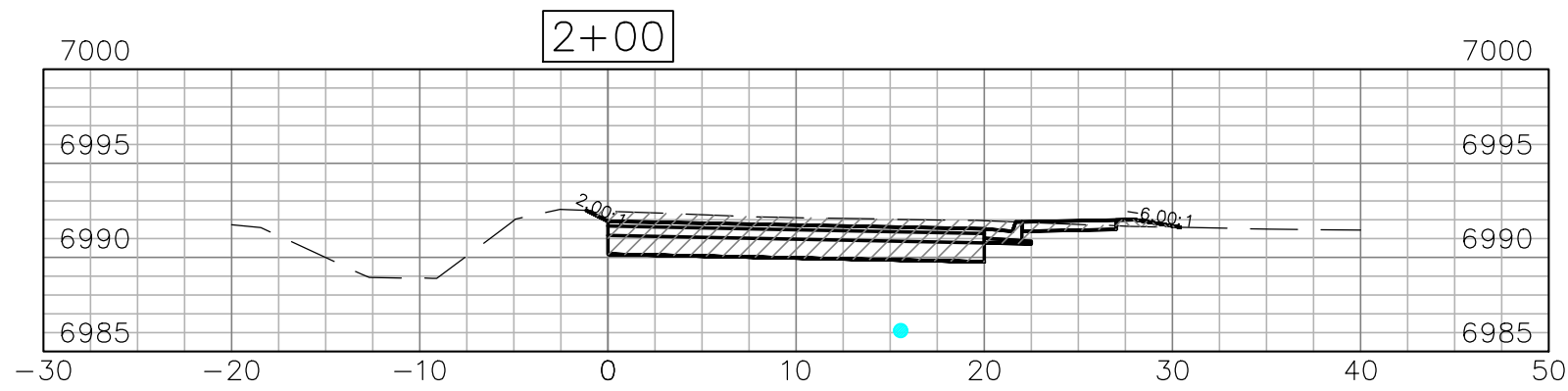
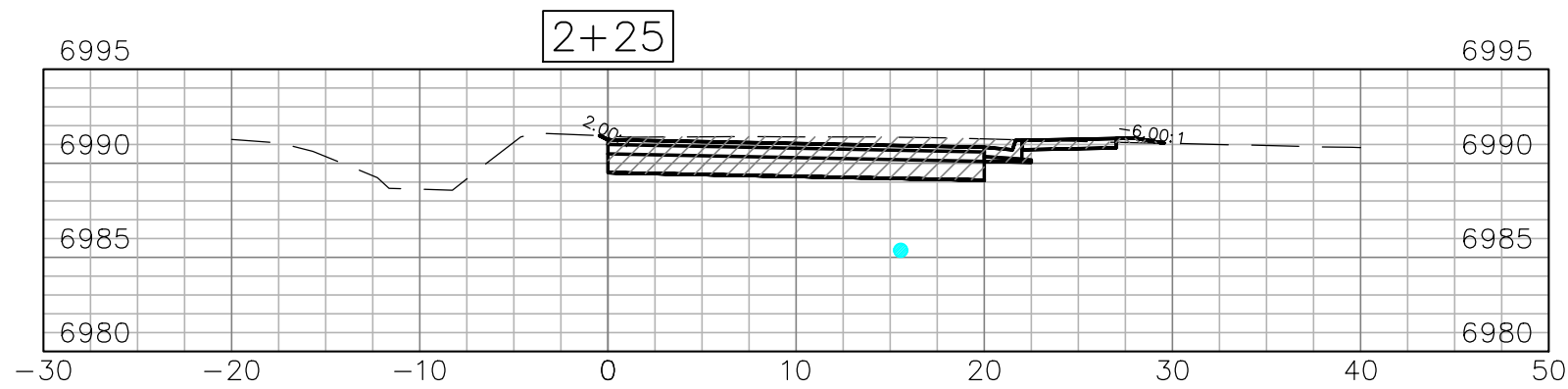
Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

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LAURA STREET – EARTHWORK TABULATION						
Station	Fill Area	Cut Area	Fill Volume	Cut Volume	Cumulative Fill Vol	Cumulative Cut Vol
0+25.00	0.00	0.00	0.00	0.00	0.00	0.00
0+50.00	14.87	28.48	6.89	13.19	6.89	13.19
0+75.00	21.64	10.10	16.90	17.86	23.79	31.05
1+00.00	9.43	24.43	14.38	15.98	38.17	47.03
1+25.00	1.86	35.97	5.23	27.96	43.40	74.99
1+50.00	3.06	32.99	2.28	31.93	45.68	106.92
1+75.00	1.12	41.25	1.94	34.37	47.62	141.29
2+00.00	0.75	48.29	0.87	41.46	48.48	182.75
2+25.00	0.40	46.74	0.54	43.99	49.02	226.74
2+50.00	0.60	47.35	0.46	43.56	49.48	270.30
2+75.00	0.36	50.99	0.45	45.53	49.93	315.83
3+00.00	0.00	57.57	0.17	50.26	50.10	366.09
3+25.00	0.02	55.32	0.01	52.26	50.11	418.35
3+50.00	1.16	41.75	0.55	44.94	50.65	463.29
3+75.00	3.25	35.09	2.04	35.57	52.70	498.86
4+00.00	7.93	14.25	5.17	22.84	57.87	521.70
4+25.00	0.00	0.00	3.67	6.60	61.54	528.30
4+50.00	0.00	0.00	0.00	0.00	61.54	528.30
4+75.00	0.00	0.00	0.00	0.00	61.54	528.30
5+00.00	0.00	0.00	0.00	0.00	61.54	528.30
5+25.00	0.00	0.00	0.00	0.00	61.54	528.30
5+50.00	0.00	0.00	0.00	0.00	61.54	528.30
5+75.00	0.00	0.00	0.00	0.00	61.54	528.30

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SUBDIVISION
CROSS SECTIONS - LAURA ST

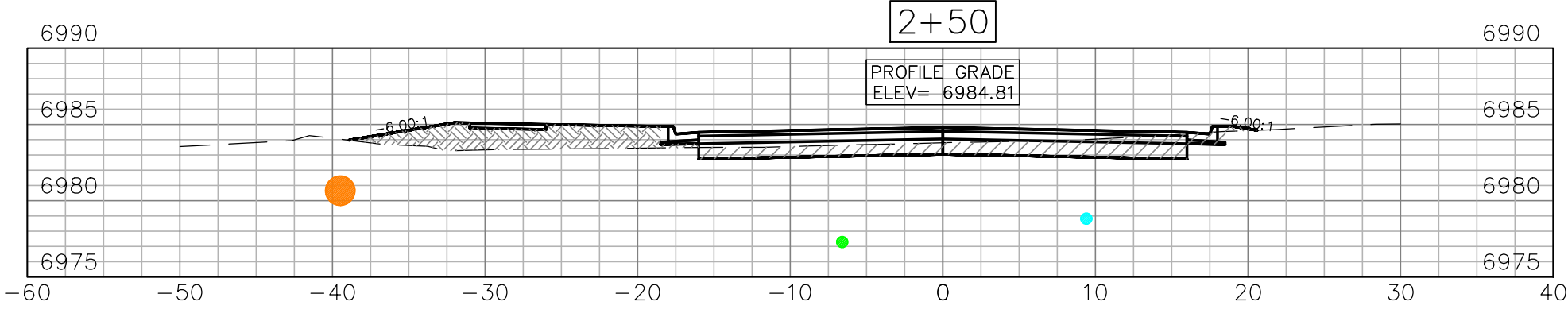
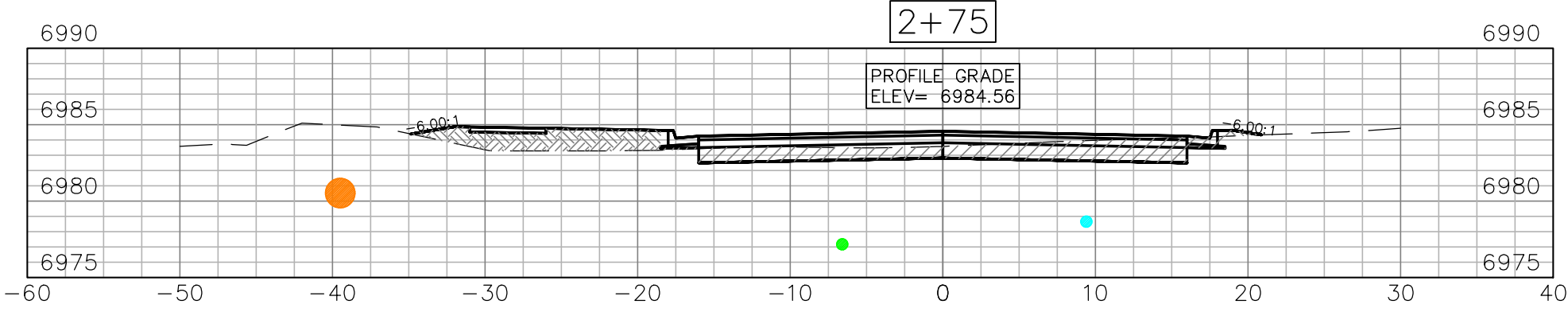
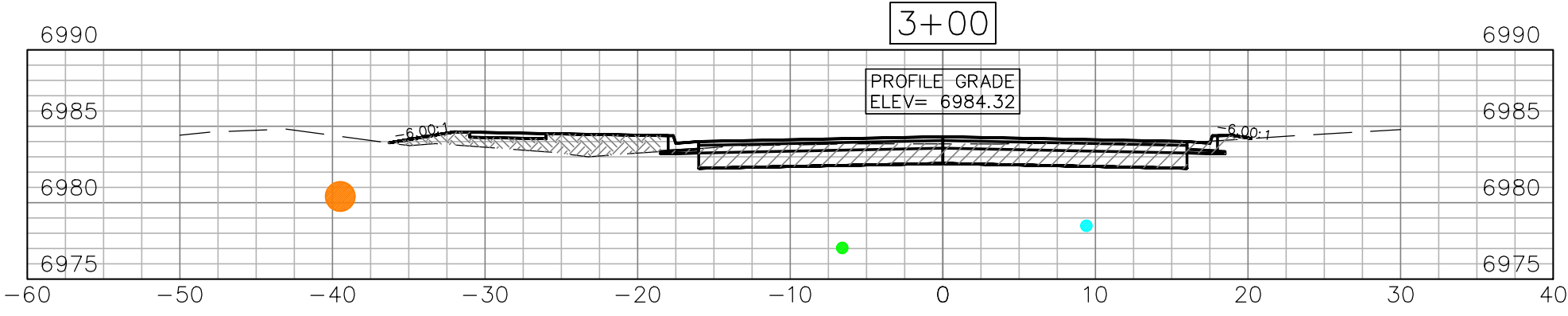
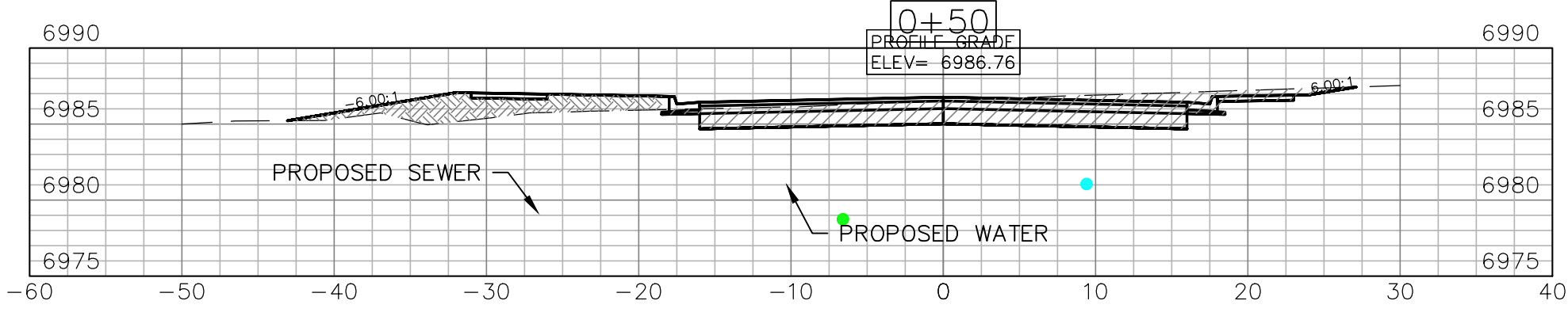
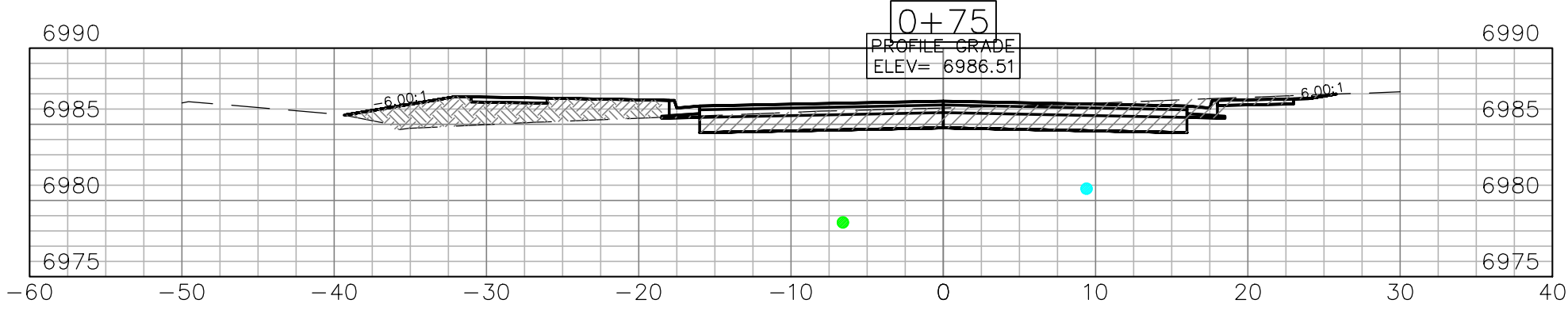
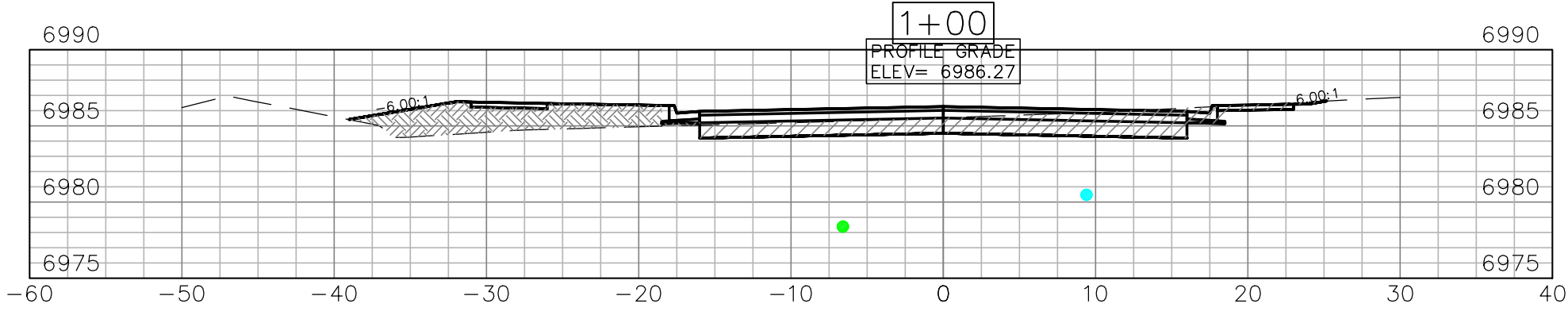
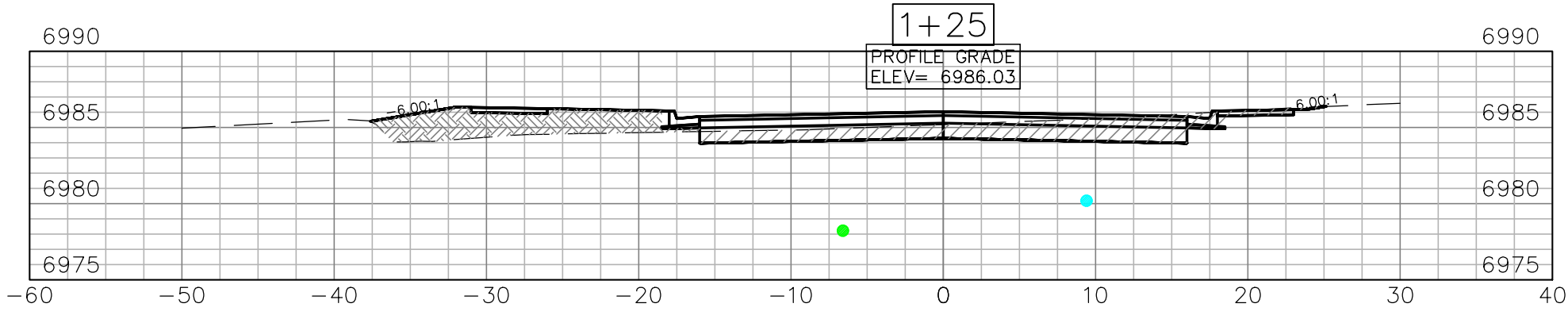
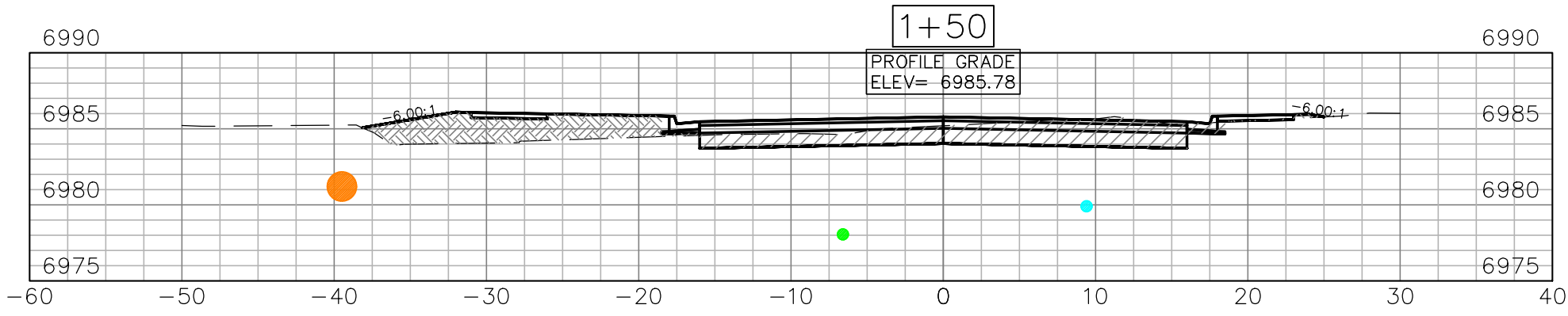
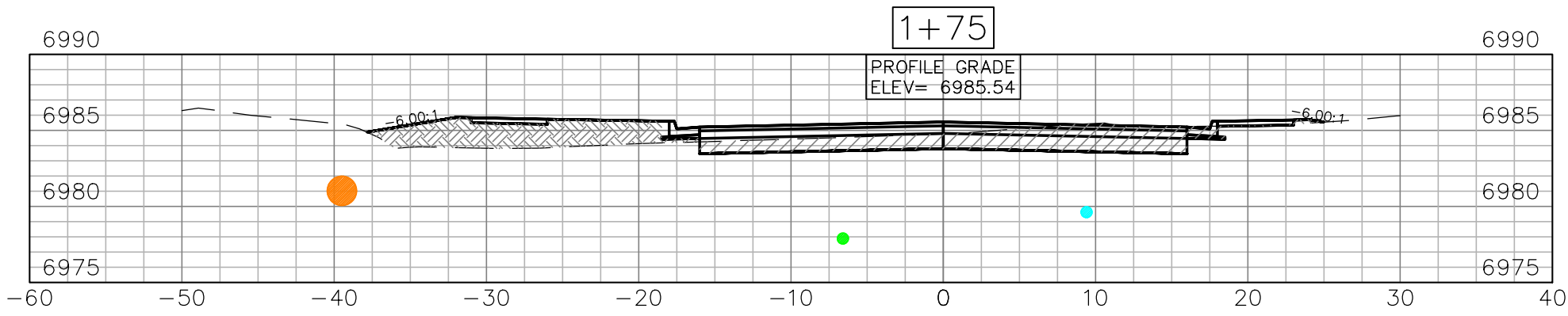
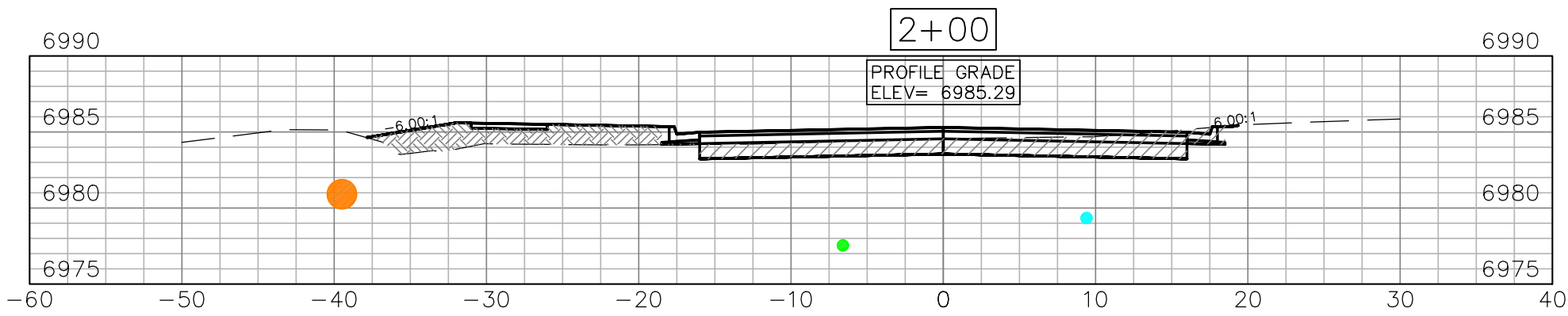
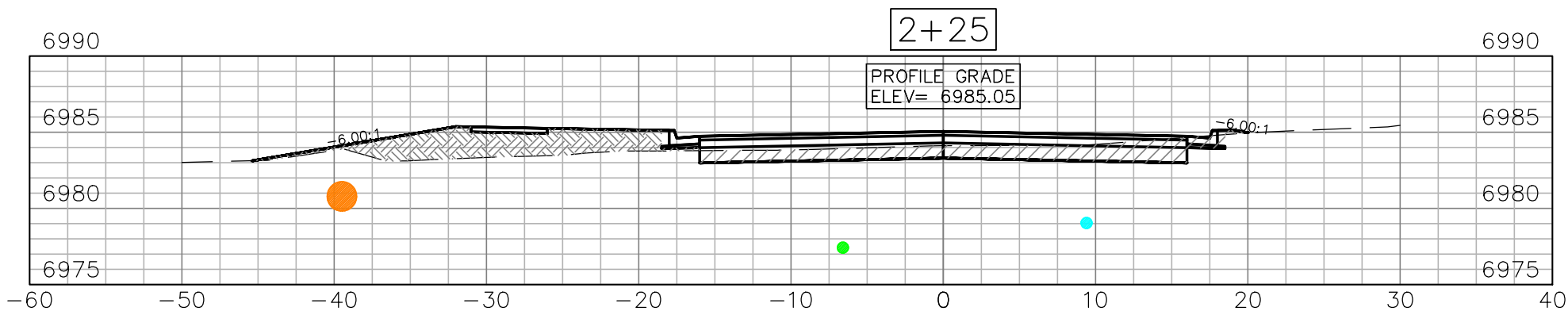
Issue Record:
PRELIMINARY REVIEW 07-18-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

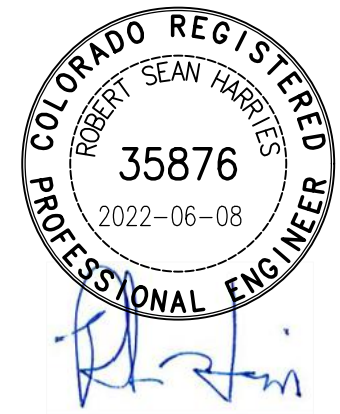
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OTTO STREET – EARTHWORK TABULATION						
Station	Fill Area	Cut Area	Fill Volume	Cut Volume	Cumulative Fill Vol	Cumulative Cut Vol
0+25.00	0.00	0.00	0.00	0.00	0.00	0.00
0+50.00	24.40	62.39	11.30	28.88	11.30	28.88
0+75.00	27.83	53.12	24.18	53.47	35.48	82.36
1+00.00	31.23	42.43	27.34	44.24	62.82	126.59
1+25.00	30.55	39.47	28.60	37.92	91.42	164.51
1+50.00	31.05	42.09	28.52	37.76	119.94	202.27
1+75.00	31.10	40.64	28.77	38.30	148.71	240.57
2+00.00	23.63	39.39	25.34	37.05	174.04	277.62
2+25.00	33.82	31.84	26.60	32.97	200.64	310.59
2+50.00	27.31	31.08	28.30	29.13	228.94	339.72
2+75.00	19.83	35.34	21.82	30.75	250.77	370.47
3+00.00	16.28	48.22	16.71	38.68	267.48	409.16
3+25.00	0.00	0.00	7.54	22.32	275.02	431.48
3+50.00	0.00	0.00	0.00	0.00	275.02	431.48
3+75.00	0.00	0.00	0.00	0.00	275.02	431.48
4+00.00	0.00	0.00	0.00	0.00	275.02	431.48
4+25.00	0.00	0.00	0.00	0.00	275.02	431.48
4+50.00	0.00	0.00	0.00	0.00	275.02	431.48
4+75.00	0.00	0.00	0.00	0.00	275.02	431.48
5+00.00	0.00	0.00	0.00	0.00	275.02	431.48
5+25.00	0.00	0.00	0.00	0.00	275.02	431.48

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SUBDIVISION
CROSS SECTIONS - OTTO ST**

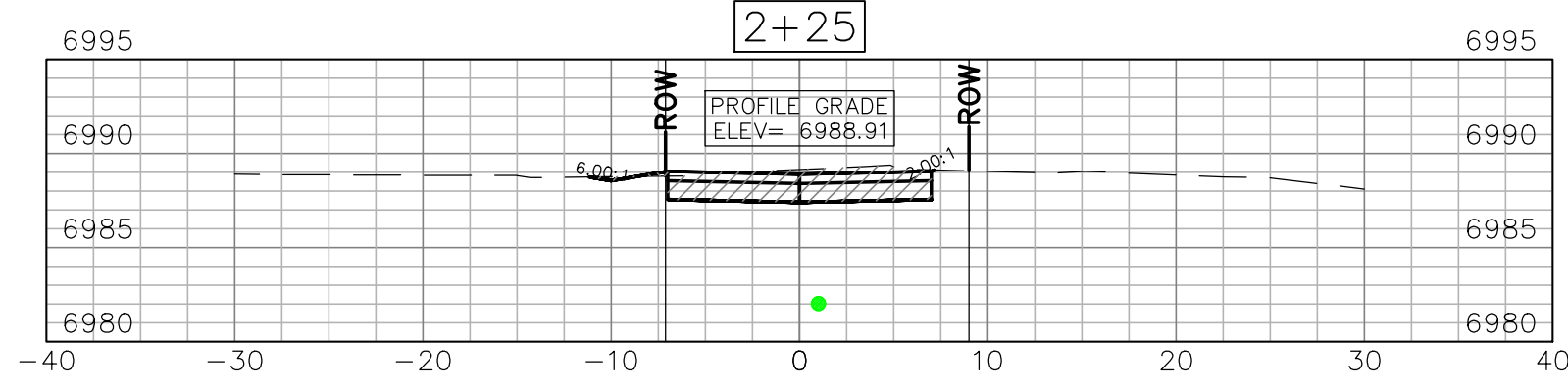
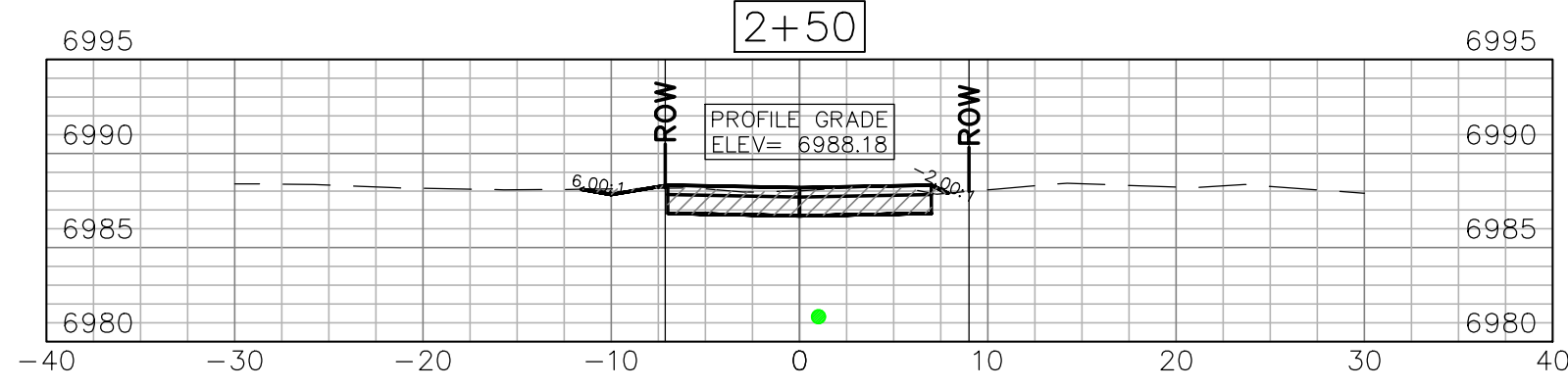
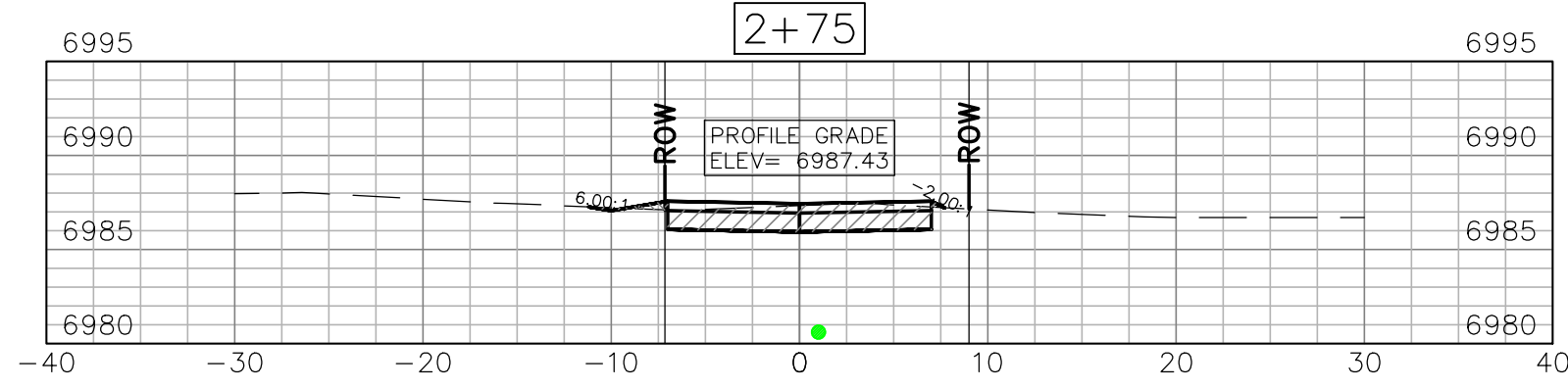
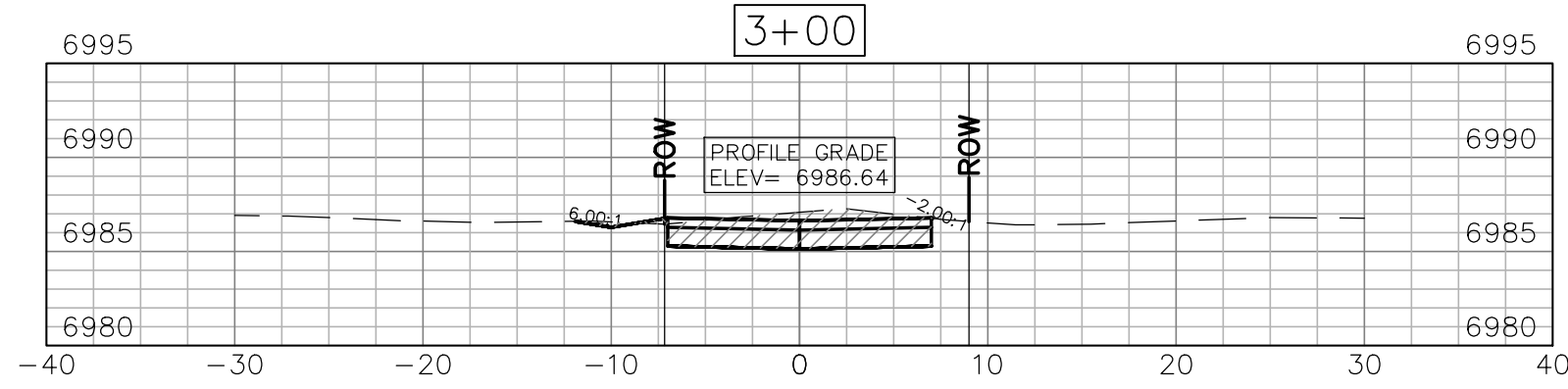
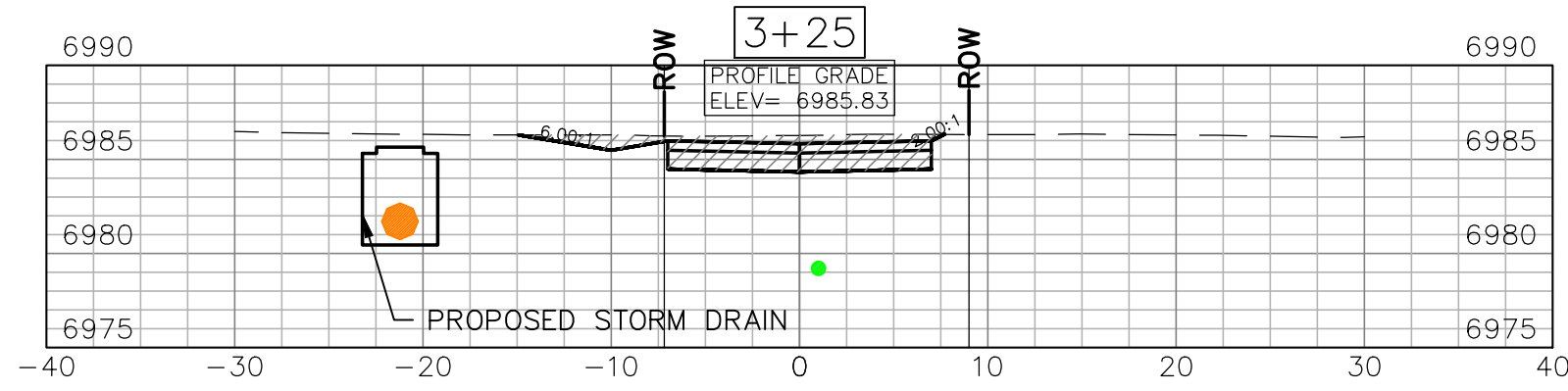
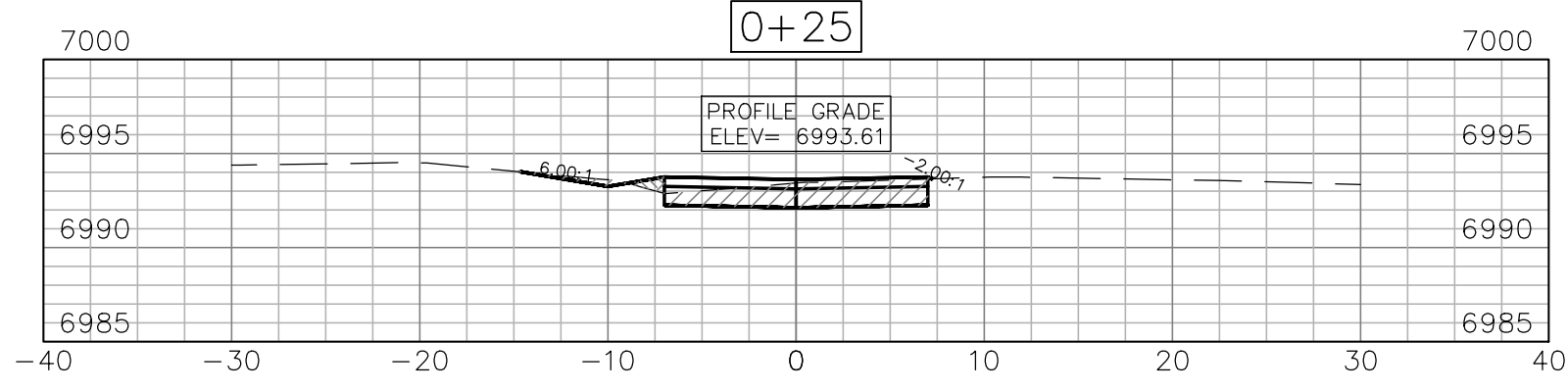
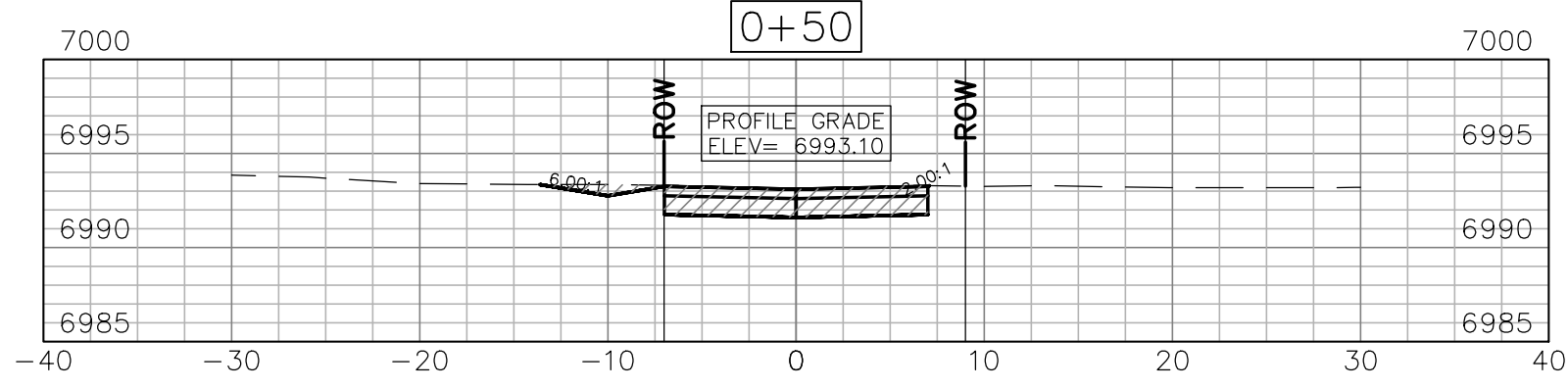
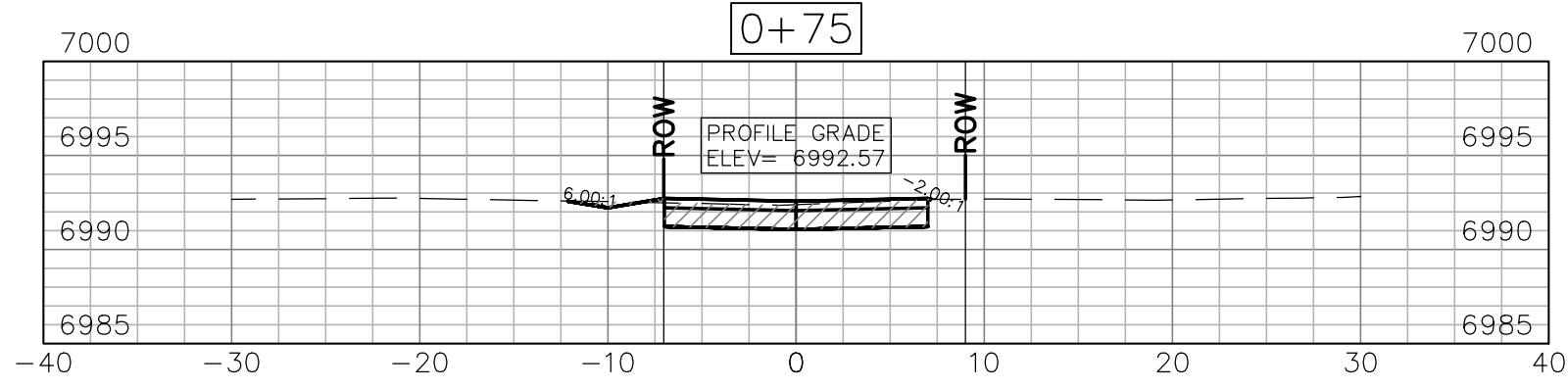
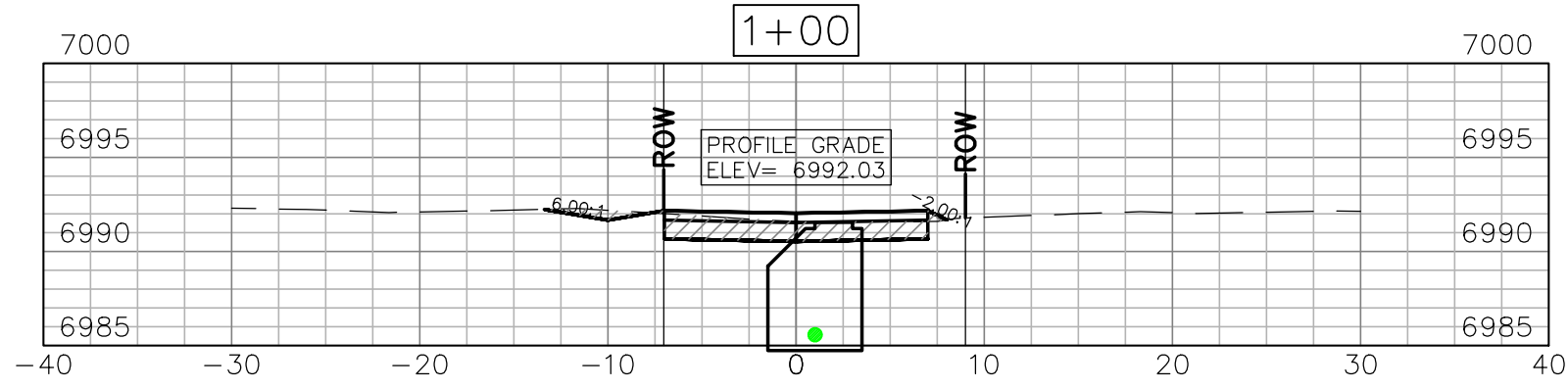
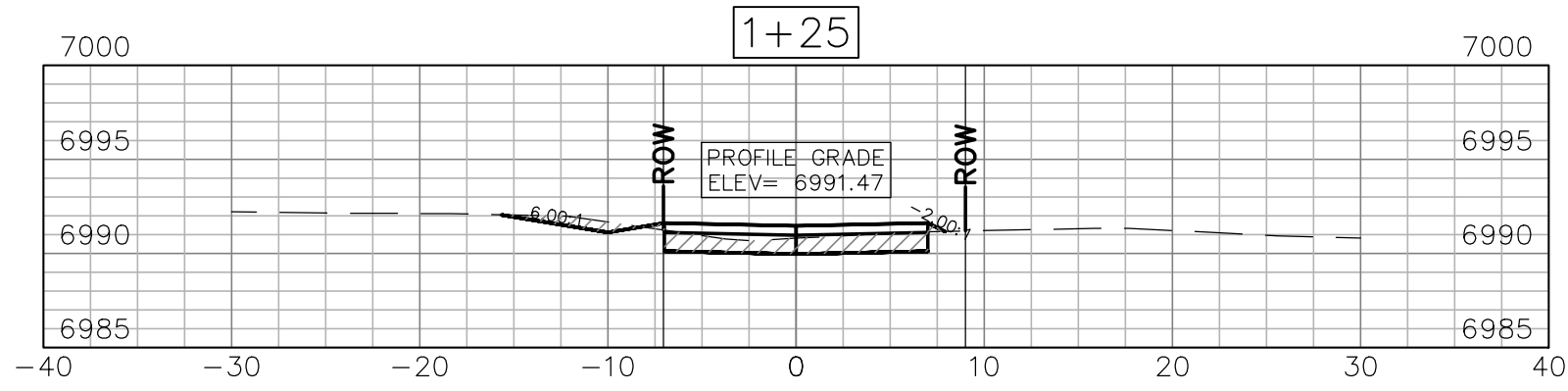
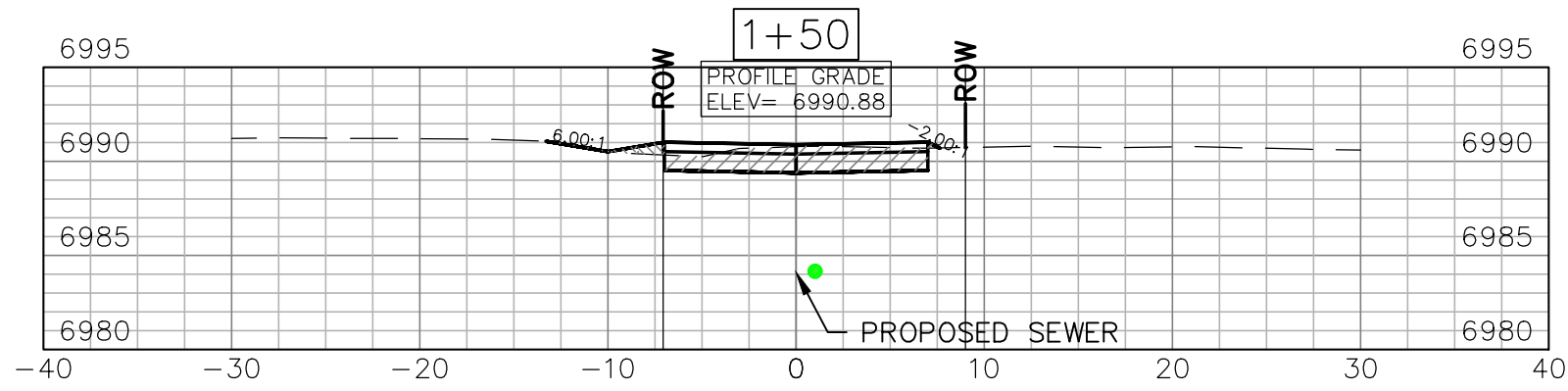
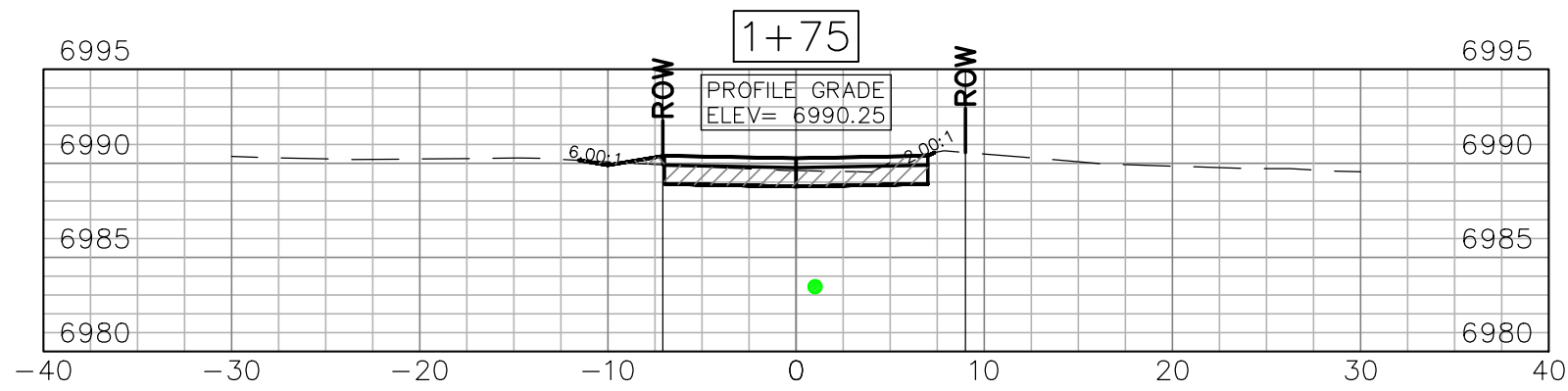
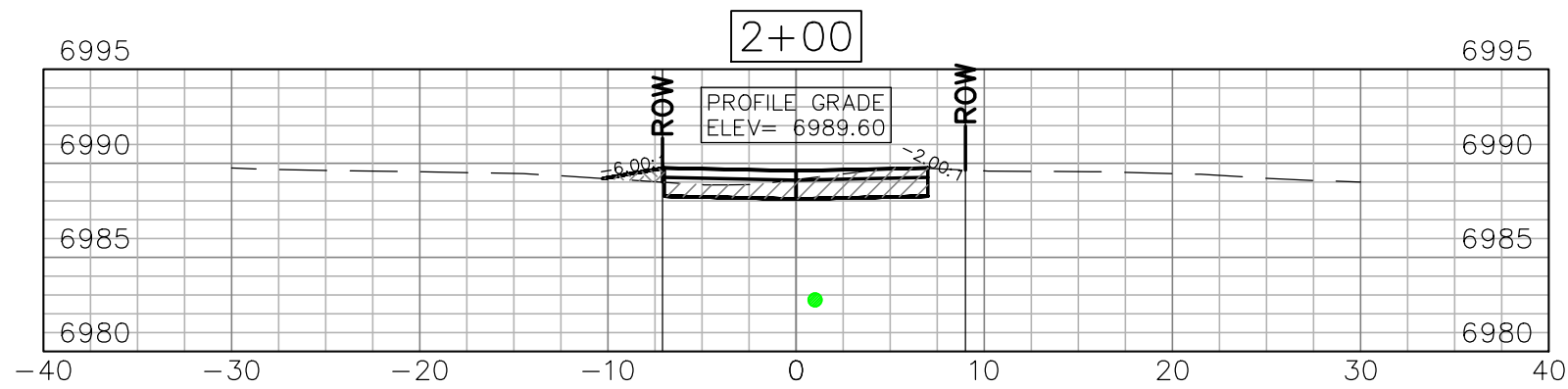
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Alley – EARTHWORK TABULATION

Station	Fill Area	Cut Area	Fill Volume	Cut Volume	Cumulative Fill Vol	Cumulative Cut Vol
0+25.00	0.88	17.18	0.00	0.00	0.00	0.00
0+50.00	0.00	23.43	0.41	18.80	0.41	18.80
0+75.00	0.14	19.14	0.07	19.71	0.47	38.51
1+00.00	0.37	16.74	0.24	16.61	0.71	55.12
1+25.00	0.44	14.88	0.37	14.64	1.09	69.76
1+50.00	1.18	16.69	0.75	14.62	1.84	84.38
1+75.00	0.52	13.60	0.79	14.03	2.63	98.40
2+00.00	1.25	14.75	0.82	13.12	3.45	111.53
2+25.00	0.20	23.16	0.67	17.55	4.12	129.08
2+50.00	0.30	19.35	0.23	19.68	4.35	148.76
2+75.00	0.64	18.19	0.43	17.38	4.79	166.14
3+00.00	0.27	24.62	0.42	19.82	5.21	185.96
3+25.00	0.00	30.07	0.13	25.32	5.33	211.28

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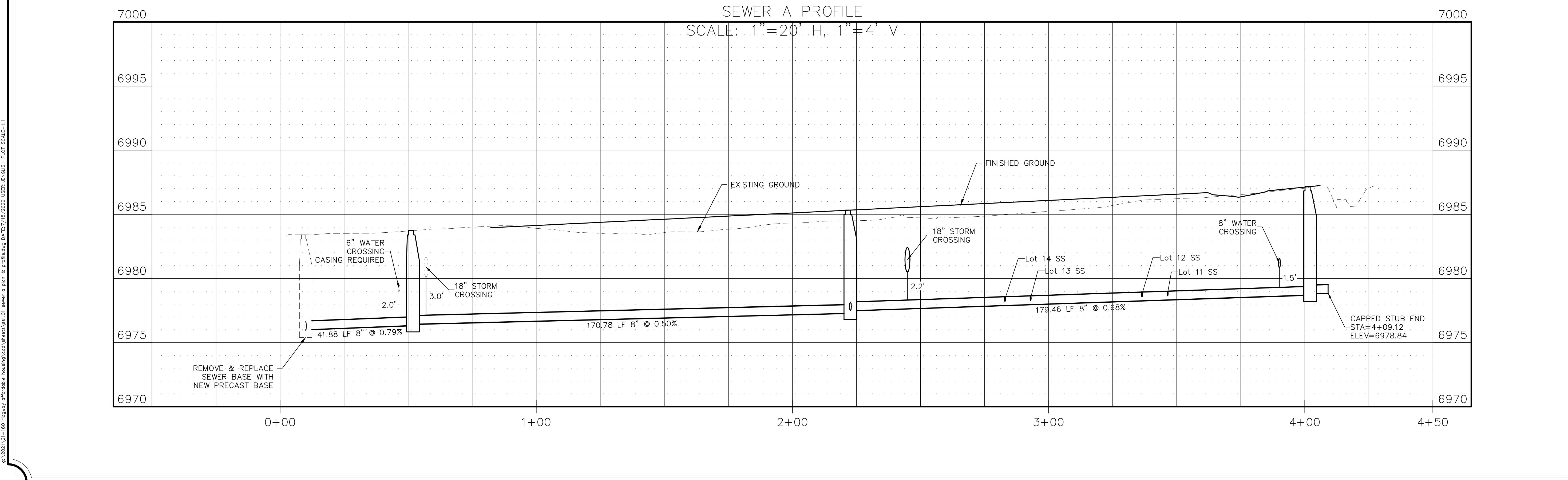
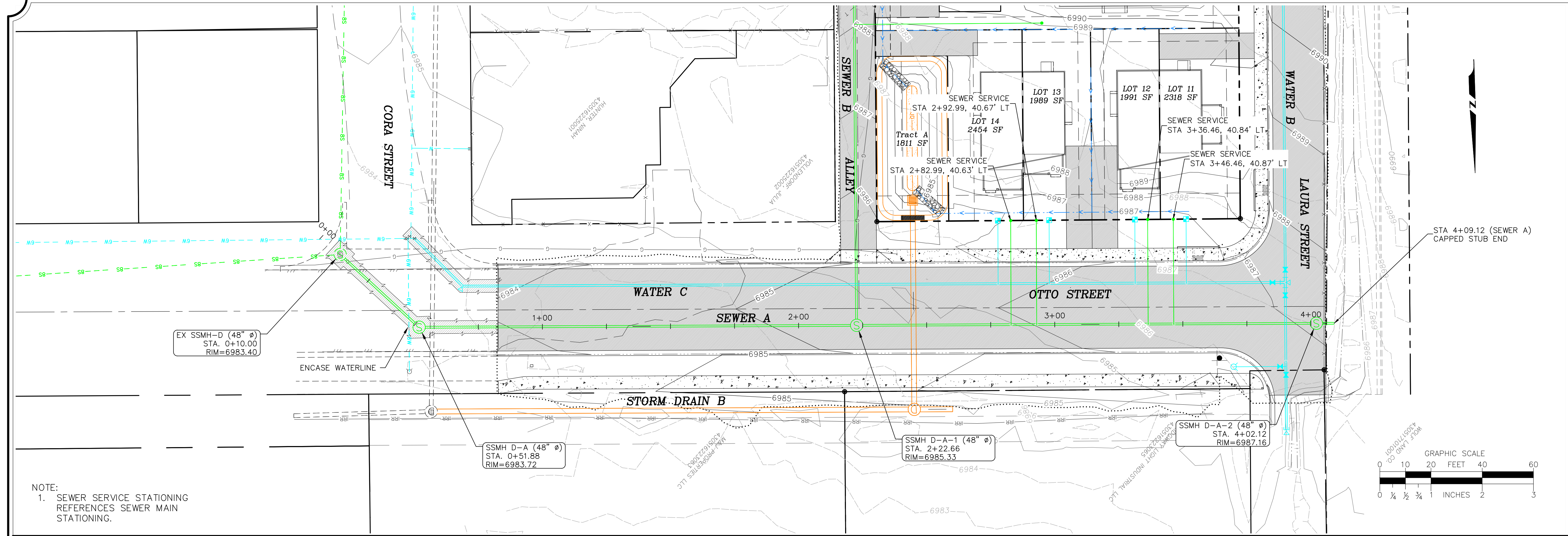
YELLOW BRICK TOWNHOMES
SUBDIVISION
CROSS SECTIONS - ALLEY

Issue Record:
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PROFESSIONAL ENGINEER
ROBERT SEAN HARRIS
35876
2022-06-08

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SEWER A PLAN & PROFILE

Issue Record:
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SS1.01



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SEWER B PLAN & PROFILE**

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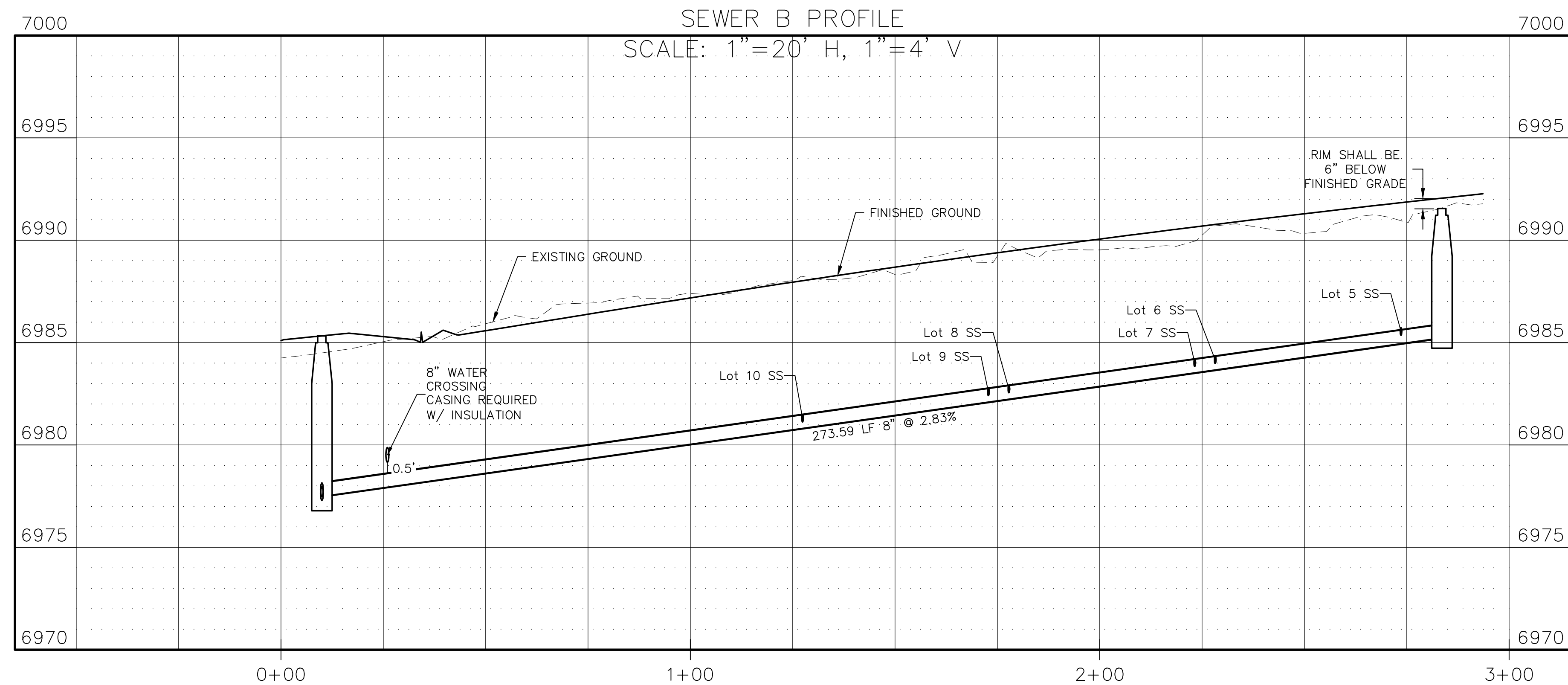
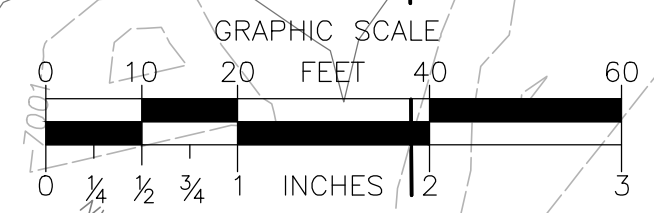
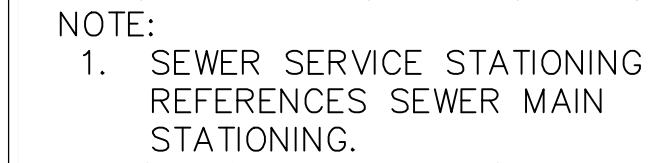
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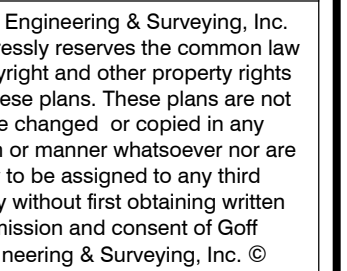
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YELLOW BRICK TOWNHOMES
SUBDIVISION
EX. SEWER PLAN & PROFILE

Issue Record:

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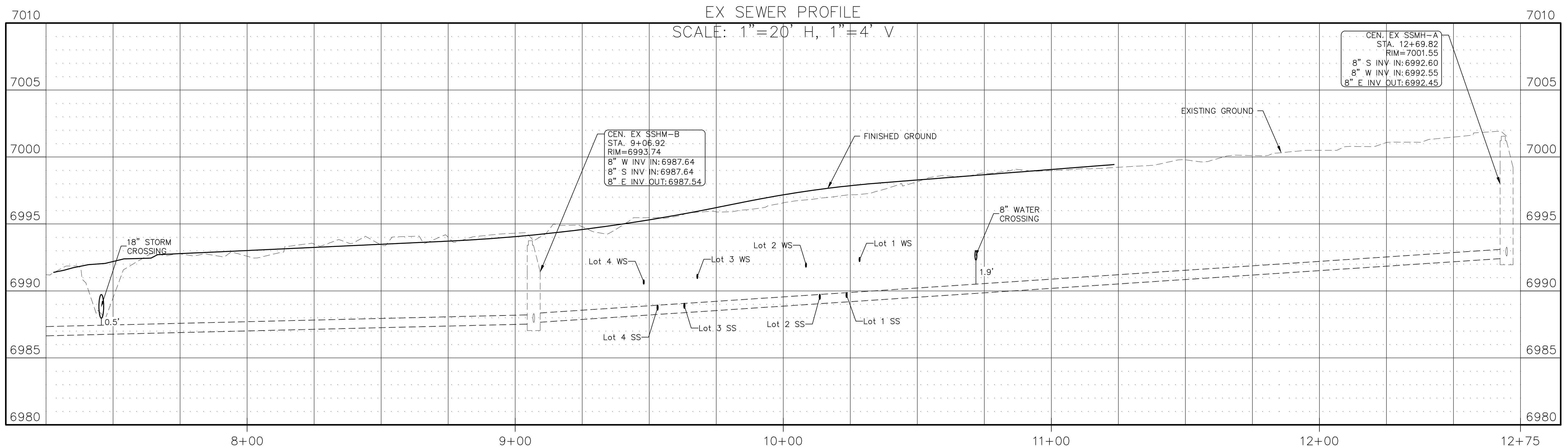
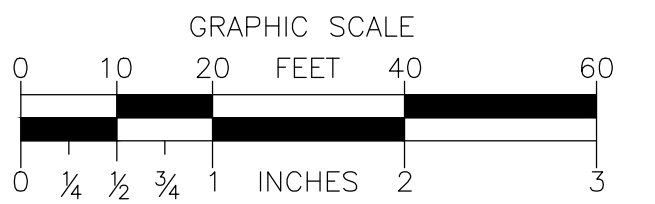
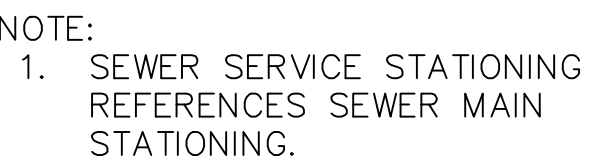
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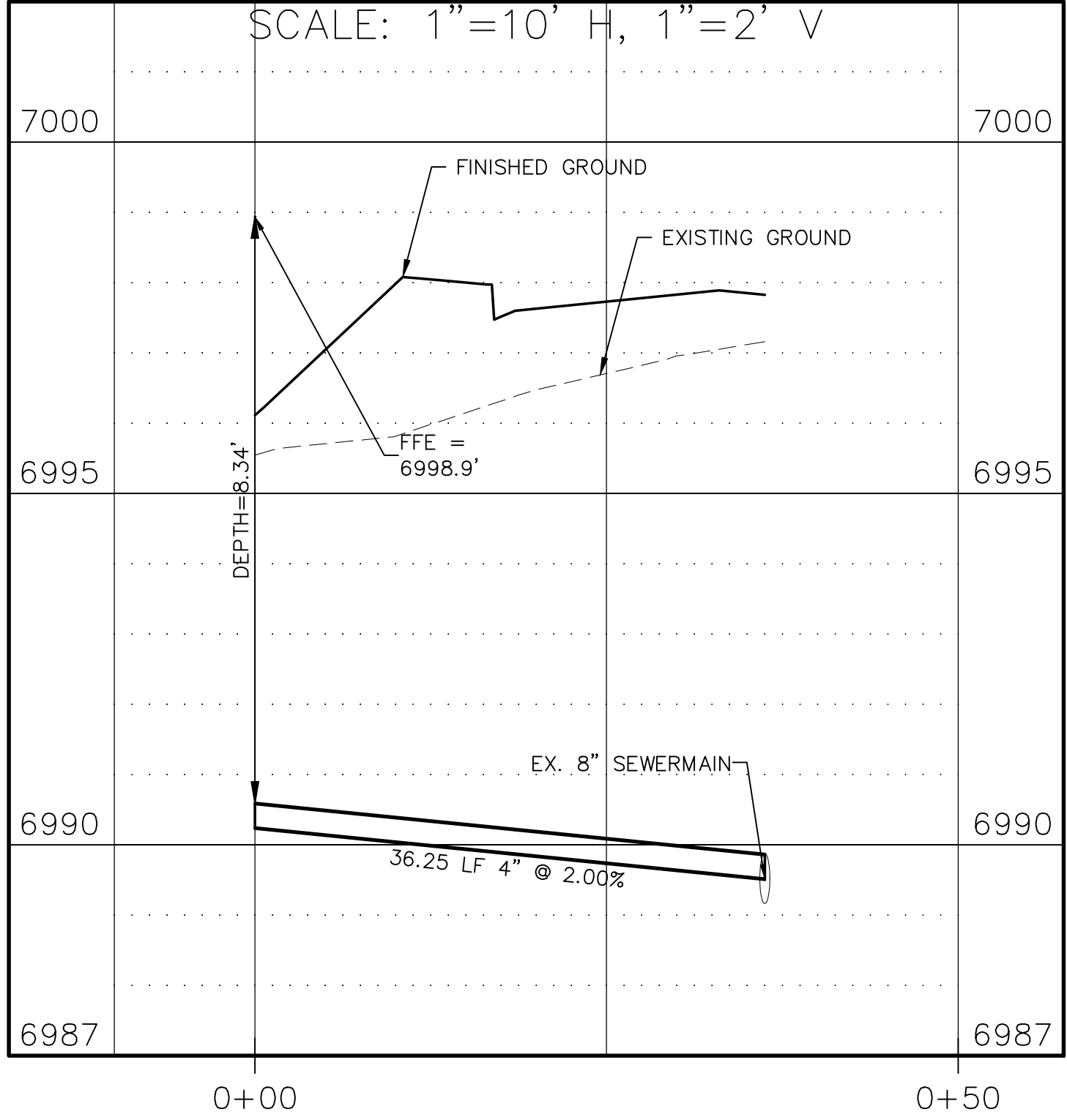
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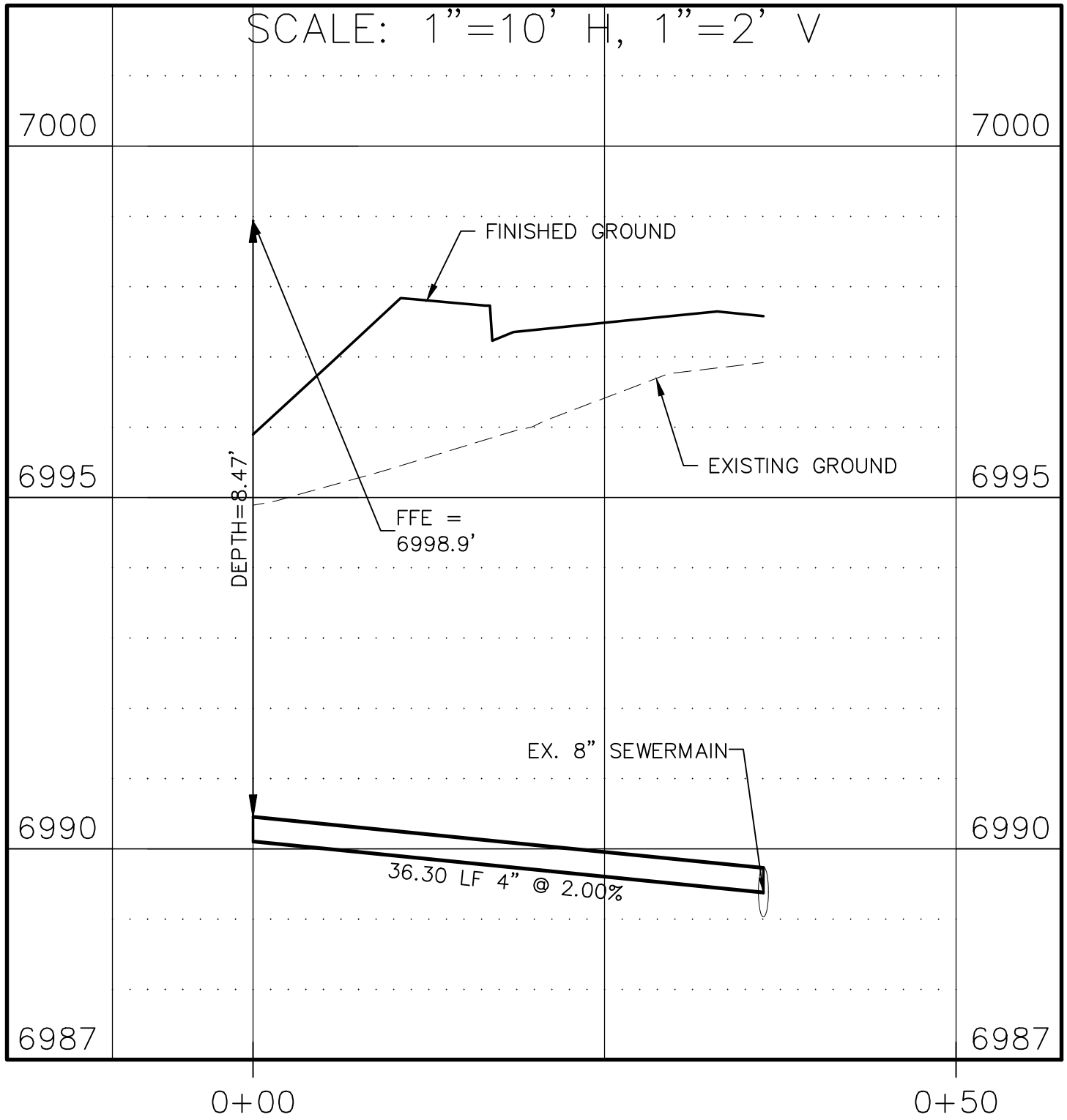


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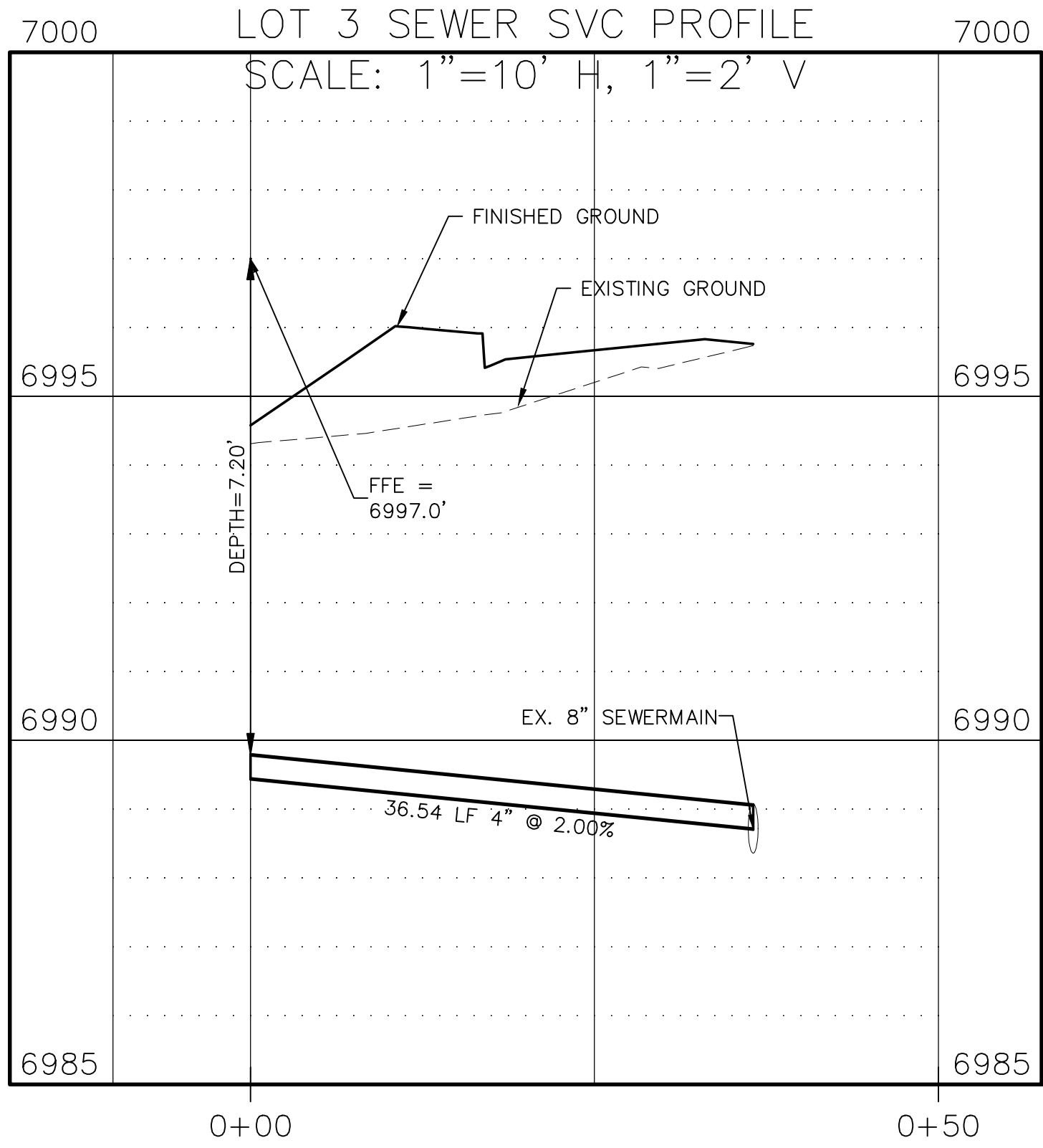
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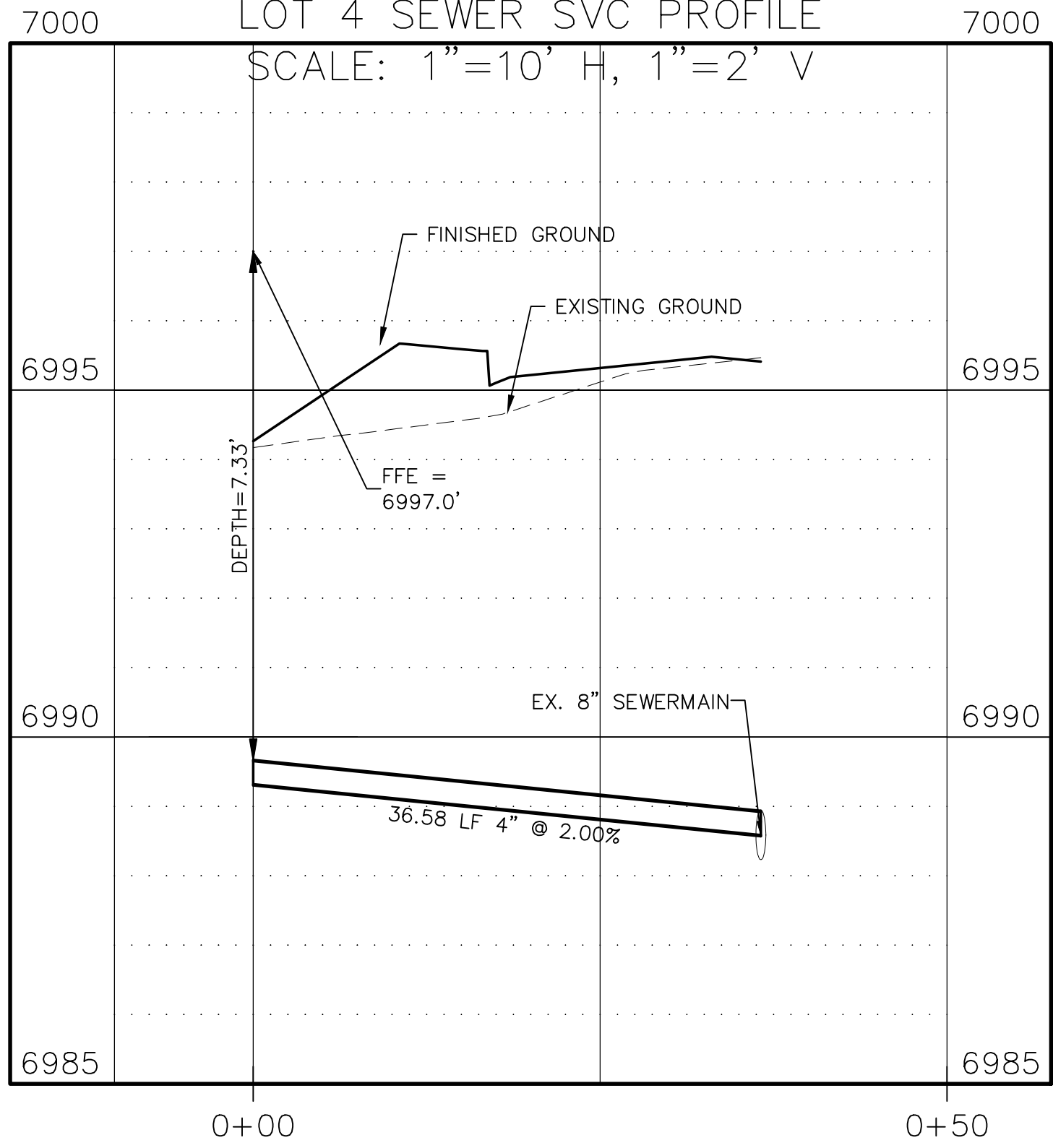
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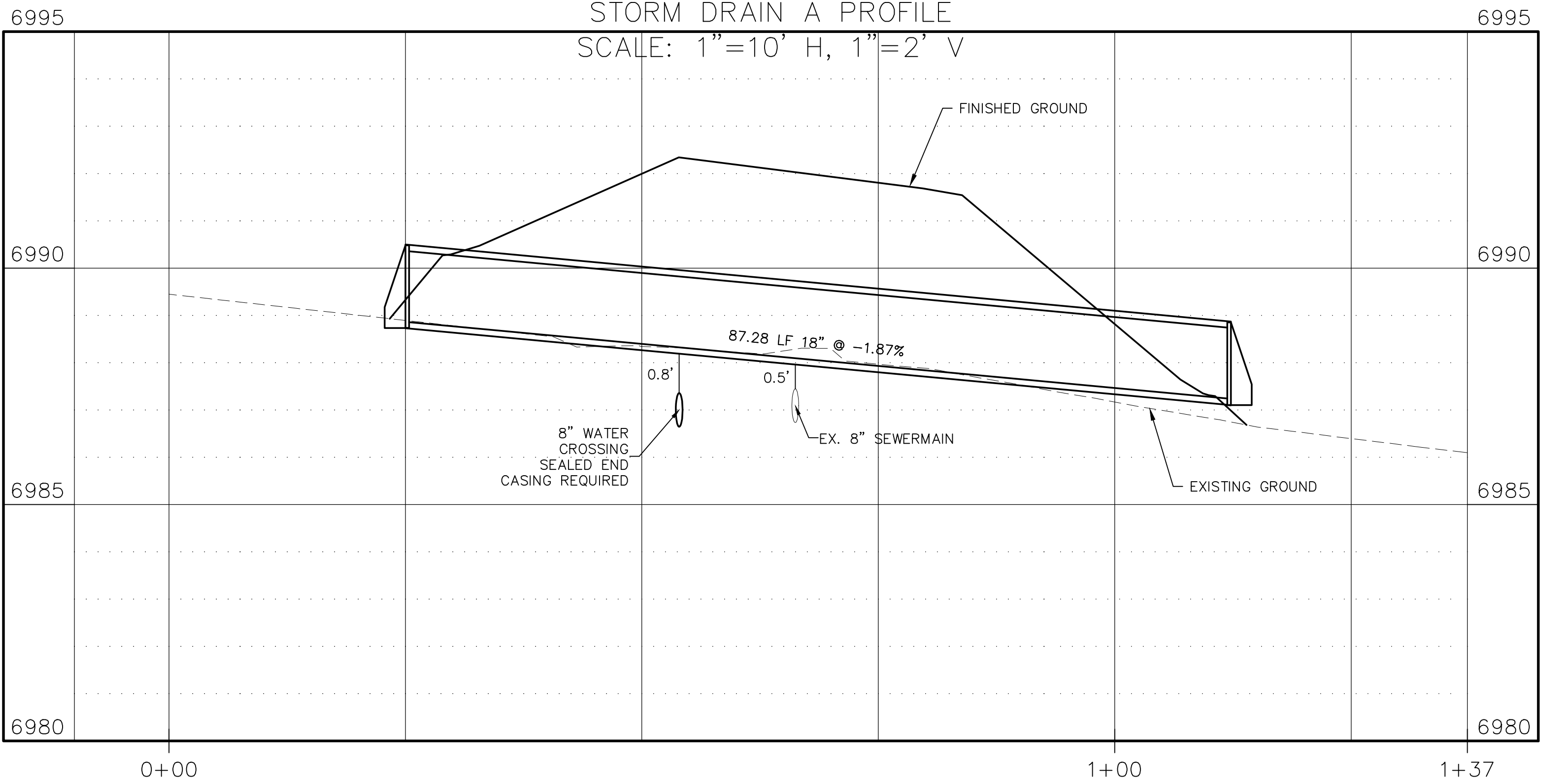
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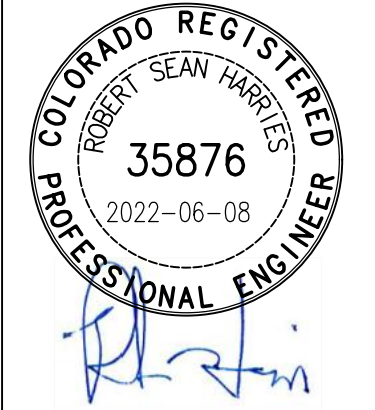


STORM DRAIN A PROFILE
SCALE: 1"=10' H, 1"=2' V



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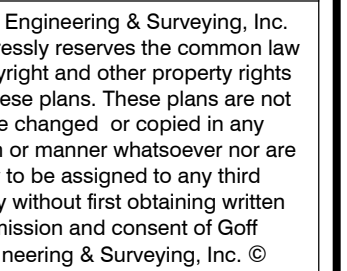
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**YELLOW BRICK TOWNHOMES
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WATER B PLAN & PROFILE**

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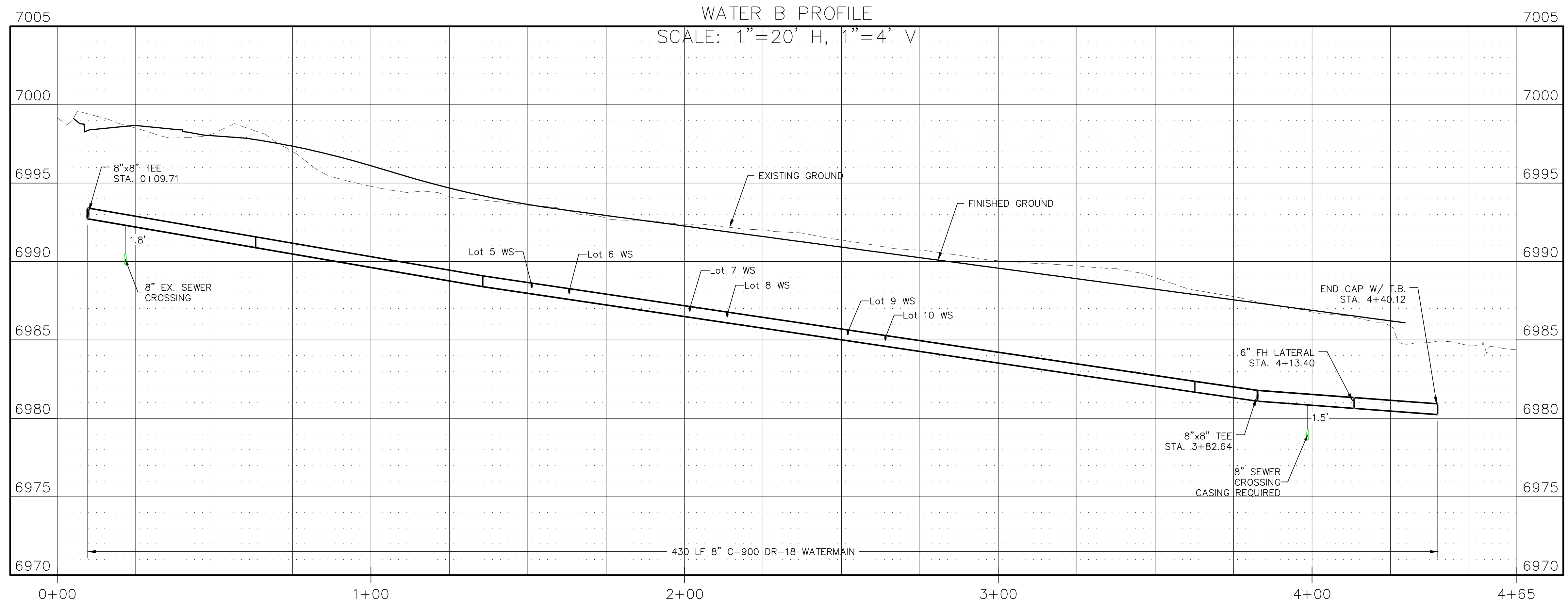
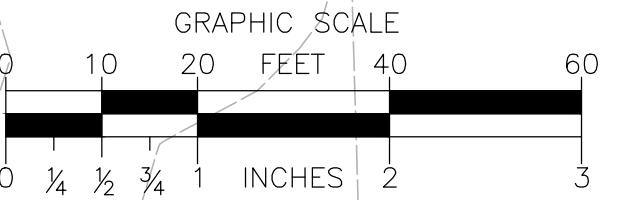
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WATER C PLAN & PROFILE**

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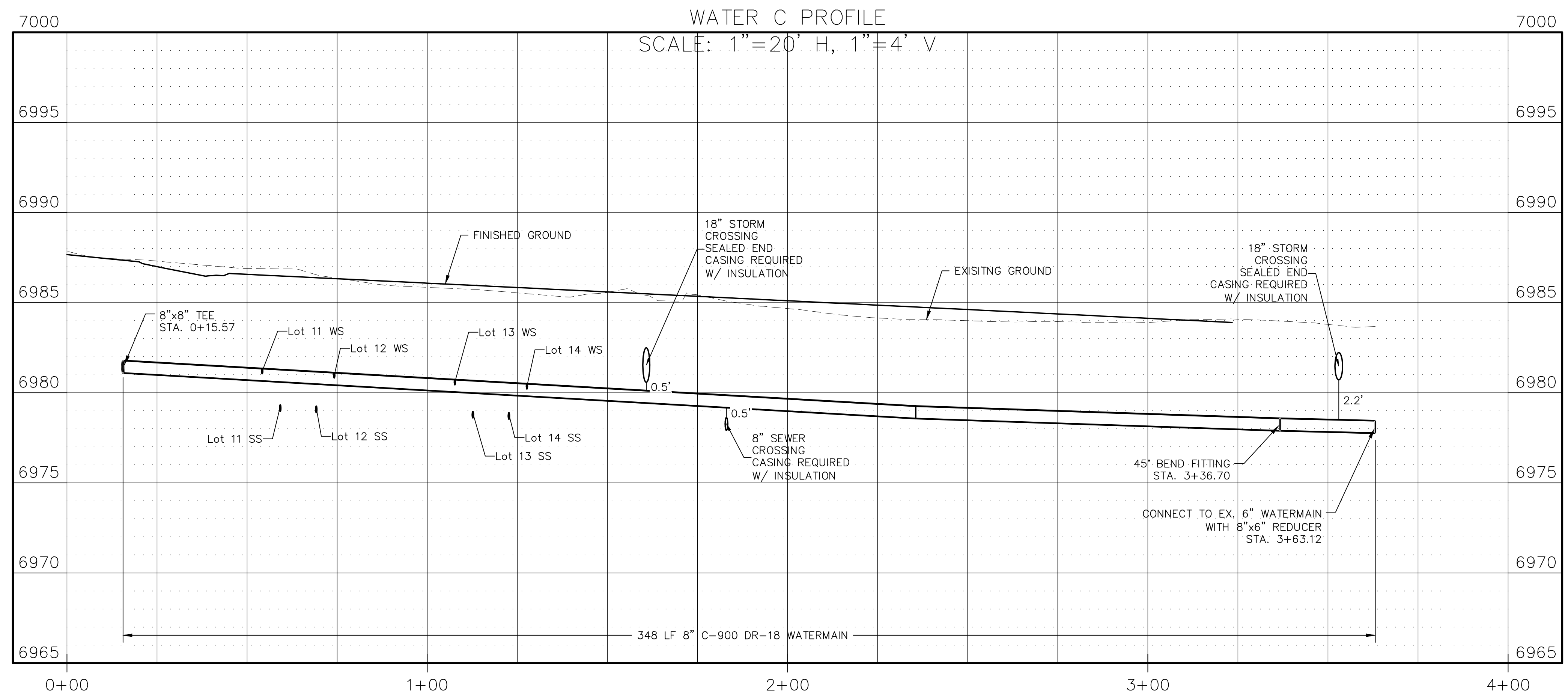
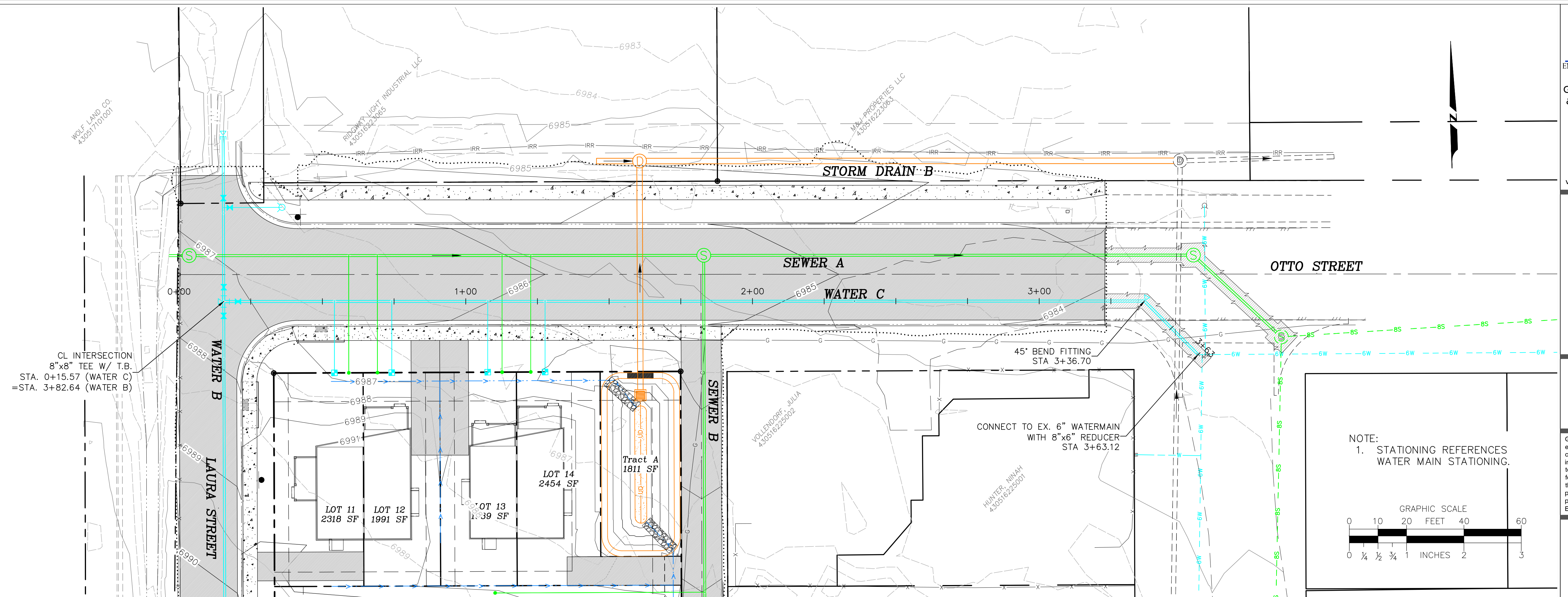
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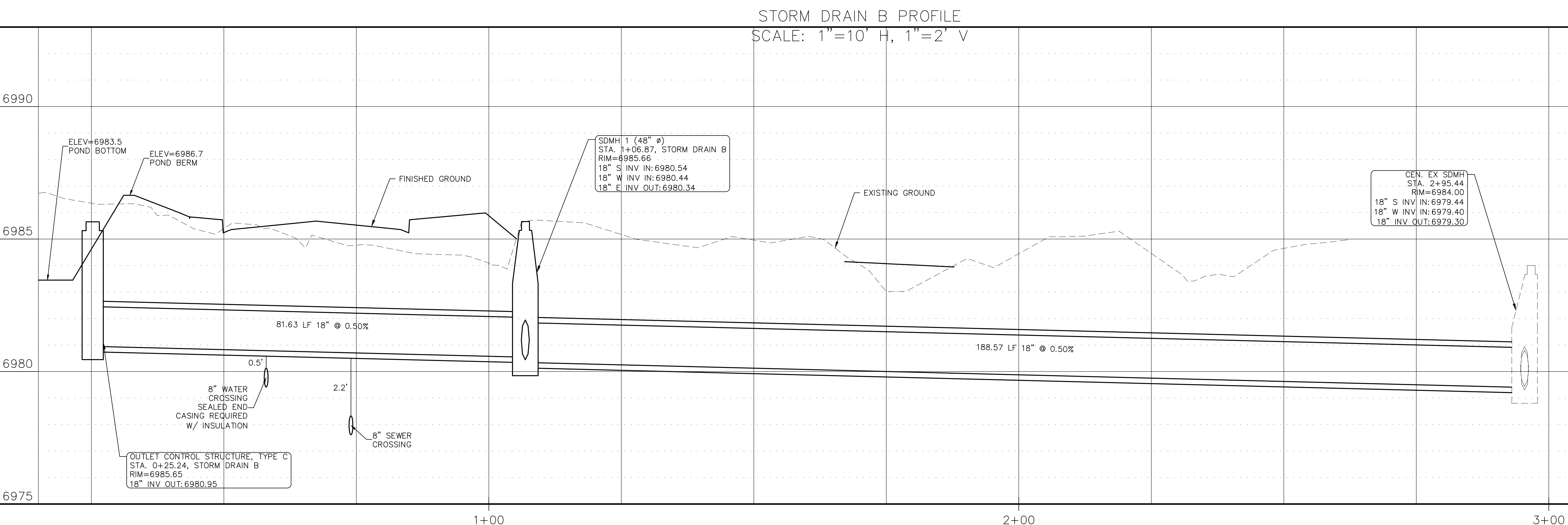
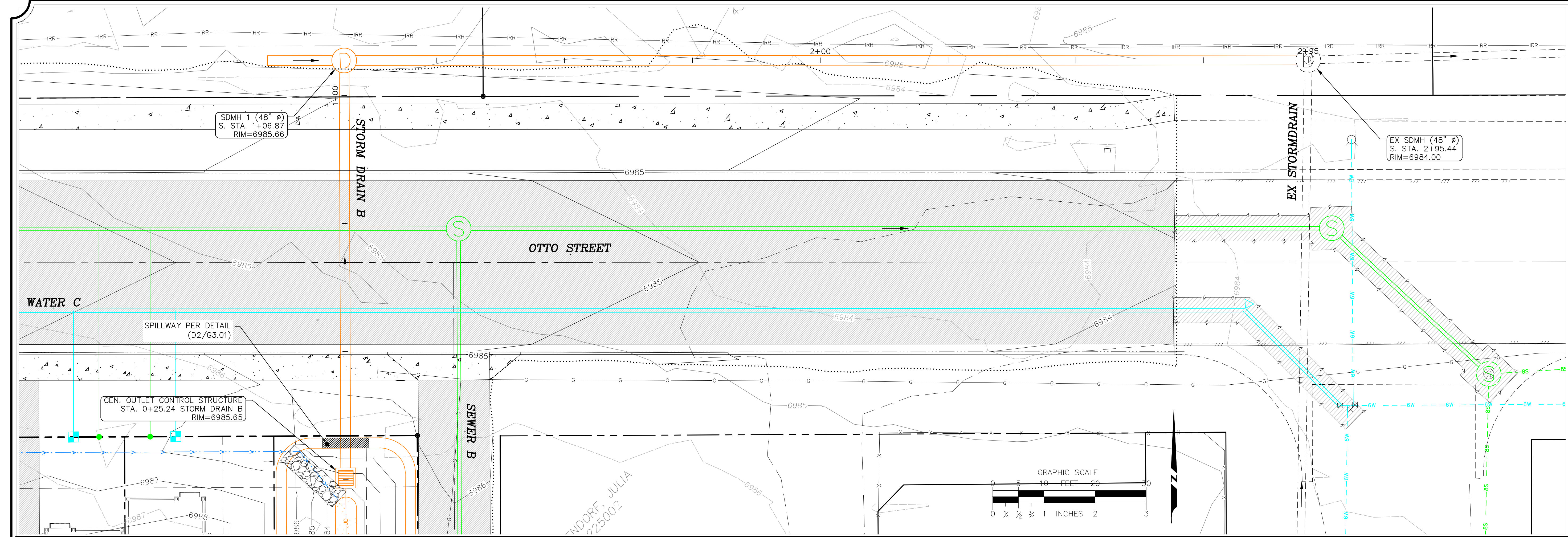
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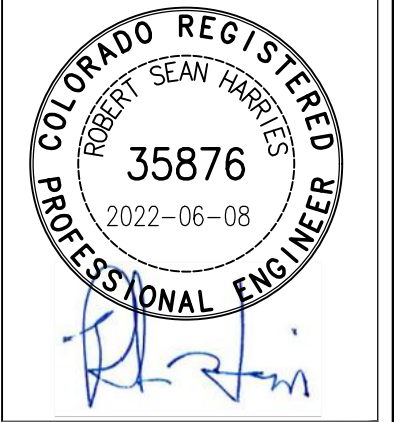
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SUBDIVISION
STORM DRAIN B PLAN & PROFILE**

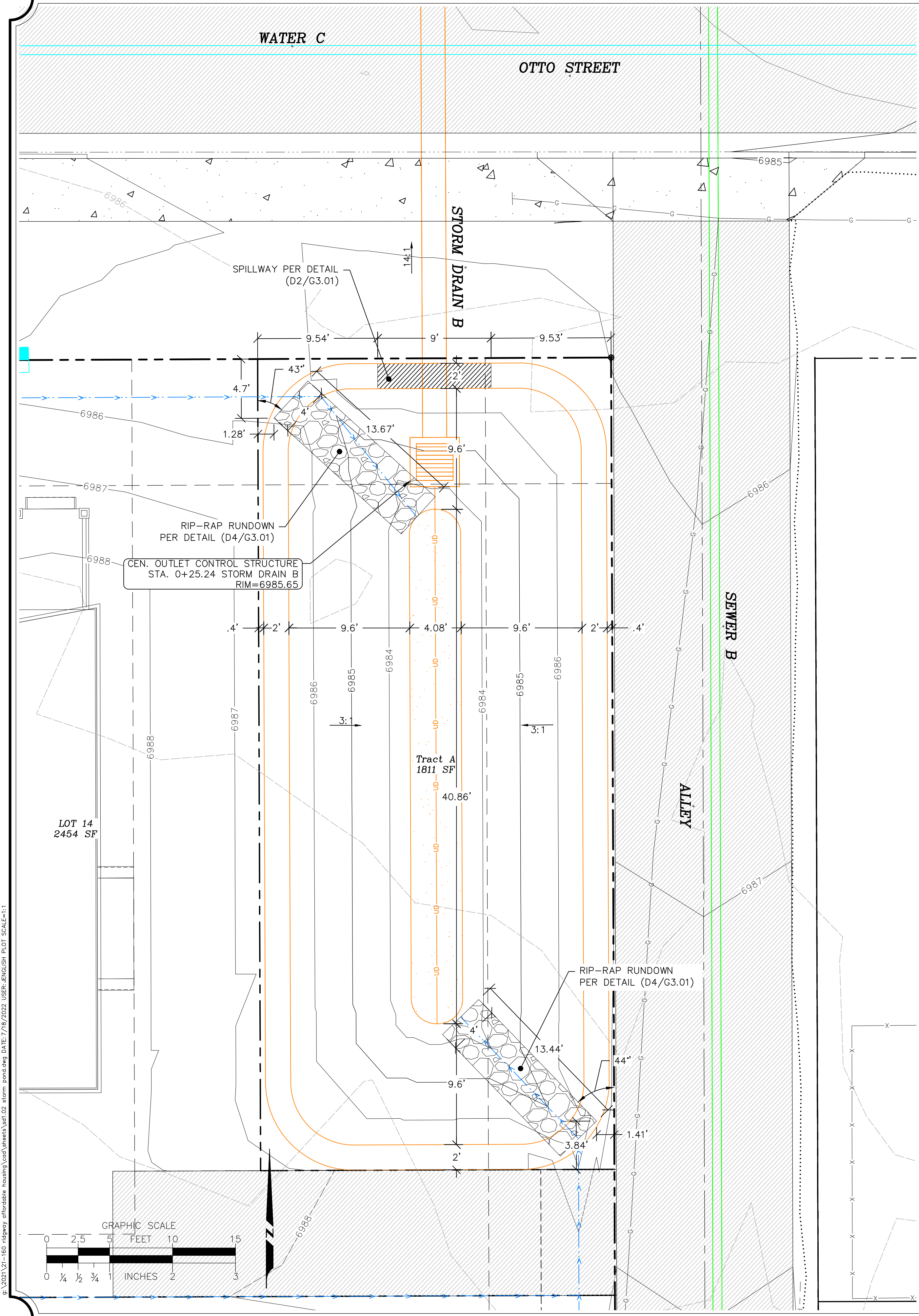
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6:\2021\21-160 Yellow Brick Townhomes\cadd\storm drain\sd1.01 storm drain plan & profile.dwg DATE: 7/18/2022 USER: RSH PLOT SCALE: 1"=10'



NOTES:

1. FILTRATION MEDIA SHALL BE REPLACED IF STANDING WATER IS PRESENT AFTER 72HRS.

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STORM POND PLAN**

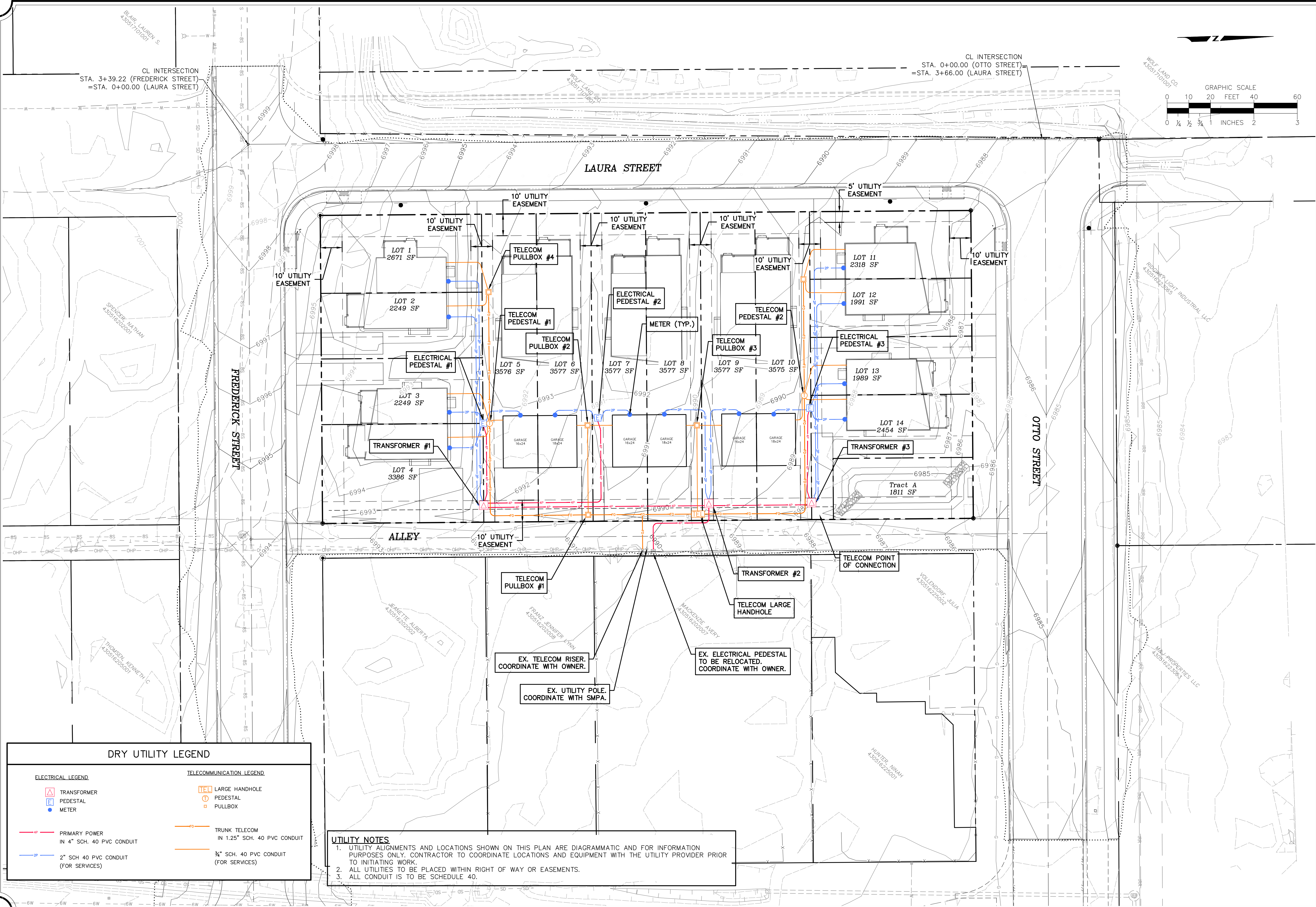
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SD1.02

9/1/2023 2:16:00 PM roadway affordable housing\cad\sheet\ut1.01 Utility plan.dwg DATE: 7/18/2022 4:22 PM USER: JENGLISH PLOT SCALE=1=1



DRY UTILITY LEGEND

ELECTRICAL LEGEND

- TRANSFORMER
- PEDESTAL
- METER
- PRIMARY POWER
IN 4" SCH. 40 PVC CONDUIT
- 2" SCH 40 PVC CONDUIT
(FOR SERVICES)

TELECOMMUNICATION LEGEND

- LARGE HANDHOLE
- PEDESTAL
- PULLBOX
- TRUNK TELECOM
IN 1.25" SCH. 40 PVC CONDUIT
- 3/4" SCH. 40 PVC CONDUIT
(FOR SERVICES)

UTILITY NOTES

- UTILITY ALIGNMENTS AND LOCATIONS SHOWN ON THIS PLAN ARE DIAGRAMMATIC AND FOR INFORMATION PURPOSES ONLY. CONTRACTOR TO COORDINATE LOCATIONS AND EQUIPMENT WITH THE UTILITY PROVIDER PRIOR TO INITIATING WORK.
- ALL UTILITIES TO BE PLACED WITHIN RIGHT OF WAY OR EASEMENTS.
- ALL CONDUIT IS TO BE SCHEDULE 40.

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YELLOW BRICK TOWNHOMES SUBDIVISION UTILITY PLAN

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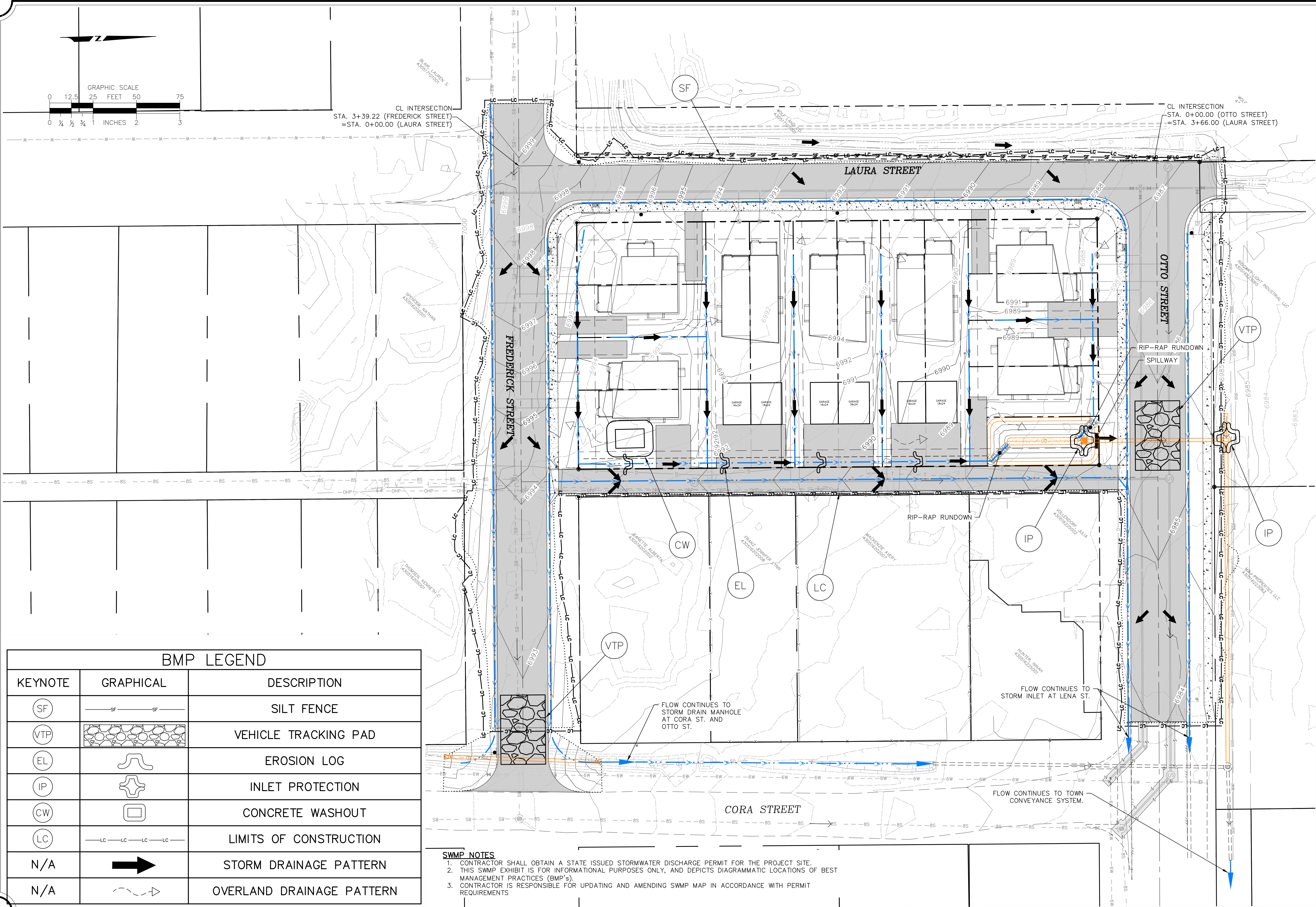
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g:\2023\21-160_ridgeway affordable housing\cad\sheets\sw1.01 stormwater management plan.dwg DATE: 7/18/2022 4:22 PM USER: JENGLISH PLOT SCALE=1:1



BMP LEGEND		
KEYNOTE	GRAPHICAL	DESCRIPTION
(SF)		SILT FENCE
(VTP)		VEHICLE TRACKING PAD
(EL)		EROSION LOG
(IP)		INLET PROTECTION
(CW)		CONCRETE WASHOUT
(LC)		LIMITS OF CONSTRUCTION
N/A		STORM DRAINAGE PATTERN
N/A		OVERLAND DRAINAGE PATTERN

- SWMP NOTES**
- CONTRACTOR SHALL OBTAIN A STATE ISSUED STORMWATER DISCHARGE PERMIT FOR THE PROJECT SITE.
 - THIS SWMP EXHIBIT IS FOR INFORMATIONAL PURPOSES ONLY, AND DEPICTS DIAGRAMMATIC LOCATIONS OF BEST MANAGEMENT PRACTICES (BMP's).
 - CONTRACTOR IS RESPONSIBLE FOR UPDATING AND AMENDING SWMP MAP IN ACCORDANCE WITH PERMIT REQUIREMENTS

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35876
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STORMWATER MANAGEMENT PLAN

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Checked By: RSH	

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SW1.01

Yellow Brick Lane

Town of Ridgway, CO

Preliminary Drainage Report

Project #21-160

May 6, 2022

Prepared for:
Rural Homes LLC

Prepared By:

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ENGINEERING ✦ SURVEYING INC

GOFF ENGINEERING & SURVEYING, INC.

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Durango, CO 81301

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1.1 PURPOSE

The intent of this Drainage report is to present a hydrologic and hydraulic evaluation of the storm drainage parameters associated with the subject parcel. This report will quantify runoff rates and volumes for specific recurring interval events, and provide recommendations for storm water collection, conveyance, and attenuation systems. Implementation of these recommendations will ensure potential flooding is mitigated on downstream properties and sedimentation and pollution from the site discharge is minimized.

1.2 PROJECT SUMMARY

This project intends to add a new 14 lot subdivision on the north side of the Town of Ridgway. The development is proposed to build homes that are affordable to people that make between 60-100% Area Median Income in Colorado's rural communities. The end goal is to provide homes for teachers, healthcare professionals, federal USFS employees, or folks in public administration.

1.3 PROPERTY DESCRIPTION

The subject parcel is 1 acre in size and is presently undeveloped. The property was previously privately owned.

1.4 LOCATION

The subject property is located in Ouray County, Colorado and is bordered by privately owned properties incorporated into the Town of Ridgway. The subject Parcel ID is 430516200001. Refer to Figure 1 Vicinity Map.

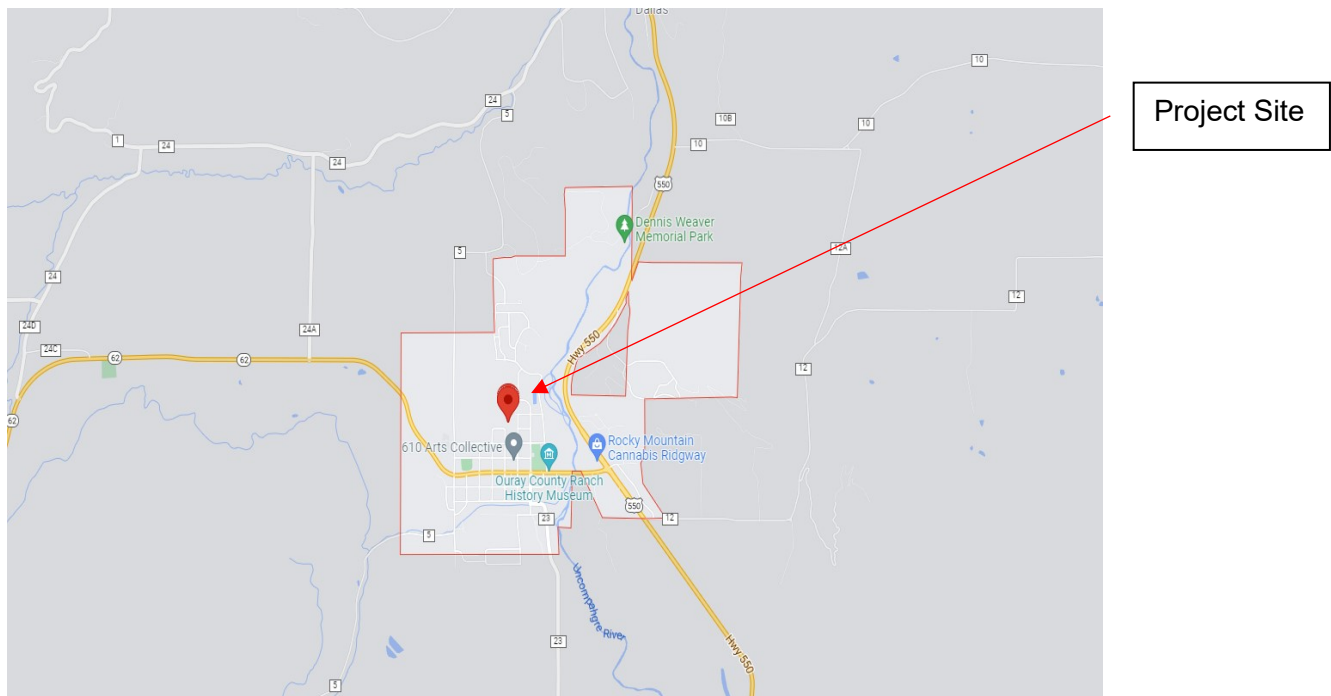


Figure 1 – Vicinity map

1.5 SOIL CLASSIFICATION

Site soils are entirely composed of Mudcap Loam, which is classified as Hydrologic soil group "C/D".

Group C soils have a slow infiltration rate when thoroughly wet. They consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D Soils have a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Refer to Appendix B1 for soil report from the NRCS Web Soil Survey for more information.

1.6 EXISTING DRAINAGE CONDITIONS

Topographically, the parcel slopes downgradient to the northeast. Stormwater travels via surface flow to an existing stormwater surface stormwater collection system at Otto St. located in the northeast corner of the property. Little to no off-site stormwater is expected to enter the property.

1.7 DEVELOPED DRAINAGE CONDITIONS

Drainage patterns for the on-site watershed will remain similar to those that presently exist. Recognizing that additional impervious areas are planned as part of this project; a detention pond will be required to attenuate the additional volumes. An outlet control structure will be provided to release water at controlled rates via culvert to the existing collection system at Otto St.

2.0 ANALYSIS

Hydrologic analysis of the pre-developed site was performed using the Rational Method to determine the allowable release rates for the proposed development. The FAA Method was then used to determine the basin sizing and an Outlet Control Structure was designed to control released from the detention pond.

A proposed sand filter facility has been sized to attenuate the Water Quality Capture Volume (WQCV). The proposed outlet structure has been designed to release the WQCV with a 12-hour drain time. Major and Minor storm events will be controlled by an orifice plate to release the 25-yr storm and 100-yr storm at or below the allowable release rate. The pond's 18" filter media bottom stage will include an underdrain with orifice control to function as a water quality improvement element. This stage will enhance sediment control and improve the quality of the stormwater leaving the site. In the event of a blockage or other failure, storm events will be conveyed away from the site via emergency spillway and allowed to enter the Otto Street collection system, refer to Appendix D for outlet structure details.

3.0 CONCLUSION

Implementation of the improvements specified within this drainage report and associated construction plans will minimize the potential for flooding, damage and erosion of downstream properties while enhancing the quality of site discharges by removing sediment and pollutants. Routine inspection and maintenance of the stormwater systems will be required to ensure their operational functionality.

4.0 APPENDICES

APPENDIX A

- Drainage Exhibit

APPENDIX B

- NRCS Soil Data

APPENDIX C

- Detention Basin Stage-Storage

APPENDIX D

- Calculations
- HydroCAD Modeling Results

APPENDIX E

- Outlet Control Structure Detail

APPENDIX A


APPENDIX B

Hydrologic Soil Group—Ridgway Area, Colorado, Parts of Delta, Gunnison, Montrose, and Ouray Counties



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points





 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Ridgway Area, Colorado, Parts of Delta, Gunnison, Montrose, and Ouray Counties
 Survey Area Data: Version 13, Sep 2, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Nov 26, 2010—Oct 13, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
900	Urban land		0.3	20.2%
989	Mudcap loam, 1 to 6 percent slopes	C/D	1.4	79.8%
Totals for Area of Interest			1.7	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

APPENDIX C

21-160 Ridgway AH

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Rainfall Duration=10 min, Inten=4.41 in/hr

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Page 1

Stage-Area-Storage for Pond 5P: DETENTION POND

Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)	Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
6,983.30	88	0	6,988.50	1,008	2,020
6,983.40	88	4	6,988.60	1,027	2,122
6,983.50	88	9	6,988.70	1,047	2,225
6,983.60	88	13	6,988.80	1,066	2,331
6,983.70	88	18			
6,983.80	88	22			
6,983.90	88	26			
6,984.00	88	31			
6,984.10	88	35			
6,984.20	88	40			
6,984.30	88	44			
6,984.40	88	48			
6,984.50	88	53			
6,984.60	88	57			
6,984.70	88	62			
6,984.80	88	66			
6,984.90	107	76			
6,985.00	126	87			
6,985.10	145	101			
6,985.20	164	116			
6,985.30	183	134			
6,985.40	201	153			
6,985.50	220	174			
6,985.60	239	197			
6,985.70	258	222			
6,985.80	277	249			
6,985.90	303	278			
6,986.00	329	309			
6,986.10	356	343			
6,986.20	382	380			
6,986.30	408	420			
6,986.40	434	462			
6,986.50	460	507			
6,986.60	487	554			
6,986.70	513	604			
6,986.80	539	657			
6,986.90	572	712			
6,987.00	606	771			
6,987.10	639	833			
6,987.20	672	899			
6,987.30	706	968			
6,987.40	739	1,040			
6,987.50	772	1,115			
6,987.60	805	1,194			
6,987.70	839	1,276			
6,987.80	872	1,362			
6,987.90	891	1,450			
6,988.00	911	1,540			
6,988.10	930	1,632			
6,988.20	950	1,726			
6,988.30	969	1,822			
6,988.40	988	1,920			

WQCV = 392 cf

Minor Storm Stage

Major Storm Stage

Top of Pond
Embankment

APPENDIX D

time of concentration

$$t_i = t_c = 0.395 (1.1 - C_{25}) (L_i^{1/2} / S^{1/3})$$

$$C_{25} := 0.37 \quad 0\% \text{ Impervious}$$

$$L_i := 300 \quad \text{feet}$$

$$S := 3.8 \quad \%$$

$$t_i := 0.395 (1.1 - C_{25}) \left(\frac{L_i^{1/2}}{S^{1/3}} \right)$$

$$t_i = 3.201 \quad \text{mins}$$

$$\text{use min } t_c = 10 \text{ mins}$$

FAA Method - Basin Sizing

$$V_i = (C_i A)(T_c)(60 \text{ seconds/minute})$$

$$C_i := 0.60 \quad \text{Table 1: 100-yr / 50\% Impervious}$$

$$I_{100} := 4.41 \quad \text{in/hr}$$

$$A := 1 \quad \text{acre}$$

$$T_c := 10 \quad \text{mins}$$

$$V_{i100} := (C_i \cdot I_{100} \cdot A) \cdot (T_c) \cdot 60$$

$$V_{i100} = 1.588 \cdot 10^3 \text{ cf}$$

$$V_o = (C_o A)(T_c)(60 \text{ seconds/minute})$$

$$C_o := 0.50 \quad \text{Table 1: 100-yr / 0\% Impervious}$$

$$V_{o100} := (C_o \cdot I_{100} \cdot A) \cdot (T_c) \cdot 60$$

$$V_{o100} = 1.323 \cdot 10^3 \quad \text{cf}$$

$$V_{i100} - V_{o100} = 264.6 \quad \text{cf}$$

WQCV

$Ad := 1$ ac
 $a := 0.8$ WQCV drain time corresponding to 12-hour drain time
 $i := 0.5$ Imperviousness

$$WQCV := \frac{0.65 \cdot Ad \cdot a \cdot (0.91 \cdot i^3 - 1.19 \cdot i^2 + 0.78 \cdot i)}{12}$$

$$WQCV = 0.009 \text{ acre-feet}$$

$$WQCV = 392 \text{ cf}$$

Orifice Equation for Underdrain - WQCV Drain Time 12 hrs

$t := 43200$ 43200 sec = 12 hrs
 $H1 := 6986.87$ Major Storm Stage
 $H2 := 6984.8$ Minor Storm Stage
 $H3 := 6983.3$ Bottom of Pond
 $A1 := 239$ Average Area of pond prism
 $A2 := 173$ Area of sand filter
 $a = \text{Area of Orifice, ft}^2$
 $Cd := 0.65$ Orifice Coefficient
 $g = 32.174 \frac{\text{ft}}{\text{s}^2}$ Gravitational Acceleration

$$t := \frac{2 \cdot A1 \cdot (\sqrt{H1} - \sqrt{H2})}{Cd \cdot a \cdot \sqrt{2 \cdot g}} + \frac{2 \cdot A2 \cdot (\sqrt{H2} - \sqrt{H3})}{Cd \cdot a \cdot \sqrt{2 \cdot g}}$$

Solve for a
 $a = 0.0054 \text{ ft}^2 \Rightarrow 1" \text{ diameter orifice}$

Allowable Release Rates

$C25 = 0.37$ Table 1: 0% Impervious, 25-yr
 $C100 := 0.6$ Table 1: 0% Impervious, 100-yr

$I25 := 3.09$ Table 4: 25-yr, 10-min
 $I100 = 4.41$ Table 4: 100-yr, 10-min

$A := 1$ ac

$Q25_{allowable} := C25 \cdot I25 \cdot A$
 $Q25_{allowable} = 1.143$ cfs

$Q100_{allowable} := C100 \cdot I100 \cdot A$
 $Q100_{allowable} = 2.646$ cfs

Table 4: 100-yr, 10-min
Rainfall Intensity

Rainfall Duration=10 min, Inten=4.41 in/hr

21-160 Ridgway AH

Prepared by Goff Engineering

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc

Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 3S: DEVELOPED LOT

Runoff Area=1.000 ac 50.00% Impervious Runoff Depth=0.44"

Tc=10.0 min C=0.60 Runoff=2.62 cfs 0.037 af

Pond 5P: DETENTION POND

Peak Elev=6,986.96' Storage=746 cf Inflow=2.62 cfs 0.037 af

Primary=2.06 cfs 0.037 af Secondary=0.00 cfs 0.000 af Outflow=2.06 cfs 0.037 af

Total Runoff Area = 1.000 ac Runoff Volume = 0.037 af Average Runoff Depth = 0.44"
50.00% Pervious = 0.500 ac 50.00% Impervious = 0.500 ac

21-160 Ridgway AH

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Rainfall Duration=10 min, Inten=4.41 in/hr

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Summary for Pond 5P: DETENTION POND

Inflow Area = 1.000 ac, 50.00% Impervious, Inflow Depth = 0.44"
 Inflow = 2.62 cfs @ 0.17 hrs, Volume= 0.037 af
 Outflow = 2.06 cfs @ 0.21 hrs, Volume= 0.037 af, Atten= 21%, Lag= 2.5 min
 Primary = 2.06 cfs @ 0.21 hrs, Volume= 0.037 af
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs

Peak Elev= 6,986.96' @ 0.21 hrs Surf.Area= 592 sf Storage= 746 cf

Major Storm Stage

Plug-Flow detention time= 28.4 min calculated for 0.037 af (100% of inflow)

Center-of-Mass det. time= 28.3 min (38.4 - 10.0)

Volume	Invert	Avail.Storage	Storage Description	
#1	6,983.30'	2,331 cf	Custom Stage Data (Prismatic) Listed below (Recalc)	
Elevation (feet)	Surf.Area (sq-ft)	Voids (%)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
6,983.30	88	0.0	0	0
6,984.80	88	50.0	66	66
6,985.80	277	100.0	183	249
6,986.80	539	100.0	408	657
6,987.80	872	100.0	706	1,362
6,988.80	1,066	100.0	969	2,331

Device	Routing	Invert	Outlet Devices
#1	Primary	6,983.30'	18.0" Round Culvert L= 92.5' CMP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 6,983.30' / 6,981.00' S= 0.0249 ' / ' Cc= 0.900 n= 0.025, Flow Area= 1.77 sf
#2	Device 1	6,983.30'	1.0" Vert. Orifice/Grate C= 0.600 Limited to weir flow at low heads
#3	Device 1	6,986.95'	2.7" x 2.7" Horiz. Orifice/Grate X 8.00 columns X 8 rows C= 0.600 Limited to weir flow at low heads
#4	Device 1	6,986.20'	12.0" W x 6.0" H Vert. Orifice/Grate C= 0.600 Limited to weir flow at low heads
#5	Secondary	6,987.00'	1.0' long + 2.0 ' /' SideZ x 5.0' breadth Spillway Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.34 2.50 2.70 2.68 2.68 2.66 2.65 2.65 2.65 2.65 2.67 2.66 2.68 2.70 2.74 2.79 2.88

Primary OutFlow Max=1.90 cfs @ 0.21 hrs HW=6,986.96' (Free Discharge)

- 1=Culvert (Passes 1.90 cfs of 10.75 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 0.05 cfs @ 9.16 fps)
- 3=Orifice/Grate (Weir Controls 0.15 cfs @ 0.30 fps)
- 4=Orifice/Grate (Orifice Controls 1.70 cfs @ 3.40 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=6,983.30' (Free Discharge)

- 5=Spillway (Controls 0.00 cfs)

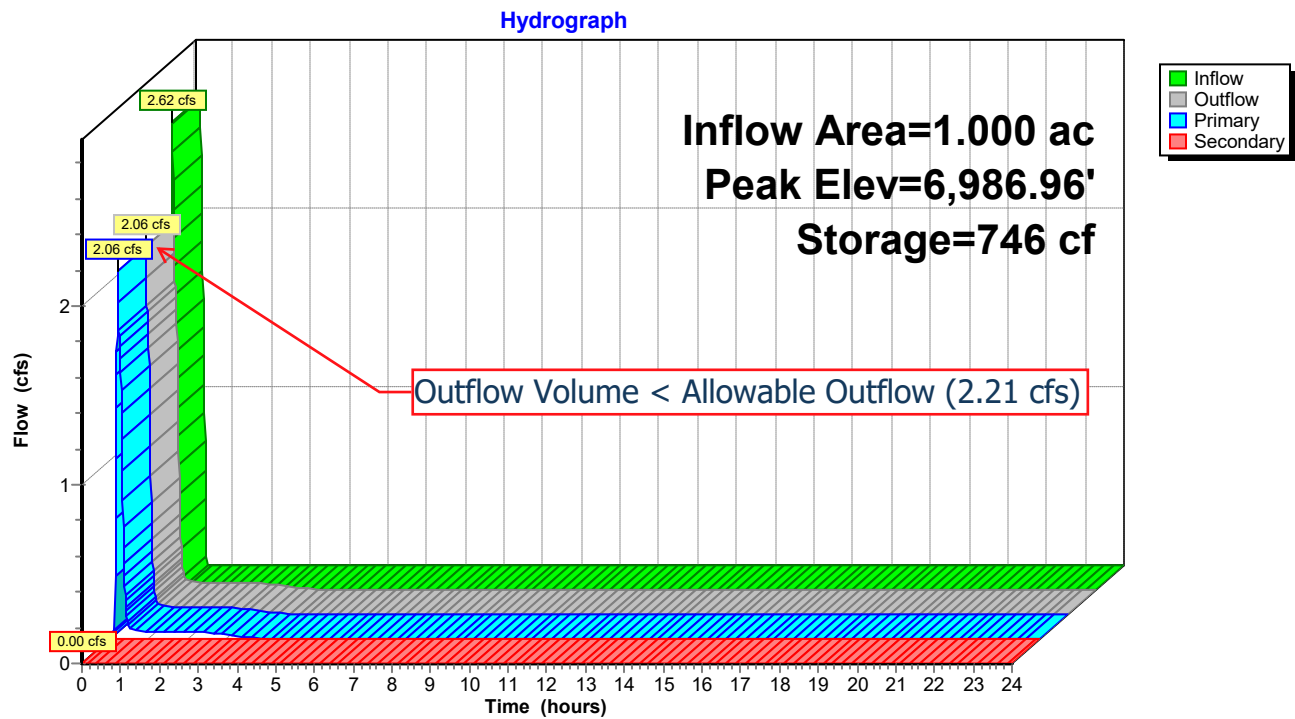
Pond 5P: DETENTION POND

Table 4: 25-yr, 10-min
Rainfall Intensity

Rainfall Duration=10 min, Inten=3.09 in/hr

21-160 Ridgway AH

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Page 1

Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc

Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 3S: DEVELOPED LOT

Runoff Area=1.000 ac 50.00% Impervious Runoff Depth=0.27"

Tc=10.0 min C=0.53 Runoff=1.62 cfs 0.023 af

Pond 5P: DETENTION POND

Peak Elev=6,986.66' Storage=582 cf Inflow=1.62 cfs 0.023 af

Primary=1.04 cfs 0.023 af Secondary=0.00 cfs 0.000 af Outflow=1.04 cfs 0.023 af

Total Runoff Area = 1.000 ac Runoff Volume = 0.023 af Average Runoff Depth = 0.27"
50.00% Pervious = 0.500 ac 50.00% Impervious = 0.500 ac

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Rainfall Duration=10 min, Inten=3.09 in/hr

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Page 3

Summary for Pond 5P: DETENTION POND

Inflow Area = 1.000 ac, 50.00% Impervious, Inflow Depth = 0.27"
 Inflow = 1.62 cfs @ 0.17 hrs, Volume= 0.023 af
 Outflow = 1.04 cfs @ 0.23 hrs, Volume= 0.023 af, Atten= 36%, Lag= 3.7 min
 Primary = 1.04 cfs @ 0.23 hrs, Volume= 0.023 af
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs

Peak Elev= 6,986.66' @ 0.23 hrs Surf.Area= 502 sf Storage= 582 cf

Minor Storm Stage

Plug-Flow detention time= 42.8 min calculated for 0.023 af (100% of inflow)

Center-of-Mass det. time= 42.7 min (52.7 - 10.0)

Volume	Invert	Avail.Storage	Storage Description	
#1	6,983.30'	2,331 cf	Custom Stage Data (Prismatic) Listed below (Recalc)	
Elevation (feet)	Surf.Area (sq-ft)	Voids (%)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
6,983.30	88	0.0	0	0
6,984.80	88	50.0	66	66
6,985.80	277	100.0	183	249
6,986.80	539	100.0	408	657
6,987.80	872	100.0	706	1,362
6,988.80	1,066	100.0	969	2,331

Device	Routing	Invert	Outlet Devices
#1	Primary	6,983.30'	18.0" Round Culvert L= 92.5' CMP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 6,983.30' / 6,981.00' S= 0.0249 ' / ' Cc= 0.900 n= 0.025, Flow Area= 1.77 sf
#2	Device 1	6,983.30'	1.0" Vert. Orifice/Grate C= 0.600 Limited to weir flow at low heads
#3	Device 1	6,986.95'	2.7" x 2.7" Horiz. Orifice/Grate X 8.00 columns X 8 rows C= 0.600 Limited to weir flow at low heads
#4	Device 1	6,986.20'	12.0" W x 6.0" H Vert. Orifice/Grate C= 0.600 Limited to weir flow at low heads
#5	Secondary	6,987.00'	1.0' long + 2.0 ' SideZ x 5.0' breadth Spillway Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.34 2.50 2.70 2.68 2.68 2.66 2.65 2.65 2.65 2.65 2.67 2.66 2.68 2.70 2.74 2.79 2.88

Primary OutFlow Max=1.04 cfs @ 0.23 hrs HW=6,986.66' (Free Discharge)

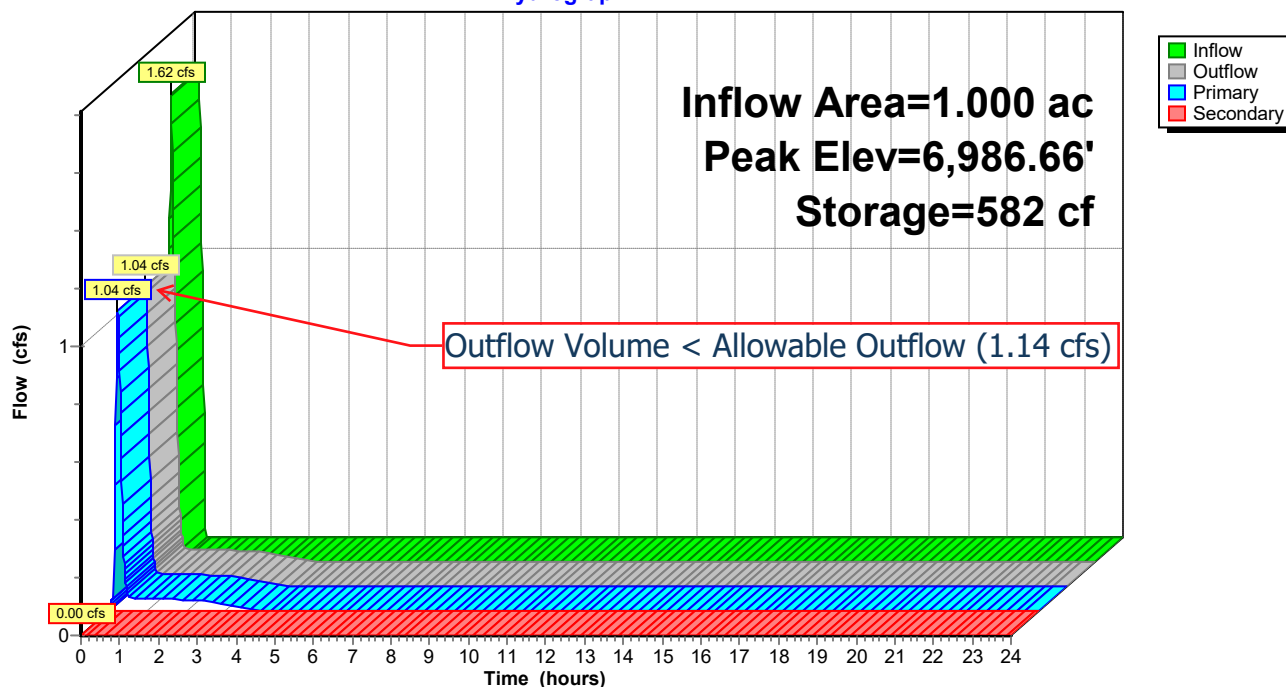
- 1=Culvert (Passes 1.04 cfs of 10.38 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 0.05 cfs @ 8.77 fps)
- 3=Orifice/Grate (Controls 0.00 cfs)
- 4=Orifice/Grate (Orifice Controls 0.99 cfs @ 2.17 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=6,983.30' (Free Discharge)

- 5=Spillway (Controls 0.00 cfs)

Pond 5P: DETENTION POND

Hydrograph



APPENDIX E

PRELIMINARY
FOR REVIEW
ONLY

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YELLOW BRICK LANE
TOWN OF RIDGWAY, CO
DETAILS (1)

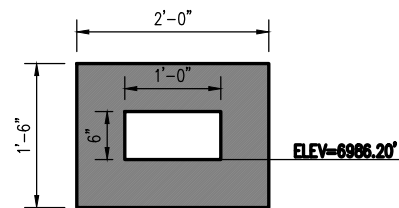
Issue Record:
PRELIMINARY REVIEW 03-21-2022

Revisions:

Project Number: 21-160
Drawn By: JAE
Designed by: RSH
Checked By: RSH

Sheet

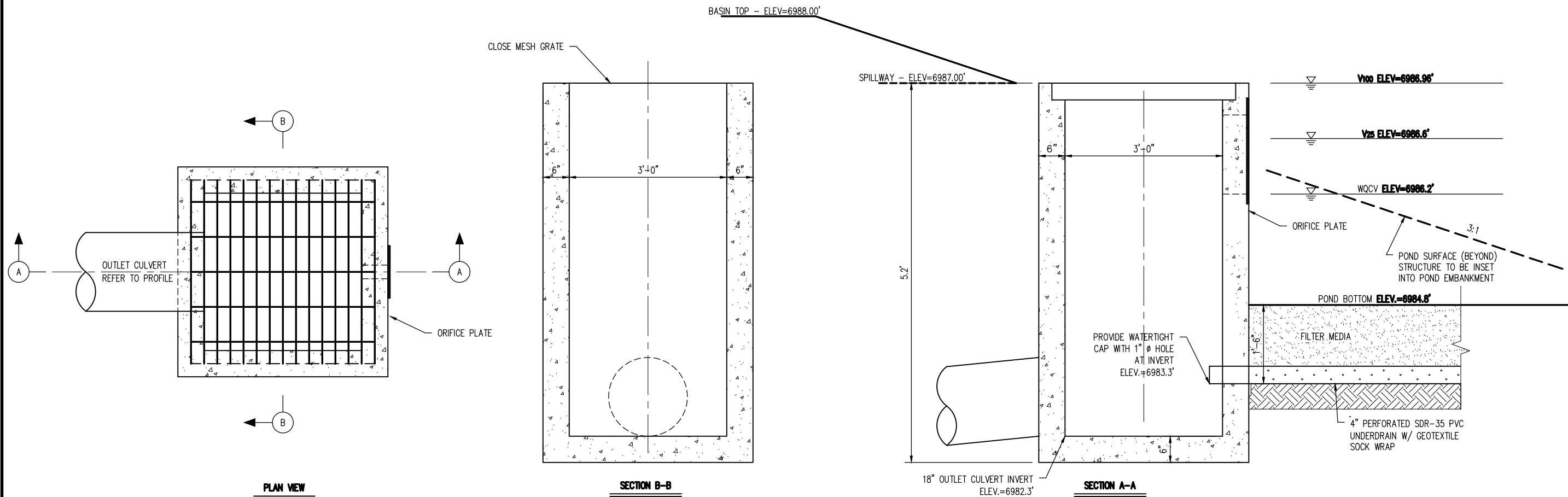
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ORIFICE PLATE

CONSTRUCTION NOTES:

1. INLET STRUCTURE TO BE "TYPE C" REINFORCED CONCRETE PER CDOT STANDARD PLAN M-604-10
2. INLET GRATE TO BE "CLOSE MESH GRATE" PER CDOT STD PLAN M-604-10
3. ORIFICE PLATE TO BE 3/8" x 18" STEEL PLATE.
4. SAND FILTER MEDIA TO BE CONCRETE SAND, CRUSHER FINES, OR AS APPROVED BY ENGINEER.



SAND FILTER WATER QUALITY TREATMENT FACILITY

N.T.S.			1
<p>SPILLWAY SECTION</p>			
N.T.S.			2
<p>DRAINAGE SWALE</p>			
N.T.S.			3
<p>RUNDOWN SECTION</p>			
N.T.S.			4



February 28, 2022

Dear Town of Ridgway;
Staff, Planning & Zoning Commission, and Town Council,

On behalf of Ridgway Homes, LLC and the Yellow Brick Lane Townhomes application pending review for Preliminary Plat and Planned Unit Development, I am writing to confirm that we have executed a title search with the assistance of a Colorado attorney and have found no severed mineral interests on the subject property.

As noted in Section 7-4-5(B)(6)(e) of the Ridgway Municipal Code and in accordance with the requirements of C.R.S. 24-65.5-103(1), there are no mineral interest owners that will need to be notified prior to the public hearing.

Thankyou and please get in touch if you have any further questions.

Best Regards,

David Bruce

Project Manager

Yellow Brick Lane Townhomes

603 203 1342

david@telluridefoundation.org



LAND TITLE GUARANTEE COMPANY

Date: October 27, 2021

Subject: Attached Title Policy RIDGWAY HOMES, LLC, A COLORADO LIMITED LIABILITY COMPANY for TBA NORTH LAURA, RIDGWAY, CO 81432

Enclosed please find the Owner's Title Insurance Policy for your purchase of the property listed above.

This title policy is the final step in your real estate transaction, and we want to take a moment to remind you of its importance. Please review all information in this document carefully and be sure to safeguard this policy along with your other legal documents.

Your owner's policy insures you as long as you own the property and requires no additional premium payments.

Please feel free to contact any member of our staff if you have questions or concerns regarding your policy, or you may contact Land Title Policy Team at (303) 850-4158 or finals@ltgc.com

As a Colorado-owned and operated title company for over 50 years, with offices throughout the state, we take pride in serving our customers one transaction at a time. We sincerely appreciate your business and welcome the opportunity to assist you with any future real estate needs. Not only will Land Title be able to provide you with the title services quickly and professionally, but you may also be entitled to a discount on title premiums if you sell or refinance the property described in the enclosed policy.

Thank you for giving us the opportunity to work with you on this transaction. We look forward to serving you again in the future.

Sincerely,

Land Title Guarantee Company



OWNER'S POLICY OF TITLE INSURANCE

ANY NOTICE OF CLAIM AND ANY OTHER NOTICE OR STATEMENT IN WRITING REQUIRED TO BE GIVEN TO THE COMPANY UNDER THIS POLICY MUST BE GIVEN TO THE COMPANY AT THE ADDRESS SHOWN IN SECTION 18 OF THE CONDITIONS.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, a Minnesota corporation, (the "Company"), insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the title; This covered Risk includes but is not limited to insurance against loss from
 - a. A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - b. The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - c. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A. The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

Issued by:

Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880

Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By President
Attest Secretary

AMERICAN
LAND TITLE
ASSOCIATION



EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (1)(a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- (2) Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- (3) Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- (4) Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
- (5) Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b) or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured.
 - (2) if the grantee wholly owns the named Insured,
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes
 - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenue, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A. "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be

liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligation to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance. To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay. Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in the subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

- (i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or
- (ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay. Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

- (i) the Amount of Insurance; or
- (ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

- (i) the Amount of Insurance shall be increased by 10%, and
- (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons, Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim or loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.

(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

(a) Choice of Law; The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum; Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: 400 Second Avenue South, Minneapolis, Minnesota 55401 (612)371-1111.

ANTI-FRAUD STATEMENT: Pursuant to CRS 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed to and made a part of this policy.

Old Republic National Title Insurance Company
Schedule A

Order Number: OU85007294

Policy No.: OX85007294.11836099

Amount of Insurance: \$1,205,000.00

Property Address:

TBA NORTH LAURA, RIDGWAY, CO 81432

1. Policy Date:

August 31, 2021 at 5:00 P.M.

2. Name of Insured:

RIDGWAY HOMES, LLC, A COLORADO LIMITED LIABILITY COMPANY

3. The estate or interest in the Land described in this Schedule and which is covered by this policy is:

A FEE SIMPLE

4. Title to the estate or interest covered by this policy at the date is vested in:

RIDGWAY HOMES, LLC, A COLORADO LIMITED LIABILITY COMPANY

5. The Land referred to in this Policy is described as follows:

LOTS 1 THROUGH 12, INCLUSIVE, BLOCK 30, TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO.

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Old Republic National Title Insurance Company
(Schedule B)

Order Number: OU85007294

Policy No.: OX85007294.11836099

This policy does not insure against loss or damage by reason of the following:

- 1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
- 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
- 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**

ITEM NOS. 1 THROUGH 4 OF THE STANDARD EXCEPTIONS ARE HEREBY DELETED.

6. TAXES AND ASSESSMENTS FOR THE YEAR 2021 AND SUBSEQUENT YEARS.

7.

RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENT RECORDED MAY 12, 1892 IN BOOK 8 AT PAGE [484](#); AND IN PATENT RECORDED JUNE 29, 1892, IN BOOK 8 AT PAGE [488](#); AND IN PATENT RECORDED JUNE 13, 1951 IN BOOK 103 AT PAGE [509](#).

8. ALL MATTERS DISCLOSED ON THE IMPROVEMENT LOCATION CERTIFICATE DATED JUNE 9, 2021 BY GOFF ENGINEERING, JOB NO. 21-160, SAID DOCUMENT STORED AS OUR IMAGE [38027671](#).

TELLURIDE NORWOOD
SHANTERO (MM)
MASTER SET
SAN MIGUEL COUNTY, COLORADO

10_22003.003

NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

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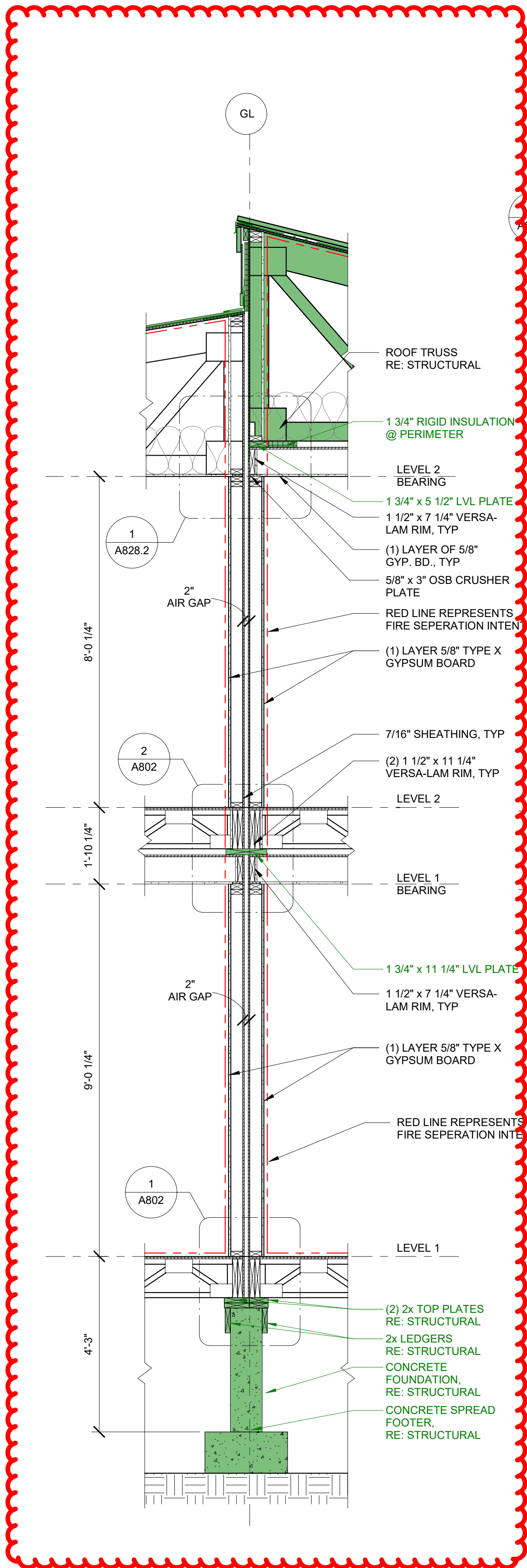
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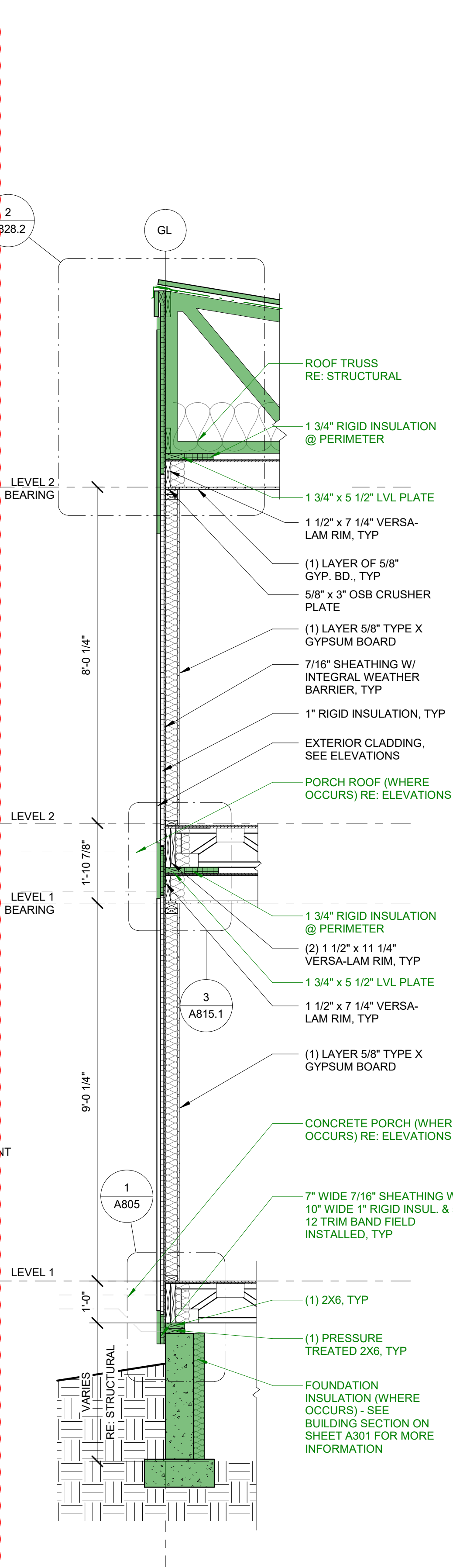
CONSTRUCTION DOCUMENTS
DATE: 04/05/2022
DRAWN BY: Author
CHECKED BY: Checker

WALL SECTIONS
(MOUNTAIN
MODERN)

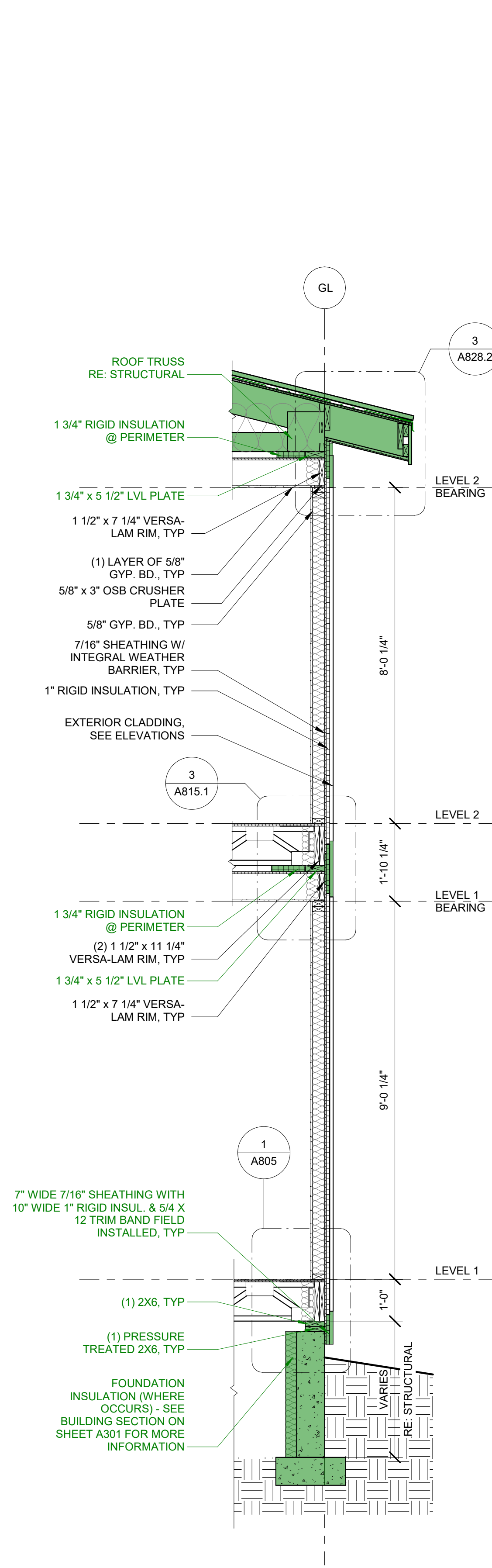
A317



WALL SECTION @ BOLT-ON MATE LINE
(MOUNTAIN MODERN)
1/2" = 1'-0"



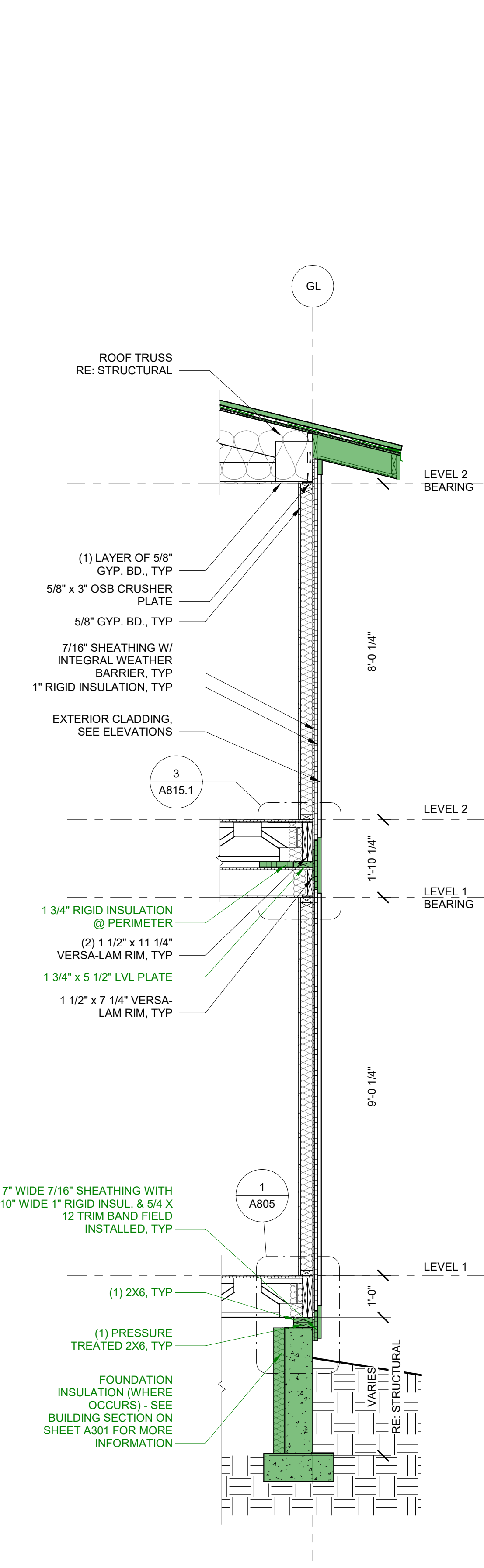
WALL SECTION @ EXT. WALL HIGH SIDE W/
CEILING CASSETTE (MOUNTAIN MODERN)
1/2" = 1'-0"



WALL SECTION @ EXT. WALL LOW SIDE W/
CEILING CASSETTE (MOUNTAIN MODERN)
1/2" = 1'-0"



NOT USED
1/2" = 1'-0"



WALL SECTION @ EXT. WALL LOW SIDE
(MOUNTAIN MODERN)
1/2" = 1'-0"

TELLURIDE NORWOOD
SHANTERO (MM)
MASTER SET
SAN MIGUEL COUNTY, COLORADO

10_22003.003

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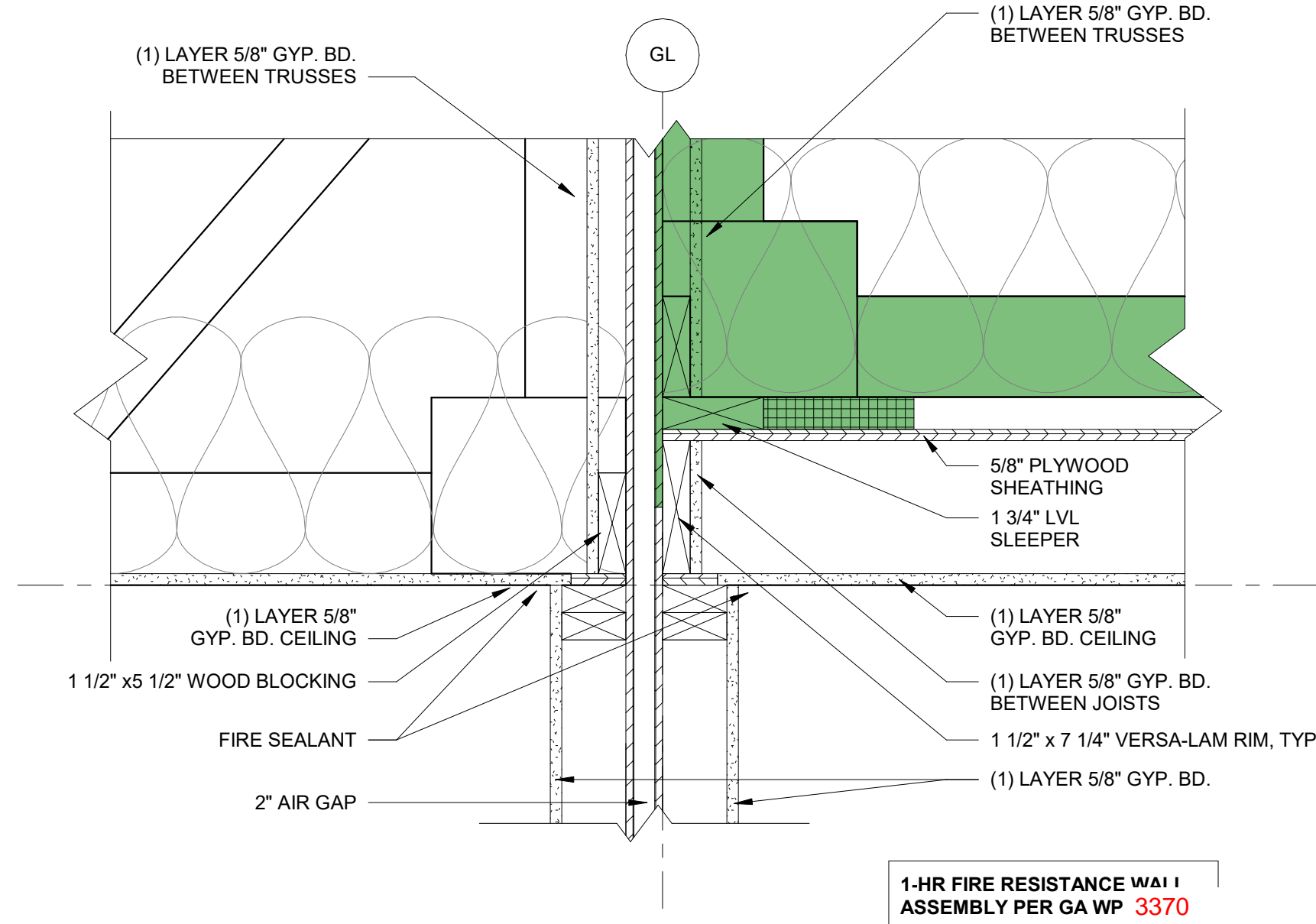
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CONSTRUCTION DOCUMENTS
DATE: 04/05/2022
DRAWN BY: AW
CHECKED BY: TS

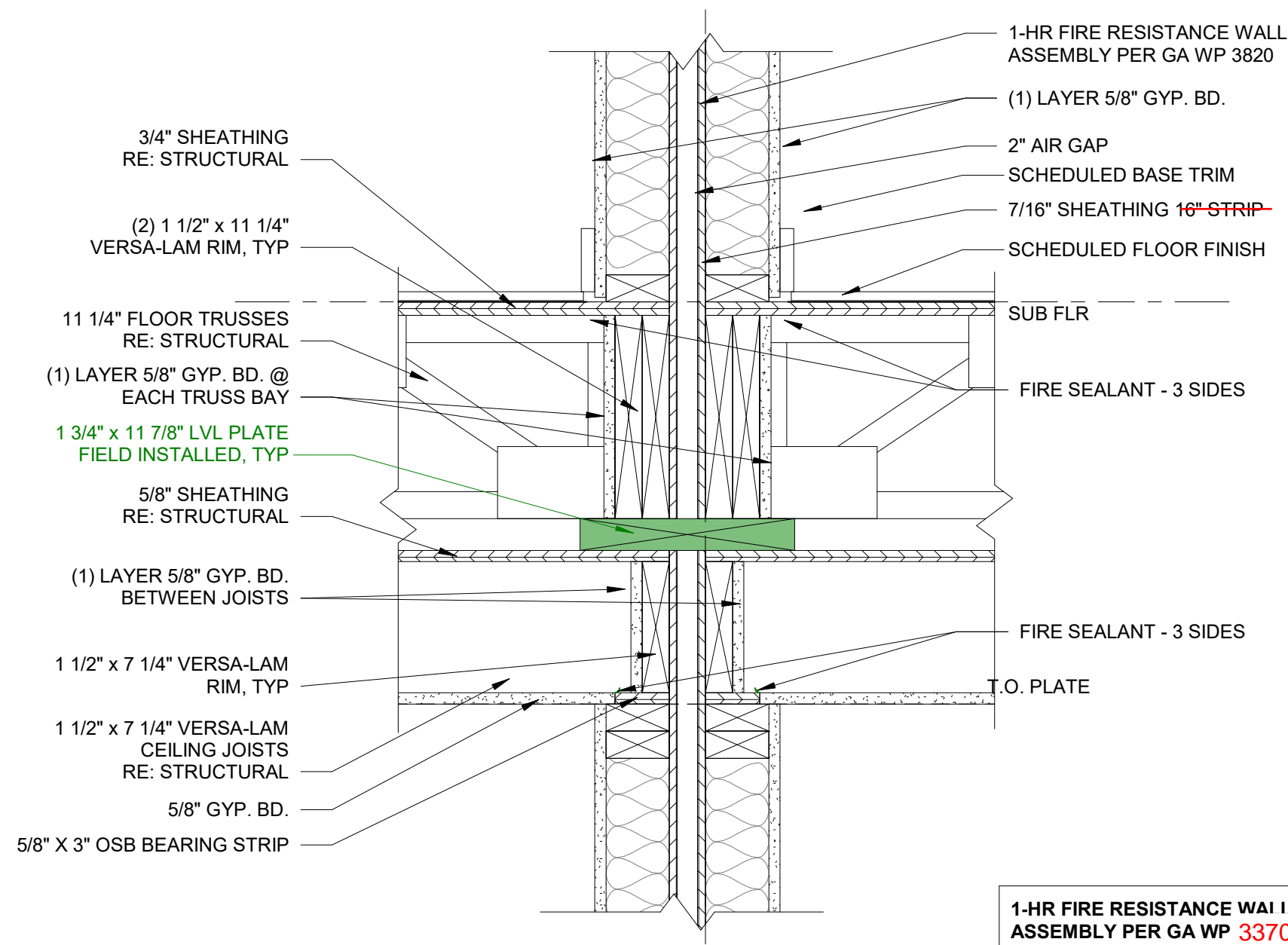
RATED
ASSEMBLY
DETAILS

A802



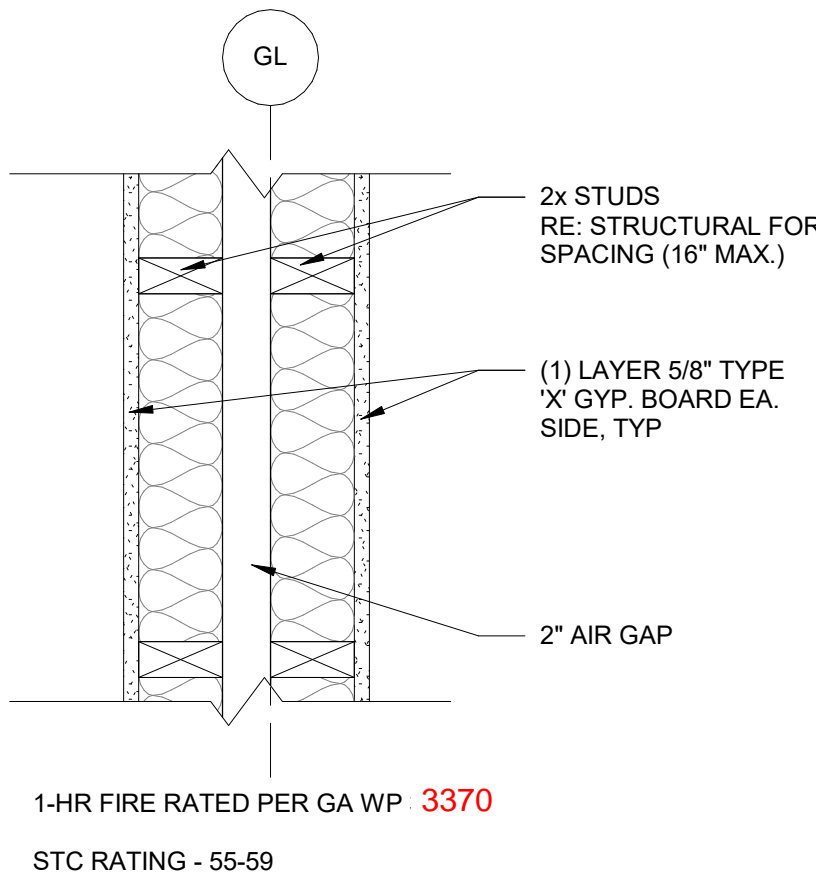
3
1 1/2" = 1'-0"

TYPICAL MATE LINE BETWEEN UNITS - WALL
TERMINATION @ ROOF DETAIL



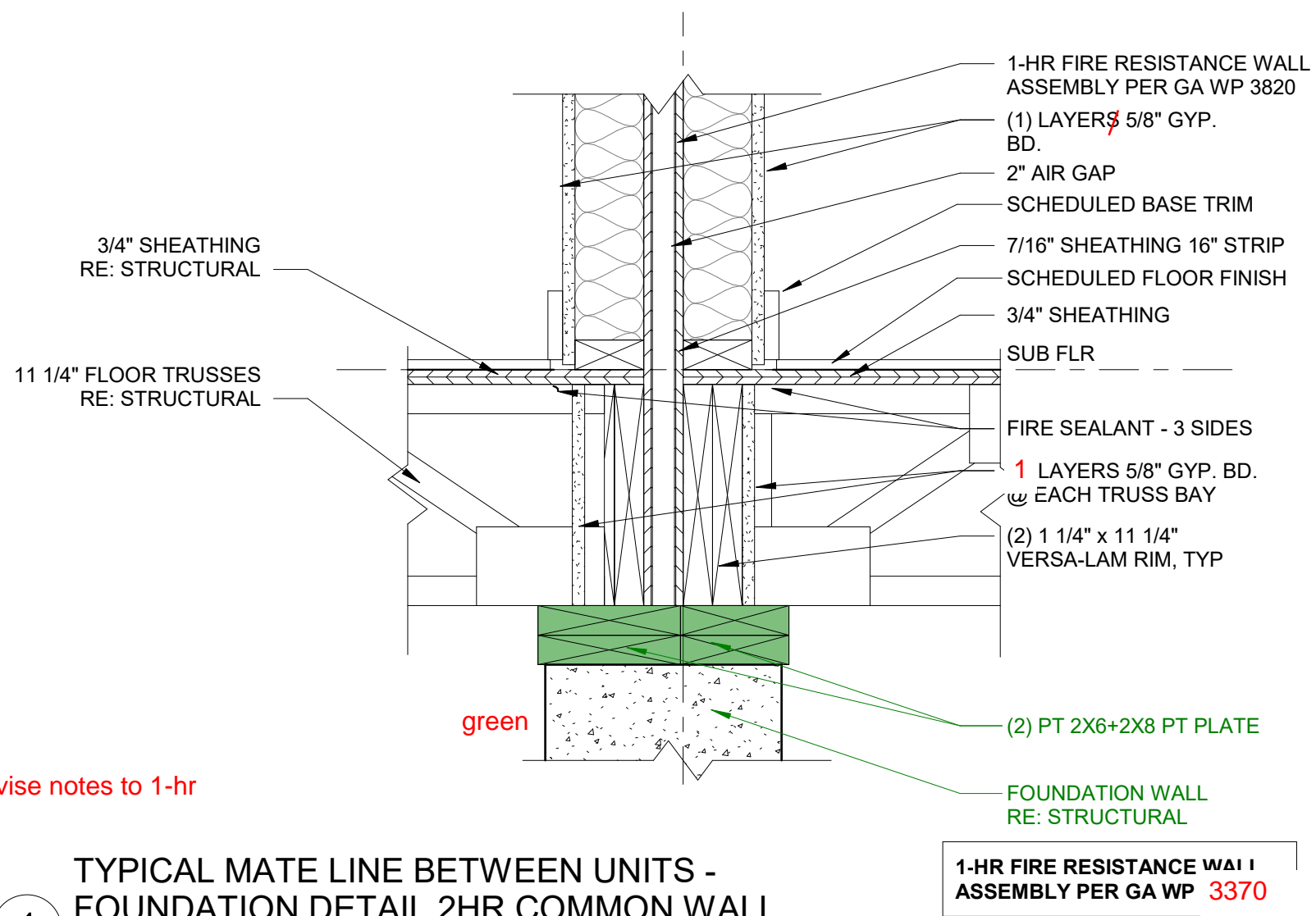
2
1 1/2" = 1'-0"

TYPICAL MATE LINE BTW UNITS - WALL @
FLOOR-CLG 2HR COMMON WALL



4
1 1/2" = 1'-0"

TYPICAL MATE WALL BETWEEN UNITS - 2-HR
RATED



1
1 1/2" = 1'-0"

TYPICAL MATE LINE BETWEEN UNITS -
FOUNDATION DETAIL 2HR COMMON WALL

revise notes to 1-hr



3

$$1 \frac{1}{2}'' = 1'-0''$$

NOT USED



1

 $1\frac{1}{2}'' = 1'-0''$

NOT USED

$$1\frac{1}{2}'' = 1'-0''$$

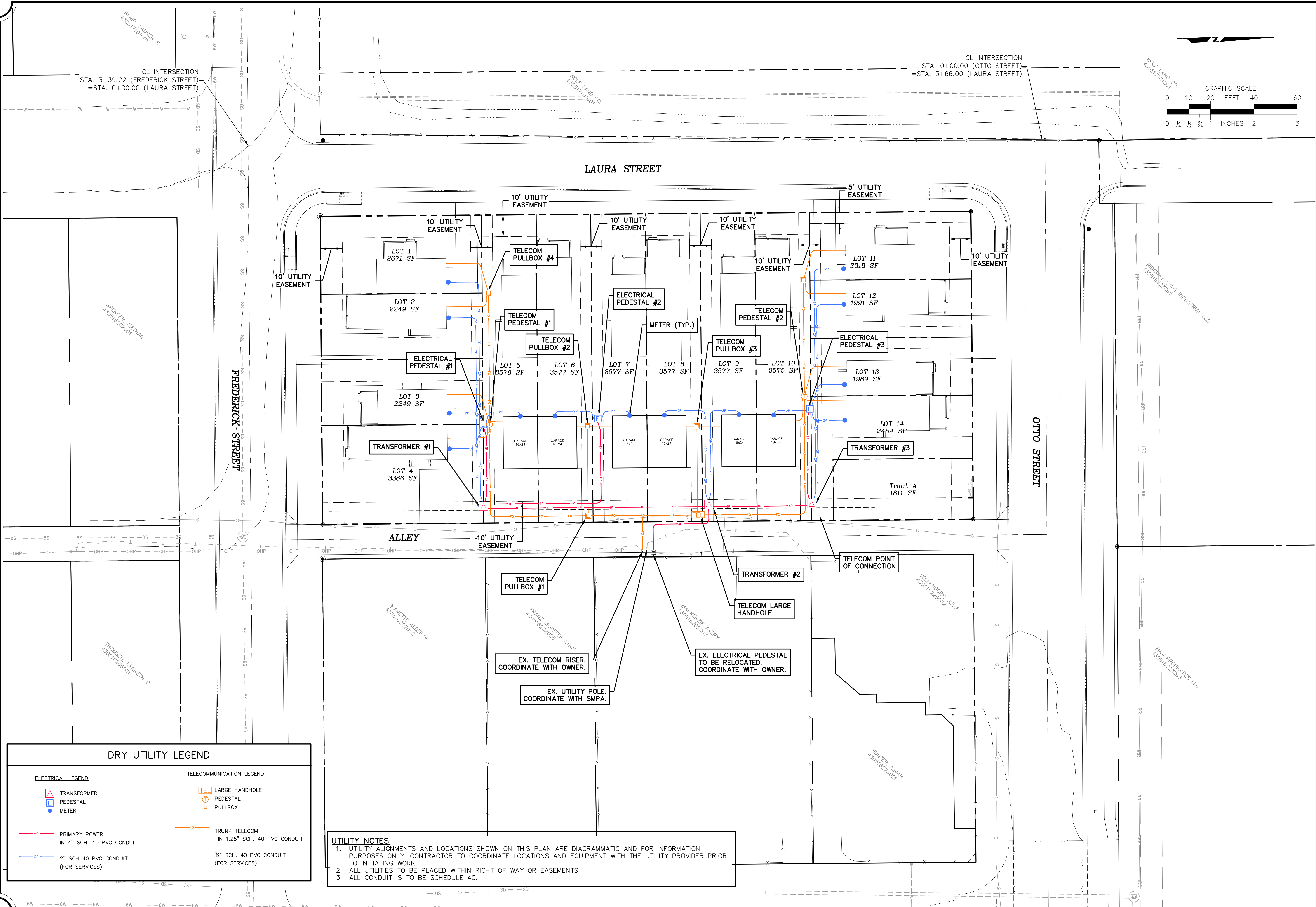
NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

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REVISION:

A828.2

9/23/2023 2:16:00 ridgway affordable housing\cad\sheets\ut1.01 Utility plan.dwg DATE:7/18/2022 11:27 AM USER:JENNIFER LLOYD PLOT SCALE=1:1



**Town of Ridgway
c/o Preston Neill
P.O. BOX 10
201 N Railroad Street
Ridgway, CO 81432**

Preston,

The plan and easements for Yellow Brick Lane are approved by Clearnetworx to service the lots shown in UT1.01, Dry Utility Plan.

X  7/18/2022

Jonathon Cook
Authorized Signature

Jonathon Cook
Project Manager
jcook@clearnetworx.com
970-497-5807



To: Whom It May Concern

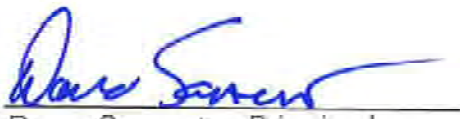
Date: October 15, 2020

From: Doug Seacat, Owner, **Clearnetworkx, LLC**

To Whom It May Concern,

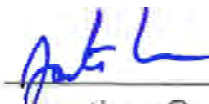
This letter confirms that Jonathon Cook (agent) is authorized by **Clearnetworkx** , LLC to sign Permits, Easement Agreements, and related documents on behalf of Doug Seacat, Owner of the company.

Sincerely,



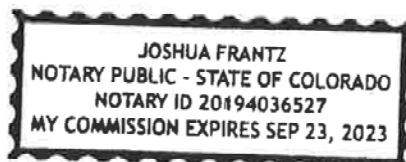
Doug Seacat – Principal

Owner – **Clearnetworkx** , LLC



Jonathon Cook (Agent)

Notary:



EMAIL US
info@clearnetworkx.com

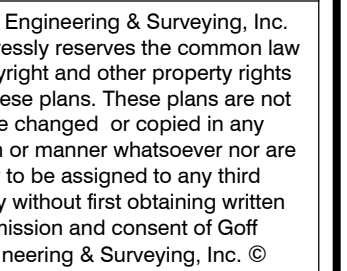


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YELLOW BRICK LANE TOWN OF RIDGWAY, CO UTILITY PLAN

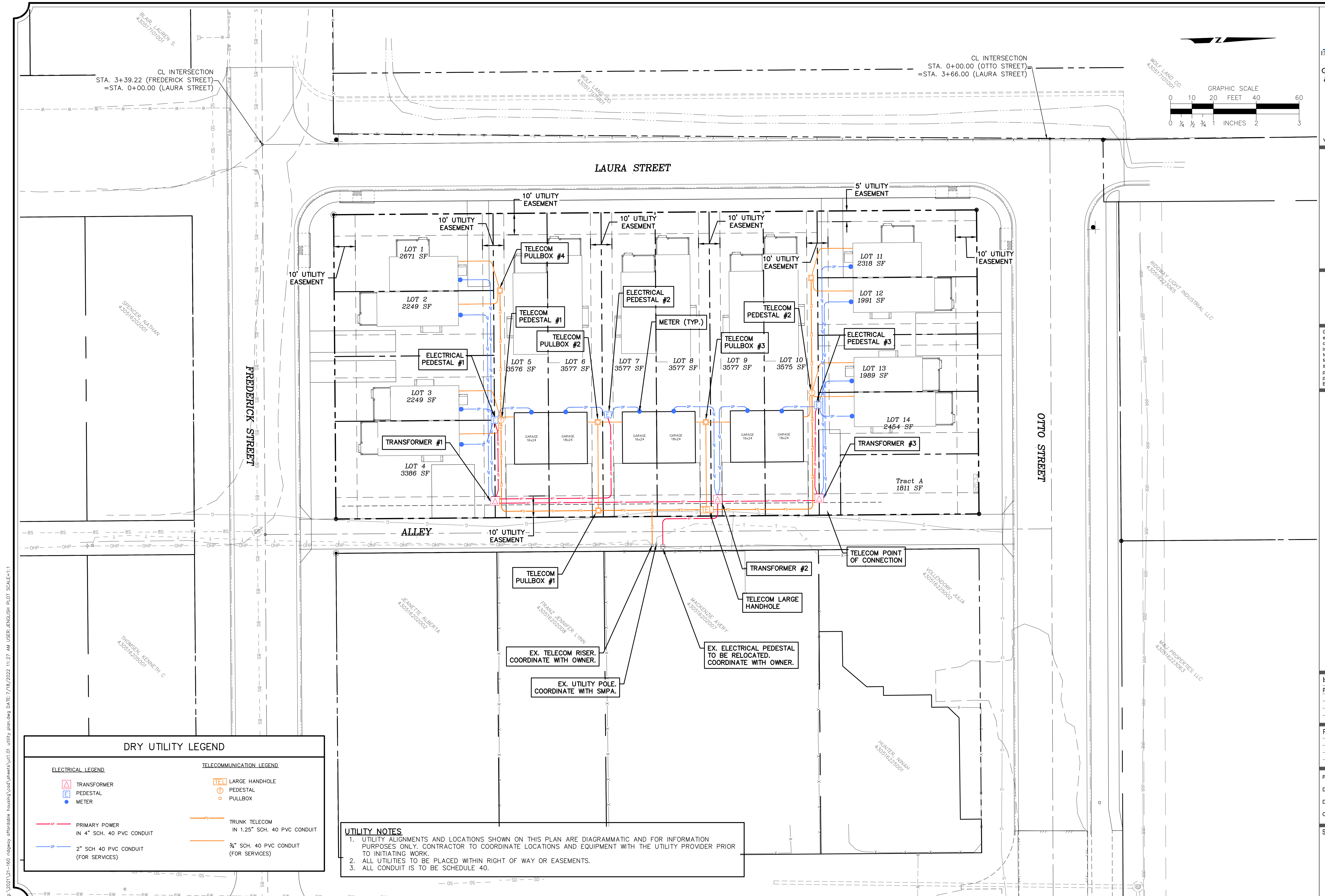
Issue Record:

PRELIMINARY REVIEW	06-08-2022
--------------------	------------

Revisions:

Project Number:	21-160
Drawn By:	JAE
Designed by:	RSH
Checked By:	RSH

UT1.01





Date: 7/18/2022

Town Of Ridgway

**c/o Preston Neill
P.O. Box 10
201 N Railroad Street
Ridgway Co 81432**

**RE: The Yellow Brick Lane Townhomes
Ridgway CO 81432**

:

SMPA has reviewed the request for reduction of easements, to 10 feet for all plated utility easements. SMPA also received a specific request for the reduction from 10 foot to 5 foot for platted lot 11 running parallel with Laura St.

SMPA **approves** of all the easement reduction request. Based on the assumption all utilities can retain proper clearances.

Schematic drawing of Electrical layout is approved by SMPA for the servicing of the Yellow Brick Lane Townhomes.

Sincerely,

Ben Wiles
970-626-5549 ext. 2070

Service Planning Supervisor
San Miguel Power Association

July 18, 2022

Town of Ridgway
c/o Preston Neill
P.O. Box 10/ 201 N. Railroad Street
Ridgway, CO
81432

SENT VIA E-MAIL TO pneill@town.ridgway.co.us

RE: Yellow Brick Lane, Resubmitted Sketch and Preliminary Plat/PUD 2nd Review
Comments.

Dear Mr. Neill,

The above-mentioned application and supplemental materials were received by Ridgway Homes, LLC and reviewed by our staff. We have enclosed comments

PLANNING COMMENTS:

1. Please provide the following items on the Preliminary Plat:
 - a. Street light locations, if proposed
 - b. Street sign locations
 - c. Existing and proposed fire hydrant locations.
 - d. A table noting the allowed uses for each lot.
 - e. Please change the word "plain" to "floodplain" in Note #9.

June 9th response: Please see revised Preliminary Plat Attached. No streetlights are proposed in this development, and they are not shown on the revised plat.

July 5th Comment: Comments mostly addressed with June 9th submission. Street identification signs were unable to be found on the plan sets. Please clearly identify the proposed street signs and stop signs on the various plan sets.

July 18th response: Street identification signs and stop signs have been added to the various plan sets.

2. Lot 15 which is being reserved for stormwater management should be reclassified as a Tract or an Outlot and a note must be added to the Plat stating that this is the use of that Tract while clarifying that no habitable structures are allowed on the Tract.

June 9th response: Please see revised Preliminary Plat Attached. The detention pond has been reclassified as 'Tract A'

July 5th Comment: Comment addressed with June 9th submission.

3. The Town is not supportive of accepting ownership nor maintenance of Lot 15. An HOA or other common interest ownership structure should be set up to manage and maintain this property.

June 9th response: We believe that Lot 15, now reclassified as Tract A, should be owned and maintained by the Town of Ridgway. We will include this request in the 'development agreement outline' to be reviewed by the Town prior to the Town Council review of the Preliminary Plat and PUD review of this project. Individual homeowners are not in a position to raise funding for the retention pond or manage its maintenance. Like roads and storm sewer systems, the retention pond is very much a proper municipal facility and part of the public infrastructure that is most appropriately owned, maintained, and operated by the Town. Additionally, there are liability issues associated with ownership

and maintenance of the retention pond that would have to be insured against by the owner of the pond. The homeowners would certainly be upset if they owned an interest in the pond, and someone was injured at the pond and sued the owners. Finally, the pond provides a public benefit, both to the Uncompahgre Watershed as part of EPA requirements; but also, to downstream homeowners that might otherwise see additional stormwater runoff. The pond provides no benefit to the community or future homeowners on the project site. Our civil engineer, Rob Harries from Goff Civil Engineering, has advised us that there would be little maintenance required once the pond and vegetation gets established. That maintenance would include clearing the inlet, and occasional weed-whacking in spring and summer months. Plan A - Town owns and maintains. Plan B - Town owns and maintains the components of 'Storm Drain B' that connects directly to the municipal stormwater system. This includes everything highlighted in Orange in the attached 'Storm Drain B Exhibit'; the adjacent homeowner (lot 14) provides maintenance to the detention pond and landscaped area, at a discount to the home sale price.

July 5th Comment: *This comment was not addressed adequately. In fact, Planning Commission asked the applicant to come up with a Plan B for an alternative to town ownership and maintenance of Tract A. In the Development Agreement Framework dated June 10, 2022, it is stated that Plan B is still for the Town to own Tract A and use grant funding that was obtained specifically for funding required public capital improvements to ensure the project meets town standards while also remaining attainable to the AMI cohorts identified by the applicant. These funds cannot be used for maintenance. Furthermore, staff continues to not support the Town taking over ownership and/or maintenance of any portion of this project, including Tract A. This is a requirement of the development and shall be adequately and appropriately maintained in perpetuity by an entity formed to do so by the developer. There are a number of options which are viable other than forming an HOA or similar common ownership group which the applicant hasn't offered an alternative. For example, Rural Homes could own the lot and contract with a contractor to maintain the Tract or a new LLC can be formed to take on those responsibilities or there could be provisions built into the covenants that the homeowners are collectively responsible for the maintenance of the tract and ownership will be in a separate entity which all homeowners own an equal share of. Please consider these – or other alternatives – and propose a viable “Plan B” for staff and Town Council to evaluate.*

July 18th response: *Please refer to the Development Agreement Framework attached. Our proposal for a viable “Plan B” is for Ridgway Homes, LLC to own and maintain the landscape area of ‘Tract A’. We would like to ask the Town to consider owning the inlet, and pipe that crosses the right of way, then connects to the Town infrastructure.*

4. The PUD Guide currently has a lot of information and narrative that is not relevant to the standards applicable to the development. Please remove the unnecessary content from the PUD Guide so that it only addresses the standards of development (i.e., height, lot coverage, setbacks, parking standards, lot coverage, uses, etc.)

June 9th response: *We have split the previous PUD Guide into two documents (1) 'YBL Development Narrative_rev1' which explains the background for the project and the reason for proposing a higher density neighborhood and (2) 'PUD Guide_rev1' which addresses the standards of development for the PUD.*

July 5th Comment: *There is still a lot of information in the incorrect location (Narrative, PUD Guide, Plat Notes) throughout the submittal. Please review all redlines provided in all documents and relocate provisions, standards, or descriptions to the appropriate location prior to the next submission.*

July 18th response: We have used the template you have provided to serve as the PUD guide and addressed the redlines provided throughout all documents in attempt to allocate provisions, standards, or descriptions to the appropriate location.

5. Amend all setback ties to be from the building line as defined by the RMC. The setback distances provided on the PUD Diagram appear to be measured from the enclosed habitable space. However, setbacks are to be measured from any portion of a building that has a roof including covered porches.

June 9th response: Amended, please review 'PUD Guide_rev1' The measurements are corrected on the excel sheet of dimensions per lot. However, the diagram of the site plan has remained the same. We would like the porches to be viewed as an 'encroachment' into the setback for the purposes of this PUD rather than a variance.

July 5th Comment: *This comment has not been addressed. There are many inconsistencies or unclear depictions of setback distances, identification of front yard, allowed encroachments, and conflicts with proposed utility easements. Please review all provided redlines and make appropriate changes to the submission materials prior to the next submission.*

July 18th response: *Appropriate changes have been made to the submission materials.*

6. Alley width per the Ridgway Municipal Code (RMC) has a minimum width of twenty feet (20'). Please provide 20 feet for the alley or justification for the deviation.

June 9th response: 12-foot-wide alley section is proposed given the platted right of way for the alley is restricted to 16 feet wide. This reduced alley section is proposed to accommodate the proposed 10-foot travel lane and storm drainage conveyance without encroaching into private property.

July 5th Comment: *This comment has not been addressed. Provide rationale for reduced alley width within the Project Narrative.*

July 18th response: The rationale for reduced alley width has been added to the Project Narrative.

7. Please provide a table of estimated water consumption and sewage generation.

June 9th response: See revised Plan Sheet G1.02 for a table

July 5th Comment: *This comment has not been addressed. Provide this table estimating water consumption and sewage generation within the Project Narrative.*

July 18th response: The table on sheet G1.02 has been added to the Project Narrative.

8. Staff is not in agreement of foregoing the establishment of an HOA.

June 9th response: An HOA adds upfront and lifetime operational costs to the homeowner. All the lot area in the subdivision is connected to one lot. The exception is Tract A which is being addressed in review comment 3.

July 5th Comment: *This comment was not addressed adequately. Please see comment #3 above and address with next submission.*

July 18th response: We request that the issue of the long-term maintenance of Tract A and foregoing the establishment of an HOA are considered as two separated topics. If an HOA is a requirement of development, we will not pursue this project.

9. Properly label the proposed building height on sheet A0.1 to measure from the lowest point of the natural grade abutting a structure to the mid-point of a pitched roof. RMC 7-3-15 (A)

June 9th response: Please see elevation exhibit properly labeled and attached.

July 5th Comment: *Comments addressed with June 9th submission.*

10. Please provide the proposed height and materials of the fencing shown on the construction plans. RMC 6-4-1, Fence, Hedge, and Wall Restrictions.

June 9th response: height and materials of fencing is already shown on the legend of the landscape plan. The height and materials have been added to the 'PUD Guide_rev1'

July 5th Comment: *Comment not addressed. Fence provisions should be added to the PUD Guide. See Sample PUD Guide and Project Narrative redlines attached to this comment letter.*

July 18th response: A detail of a proposed fence has been added to Landscape Plan Sheet L1. Fence provisions have been added to the PUD guide per redlines attached to this comment letter.

11. Please state in the project narrative if any signage is proposed. RMC 7-3-17 Sign Regulations

June 9th response: Please see 'YBL Development Narrative_rev1'. 'No Parking' signs are proposed on North Laura towards the northern intersection with Otto Street and towards the southern intersection with Frederick Street given the nature of a partial street constructed within a partial ROW.

July 5th Comment: *Comment not addressed. If signage is unknown at this time or not anticipated, please add provision that sign regulations of the RMC shall apply to this Property. See Sample PUD Guide attached to this comment letter.*

July 18th response: A provision has been added to the PUD Guide that sign regulations of RMC 7-3-17 will apply to this Property.

12. Add a table to the Landscape Plan that identifies the requirements of Sec. 7-7-7 and the proposed standards. Specifically, the following should be included in that table:

- a. Total Lot Area = 42,578sf
- b. Total required landscape area = $42,578\text{sf} \times 40\% = 17,031.2\text{sf}$
 - i. Minimum Live Groundcover = $17,031.2 \times 20\% = 3,406.2\text{sf}$
 - ii. Minimum non-live groundcover = $17,031.2 \times 20\% = 3,406.2\text{sf}$
- c. Requires # of Trees = $17,031 / 2,000 = 9$
- d. Required # of Shrubs = $17,031 / 3,000 \times 2 = 12$
- e. Req. in Front yard = $17,031 \times 25\% = 4,257.8\text{sf}$
- f. Proposed:
 - i. Trees = 22

- ii. Shrubs = 116
- iii. Live Ground Cover = ???
- iv. Non Live Ground Cover = ???
- v. Frontyard = ???

June 9th response: Please see the attached document,
'NVIZ-YBL 06-06-2022 FULL SET_rev1

July 5th Comment: Portions of the previous comment were addressed while others are still outstanding. Please review all redlines on the Landscape Plan and update needed counts, calculations, and provisions prior to the next submission.

July 18th response: We request that the essence of the Landscape Plan be considered and weighed against the RMC Design Standards. However, we request that final review and approval of the Landscape Plan occur during building permit review. In moving the setback of all units out of the utility easements, we have moved the footprint of the buildings, which have changed the Site Plan. We have not fully coordinated all changes of the Site Plan into an updated Landscape Plan due to availability and capacity constraints of our Landscape Consultant. Furthermore, we are potentially needing to consider changing the road section, which would be an additional coordination effort with the Landscape consultant. For this reason, we propose that Landscape Plan review occur during Building Permit review to help move this proposal forward.

New comments:

13. Replace the "Approval of Town Attorney" certificate block on sheet 1 of the Preliminary Plat with the following:

APPROVAL OF TOWN ATTORNEY:

Approved for recording with the Town of Ridgway Town Clerk this _____ day of _____, 2022.

By: _____,
Bo Nerlin, Town of Ridgway Town Attorney

July 18th response: the "Approval of Town Attorney" certificate block has been replaced

14. Replace the "Approval of Planning Commission" certificate block on sheet 1 of the Preliminary Plat with the following:

PLANNING COMMISSION:

Recommended for approval by the Planning Commission this _____ day of _____, 2022.

By: _____
Michelle Montague, Town of Ridgway Planning Commission Chairperson

July 18th response: the "Approval of Planning Commission" certificate block has been replaced

15. Replace the “Approval of Town Council” certificate block on sheet 1 of the Preliminary Plat with the following:

TOWN COUNCIL:

Approved by the Town Council this _____ day of _____, 2022.

By: _____
John Clark, Town of Ridgway Mayor

July 18th response: the “Approval of Town Council” certificate block has been replaced

16. A sample PUD Guide was provided as an attachment to this comment letter for your reference. If a separate PUD Guide is desired, please follow this format. However, if you would like to record only one plan set, the provisions of the PUD Guide shall be added to Sheet 1 of the Preliminary Plat under the header “PUD Guide”.

July 18th response: Thank you for the sample guide, we have followed this format.

17. There are multiple locations where “Lot 15” is still referenced. Amend all references to “Tract A”. See various redline documents for instances identified through the review.

July 18th response: All references to “Lot 15” have been changed to “Tract A”

18. It appears the unit types have changed since the last submittal. There are references to an “Antero” unit type that is no longer a model included in the plan sets. Furthermore, there is a new “Duplex, Shantero” which floor plan and elevation design is unknown as it was not one of the three plan sets submitted. Please update the various locations and documents to all be consistent amongst themselves so it is clear what model is being proposed on what lot and what architectural styling is being proposed.

July 18th response: “Shantero” is the townhome name for the building where an “Antero” is on one lot and “Shavano” is on the other. “Shantero” is a hybrid name combining the “Sh” of “Shavano” and “Antero”. No proposed unit types have changed. “Antero” is the 2BR/2BA unit “Shavano” is the 3BR/3BA unit.

Definitions

Antero: a two-story factory-constructed unit type that is 1024 square feet and contains 2 bedrooms and 2 bathrooms. It has a footprint of 16’ wide by 32’ long and a field constructed porch that is approximately 15’ wide and 8’ long. An Antero Unit sits on a single lot.

Shavano: a two-story factory-constructed unit type that is 1216 square feet and contains 3 bedrooms and 3 bathrooms. It has a footprint of 16’ wide by 38’ long and a field constructed porch that is approximately 15’ wide and 8’ long. A Shavano Unit sits on a single lot.

Gray: a two-story factory-constructed unit type that is 1600 square feet and contains 3 bedrooms and 3 bathrooms. It has a footprint of 16’ wide by 50’ long

and a field constructed porch that is approximately 15' wide and 8' long. A Gray Unit sits on a single lot.

Shantero is the factory's name for townhome building with two units joined together on a party wall. The Shantero contains a Shavano and an Antero unit with a fire-rated partition wall between them.

You are correct that "Duplex, Shantero" is not one of the three plan sets submitted. The only three units types will be as follows. I've included the lots that each plan set will be constructed on.

Schematic Plan sets

To directly reference the plan sets that have been submitted for architectural review:

BH1 is a set of two townhomes, constructed on two lots with a Shavano and a Gray. BH1 will be constructed on lots 5, 6, 7, 8, 9, and 10.

BH2 is a set of two townhomes, constructed on two lots with a Shavano and an Antero. This is a Shantero where both porches on the front of the house. BH2 will be constructed on lots 3, 4, 13, and 14.

BH3 is a Shantero, where the Shavano's porch is on the front of the house, and the Antero's porch is on the side of the house. This is to make better use of the corner conditions of lots 1, 2, 11, and 12 and have more front doors on North Laura Street.

The plan sets provided are at a Schematic Design level of resolution. They are intended to give staff an impression of what we are building, so that staff can review the plans against the regulations of the Town's RMC Section 6 – Building Regulations. The PUD Guide will ensure that the architectural design will conform to RMC Building Regulations.

19. The Table of Lot Uses, Lot Dimensions, Setbacks, and Off-Street Parking provided in the PUD Guide has numerous inconsistencies between it and the other documents. For example, the setback distance identified is different than those on the site plan. Please review the attached redlines and make appropriate changes to the submission materials prior to the next submission.

July 18th response: appropriate changes to the submission materials have been made.

20. Review and adequately address the attached redlines to the Preliminary Plat prior to the next submission.

July 18th response: redlines have been reviewed and adequately addressed.

21. Review and adequately address the attached redlines to the Project Narrative prior to the next submission.

July 18th response: redlines have been reviewed and adequately addressed.

22. Review and adequately address the attached redlines to the Architectural Plan Set and Elevations prior to the next submission.

July 18th response: EV Studio was not available to add dimensions until the week of July 25 due to pressing deadlines and short staff due to COVID. We have set the building line well within all

utility easements adjusted the PUD Guide setbacks to reflect, at minimum, the width of the utility easement. Roof overhangs in all cases fall inside of the plane of the porch step, side egress stair, or rear egress stair. We plan to adjust the elevation of the porch so it will require only one step, rather than two. That change is reflected on the 'YBL PUD Site Plan.'

23. Review and adequately address the attached redlines to the Landscape Plan prior to the next submission.

July 18th response: redlines have been reviewed and adequately addressed. However, please see response to review comment #12 with a request for a delayed submittal of the Landscape Plan and final review during building permits.

24. Review and adequately address the attached redlines to the Development Agreement Framework prior to the next submission. There may be more questions or comments on provisions not commented on during future reviews as additional information and clarity of the framework tasks shape.

July 18th response: redlines have been reviewed and adequately addressed.

25. Review and adequately address the attached redlines to the Construction Plans prior to the next submission. A general comment applicable to entire Construction Plan set is to change "Lot 15" to "Tract A" throughout the plan set.

July 18th response: redlines have been reviewed and adequately addressed.

26. Off-Street parking shall be provided in such a manner as to prevent vehicles from backing onto a public right of way. Lots 1-3 and 11-13 require vehicles to back onto rights of way. This will be a consideration the Town Council will weigh in their evaluation of the entire project when it is presented to them. Please provide explanation in your project narrative expressing why this layout is necessary. Furthermore, add a provision to the PUD Guide allowing vehicles to back onto public right of way for the lots where it is proposed. (Sec. 7-3-15(C)(3) of the RMC)

July 18th response: An explanation has been added to the Project Narrative. A provision has been added to the PUD Guide allowing vehicles to back onto public rights of way for the lots proposed.

27. Amend the Title Block to read:

Preliminary Plat for Yellow Brick Townhomes Subdivision
A Planned Unit Development
Replat of Lots 1-12, Block 30, Town of Ridgway
Section 17, T45N, R8W, N.M.P.M.
Ouray County, Colorado

July 18th response: The title block has been amended.

ENGINEERING COMMENTS:

28. The following comments are provided in reference to the Development Agreement Framework:
- The road should be designed to adjoining the streets to which the project will connect.
 - Curb, gutter, and sidewalk need to conform to civil plans.
 - The DA shouldn't prohibit the future formation of an HOA.
 - The Town does not agree with Tract A being owned and maintained by the Town.

- e. There are concerns about the precedent allowing a final plat to be filed and a footing and foundation to be issued prior to completion of the identified public improvements. This provision is not supported.

July 18th response: The Development Agreement Framework has been changed to reflect these comments.

- a. The road design has been drawn to adjoining streets to which the project will connect.
- b. The construction of Curb, Gutter, and sidewalk will conform to civil plans.
- c. We agree, the Covenants and Deed Restrictions do not prohibit the future formation of an HOA. Our language that may have suggested this in the Development Agreement Framework has been reviewed and changed.
- d. Ridgway Homes, LLC will own and maintain Tract A, and we would like the Town to consider owning and maintaining the inlet and drainage pipe.
- e. To incorporate a more modern and efficient building approach, we are utilizing factory built modular homes, where the homes will be built simultaneously to the civil infrastructure improvements. The advantage is lower costs, higher quality, shorter construction period. However, we need to ensure that foundations are ready to receive modules once the modules leave the factory which requires filing a final plat and constructing footings and stem walls prior to the likely completion of identified public improvements. We request that the town allow final plat to be reviewed and conditional approval issued before the public improvements are completed.

29. Please find engineering responses to responses provided and any outstanding comments or questions in the attached pdf. Please address all outstanding items appropriately prior to the next submission.

July 18th response: Please find Goff Engineering responses to responses provided in the submittal documents

As a general note, we are concerned about the cyclical nature of review comments and responses. What needs to be established firmly for us to move forward? What can be resolved and ironed out later?

Please reach out to me at 970 209 2880 or paul@ruralhomesproject.co or my staff, David Bruce, at 603 203 1342 or david@ruralhomesproject.co if you have any additional follow-up questions.

Sincerely,
Paul Major
Manager
Ridgway Homes, LLC

Encl: Project Narrative
Civil Construction Document Set
Dry Utility Plan
Engineering Responses
Preliminary Plat
PUD Guide

Ridgway Homes,
Yellow Brick Lane Townhomes Responses
July 18, 2022
10 of 10

PUD Site Plan
Development Agreement Framework
Proposed Covenants
Architectural Plan Sets
NVIZ Response to Landscape Plan Comments
SMPA letter – in response to easement variance
Cleartown letter – in response to easement variance

Delayed submittal:

Landscape Plan Update
Drainage Report Update
Stormwater Detention Pond Detail (see engineering responses)

Cc: David Bruce, Project Coordinator, Ridgway Homes, LLC
TJ Dlubac, Town of Ridgway Town Planner
Joanne Fagan, Town of Ridgway Town Engineer

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
Civil Plans	3	Typ Rd Sect	All	All sections even under the sidewalk should include scarifying, compacting and testing/proof rolling before the placement of any base	Callout for 6" prepared (scarified, moisture conditioned, compacted, and tested/proof rolled) subgrade (native soils) and a note saying all sections shall include 6" prepared subgrade have been added to all typical sections.	Is that note 3? The fact that its called out on the road section and not the sidewalk its not clear that it applies to the sidewalk	Clarity has been added to General note #3	Its still a bit vague, please be sure the contractor is aware	Contractor is aware
Civil Plans	3	Typ Rd Sect	Frederick	The developer might want to consider the Town's typical section for a local residential street for the Frederick. It has a 24' drive surface with valley pan on each side. Sidewalk is typically a foot of so offset from property line. Between the valley pan and sidewalk allows for gravel on street parking. The sidewalk being farther from the road in some instances can make the ADA ramps easier to design.	Developer awaits verification from Town of Ridgway that only northern half of local road section will be required before decision can be made.	Email response sent 5/4 requested some clarification on what the Developer intended to do	Developer intends to construct roadway section as depicted in construction plans	The road sections show pavement. Is that the plan or not? If not paving the typical sections and cross sections need updated. If are paving may want to discuss getting the half box on Otto paved at the same time	Road cross sections have been revised to show gravel surfacing. Pavement structure has been selected as per our phone conversation on July 15th. (8" class 6 ABC on 10" Class 2 ABC)
Civil Plans	3	Typ Rd Sect		Please add the proposed cross slope for the sidewalk (we recommend a max of 1.8%) and for the shoulder	Cross slope of 1.8% has been added above the sidewalks in the typical sections.	Done	N/A		N/A
Civil Plans	3	Typ Rd Sect	Alley	Drainage for the alley can not be directed to private property	Alley design has been updated to direct northern borrow ditch into storm water pond. Southern borrow ditch to be directed into Otto Steet gutter.	The catch slopes on both sides seems to direct water to private property, We talked about adding an easement along the west side of blk 30 but how does that work on the west side of the alley?	Typical alley section has been updated to show drainage swales on both sides of alley.	Now the drive lane in the alley is only 10 ft wide. It will need to be one way. Also not seeing a drainage easement along the alley for swale that is shown on private property. Did they consider a center drain swale for the alley water? All development water should be	Alley section has been increase to 14 foot width allowing for two way travel. Drainage pattern has been revised to incorporate inverted crown, with site development drainage conveyance to pond in western roadside swale
Civil Plans	3	Typ Rd Sect		Any details from the geotech report that need to be followed during construction should be shown on the civil/construction plans. It is very unlikely Contractor will refer the geotech report in the field.	Note added to sheet G1.02 Construction Notes : " <u>Geotechnical Study For Yellow Brick Lane Housing</u> " by Cesare Inc. January 17, 2022 is considered a part of the project construction documents. Contractor shall review and adhere to all conditions and requirements contained therein.	Note added. Be sure that the study is attached to the contract documents for the construction.	Understood.	Ok.	N/A
Civil Plans	3	Details	Alley	The road section under the alley apron needs to be the same as for the roadways.	Note has been updated within the detail to reflect this.	Done	N/A		N/A
		Typ Rd Sect						the road sections (29 ft to face of gutter) are too narrow for on street parking. The Town prefers valley pan on edges of the road and the sidewalk a little off property line.	The Developer has decided to proceed with the Town of Ridgway " <i>Residential Collector Street-Parking two sides</i> " roadway section which specifies 29 feet of roadway width as shown on the plan setand. Off-street parking has been furnished to all lots as part of the site plan.for 12 out of 14 units. Parking regulations are discussed in the PUD Guide.
		Alley cross sections						Cross sections still show encroachment on the private property to the east	Limits of disturbance for Alley construction have been revised.
		Alley P&P				Page 1 of 9		Have reduced the capacity of the drainage on the east side. Need to demonstrate that the capacity is adequate	Eastside drainage ditch is no longer necessary with revised alley cross section

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
Civil Plans	4	Details				Drain swale is shown at 12" deep with 3:1 side slopes. Does that fit within the property? In an easement?	Typical alley section has been updated to show drainage swales on both sides of alley.	Done. Water from the development needs to be transported on their property not thru the alley.	OK
Civil Plans	5	Details	trench drain			is the grate wheel chair and bike friendly. How thick is the concrete flatwork. Minimum depth for town trench box is 6" as is the depth of the sidewalk. Something on the scaling of the drawing looks wrong	Detail has been revised.	Detail is not per Town standard	Sidewalk Chase Drain is no longer needed due to revised inverted crown alley cross section.
Civil Plans	5	Details				note 1 says sidewalks subject to vehicle load need to be 6". All sidewalk should be 6" fiber reenforced.	Detail has been revised.	No longer have the note.	N/A
Civil Plans	5	Details				Note 10 references city standards. What city?	Note has been updated.	No longer have the note.	N/A
Civil Plans	7	Overview	Water	I thought there was a cross at Frederick and Laura. Did they confirm there is not one?	Existing utilities have been shown as discovered during sub utility locate survey.	OK	N/A		N/A
Civil Plans	7	Overview	Storm	Storm pipe alignment needs to be parallel to the right of way.	Storm pipe has been moved to be parallel with the road.	Pipe has been moved. It will need an easement from RLI.	the existing utility and Beautification/drainage easements (RN 176459) have been annotated on the sheet RD0.01	Added to several sheets, but the problem is until RLI 3 is platted it I don't believe the easement exists. Unless phase 3 of RLI is final platted before YBL, YBL will need to get RLI to get an drainage easement to the Town before YBL final plat	Review of the recorded plat (RN #176459) confirms that drainage easement exists for proposed storm drainage infrastructure, and that Parcel A has been dedicated to TOR
		Frederick P&P	Road			Why does the road end on the east end before reaching Cora. Does the curb and gutter go to Cora? How does the street water get to the barrow ditch on Cora.	Termination of Fredrick HMA and curb and gutter is designed to terminate at station 6+63. Extension of a gravel roadway to Cora street, with associated culvert crossing is proposed.	This is not reflected on the typical sections. Please provide a typical section for the gravel area. If are paving the bulk of the road why is there a short gap?	Design of Fredrick Street extension to Cora has been incorporated into construction drawings
Civil Plans	9	Laura P&P and others	Water	The water line should be extended past all proposed road improvements	Currently the proposed water extends north past Otto St.	Done	N/A		N/A
Civil Plans	9	Laura P&P and others	Survey	Please add installation of centerline monuments at each intersection being developed or improved as part of this project	Callout to install centerline monument at each intersection has been added to all roadway plan and profile sheets.	added	N/A		N/A
Civil Plans	9	Laura P&P and others	Notes	Tees and crosses should be flange end and gate valves should be flange by mechanical joint	Note added to General Water Notes sheet G1.02 Construction Notes, all tee and cross fittings shall be flange end. All gate valves shall be flange by mechanical joint.	Done	N/A		N/A
Civil Plans	9	Laura P&P	Water	There should be a gate valve on the main line north of the FH tee	8" gate valve has been added north of the FH tee on Laura. This will make the 8" gate valve at the 8" tee south of this FH redundant.	Done	N/A		N/A

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
		Laura P&P, Frederick P&P	Water					Have part of the water line 7'+ deep and added vertical fittings to the water line. Please revised to have the water line on top with insulation and without vertical fittings.	Waterline A had been revised to remove vertical bends and have a 4ft burial depth. Near STA 2+57 the Sewer crossing has callout for casing and insulation.
		Frederick P&P	Water					if the water is below the sewer, sealed end encasement is needed no matter the separation.	Waterline A crossing with Storm A near STA. 4+18 has callout for casing with sealed ends.
								The PC directed that road improvements on Frederick need to go all the way to Cora	Design of Fredrick Street extension to Cora has been incorporated into construction drawings
		P&P sheets						All intersections should have street ID signs. Stop signs are needed at every other intersection. Please confirm locations with Town before	Street signage has been added to plans
		Frederick P&P	Water					Show the sewer crossing on the water profile. Also water lines new and existing should be shown in blue and sewer in green. Typically existing are showed	Waterline Profile Sheets have been previously added for clarity. Existing linetype color has been updated to be colored.
		Laura P&P				More roadway could be provided if the sidewalk was at property line rather than 5' to the west of it.	Sidewalk attached to curb and gutter is preferred to facilitate driveways and ADA pedestrian routes while reducing required embankment materials.	Its even easier to make ada work with detached sidewalk at property line. Sidewalks near property line can increase on street parking when full ROW is available.	The Developer has decided to proceed with the Town of Ridgway "Residential Collector Street-Parking two sides" roadway section which specifies 29 feet of roadway width as shown on the plan setand. Off-street parking has been furnished to all lots as part of the site plan.for 12 out of 14 units. Parking regulations are discussed in the PUD Guide.
Civil Plans	10	Otto P&P & others	Curb Ramps	Where are the curb ramp details. Is there enough platform behind the detectable warning to meet ADA?	Curb ramp has been designed per CDOT standards. CDOT details has been added sheet G3.03 Details (3).	added	N/A		N/A
Civil Plans	10	Otto P&P & others	Water	The Town prohibits concrete encasements of water and sewer lines. Please comply with the Town typical encasement detail	Thew word 'concrete" has been removed from 20' encasement callouts.	Not seeing any encasements now.	Utilities has been revised, eliminated need for concrete encasements.	OK	N/A
	12	Otto P&P	Water					Looks like there is only one foot separation from bottom of storm pipe and top of water line. That will require insulation	Callout for insulation and casing is located on sheet W1.03. Waterline Profile Sheets have been previously added for clarity.
	12	Otto P&P	Storm					Why is a sidewalk drain box needed near station 1+65	Sidewalk Chase Drain is no longer needed due to revised inverted crown alley cross section.
Civil Plans	10	Otto P&P & others	Water	It looks like insulation is needed between the top the water line and the storm pipe.	Waterline has been designed with minimum 5' cover. Insulation is not necessary.	There should be at least a foot of separation between the water and storm as the storm conducts cold air to the water main or insulation should be provided between the storm and water	Insulation specification has been added where warranted	Not finding	Reference to Town of Ridgway construction specifications... Waterline Profile Sheets have been previously added for clarity.
		Otto P&P	Sidewalk			Who is completing the sidewalk on Otto to Laura? Its not shown on the Block 30 plans	Sidewalk extension on north side of Otto has been incorporated into this planset. A Cost sharing agreement will be made with RLI.	This will be part of the work that needs to be completed for final plat approval whether or not the agreement is made with RLI	Sidewalk on north side of Otto has been incorporated into YBR construction documents. Ridgway homes intends to engage in cost staring agreement with RLI for its completion.

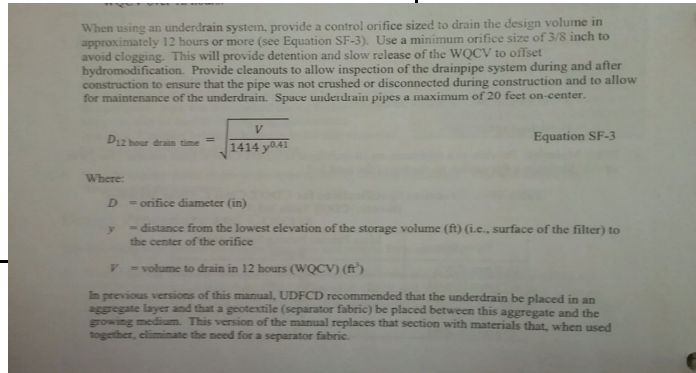
Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
Civil Plans	11	Alley P&P	Power	No new overhead wire infrastructure is allowed in Ridgway. The note about relocation of utility poles is problematic.	The developer is working with SMPA for service to project. Details regarding power and other dry utilities will be furnished with final construction documents.	Will need those utilities on the civil plans before the Town can sign off on the engineering.	The developer has initiated a service application with SMPA, and they are currently working on their design drawings. The Civil construction documents will be coordinated with the power infrastructure once available.	Should be incorporated into the plan set and any required easements shown on the plat	Utility plan sheet has been incorporated into the construction plans and coordinated with the Plat.
		Laura Cross Sections						Catch slopes are shown extending into private property. Think the utility easement on Laura needs to be access and	Catch slopes for west side of Laura have been revised to be coincident with western Laura Street right of way. No access easement necessary as gravel path has been removed.
Civil Plans		Cross sections	drainage	There are some cross sections that look to allow storm drainage to go onto private property.	On-site drainage conveyancers have been designed to direct drainage into on-site storm water pond. Roadway drainage will be conveyed to Town of Ridgway stormwater collection and conveyance systems off-site.	The alley should be 16' wide, yet the catch slopes look to extend to past 10' from centerline. How does that get constructed? Is there enough catch on the non developer side to prevent water from going on to private property.	Alley drainage has been designed to fit within the 16' easement. Cross sections have been updated to show right of way.	There are a few catch lines that appear to extend past the ROW line	Alley design has been raised to prevent storm water from going onto private property.
		Otto Cross Sections						Work is shown extending in Ph 3 RLI property. As for the storm, an easement will need to be dedicated for the easement on	Review of the recorded plat (RN #176459) confirms that drainage easement exists for proposed storm drainage infrastructure, and that Parcel A has been dedicated to TOR
	RD0.01					I am not seeing how the on site water gets to the treatment facility	Interior drainage swales are proposed to serve this function, and have been colored "blue" to provide clarity.	The swale between lots 12 and 13 does not appear to go the treatment facility. At the south end of the swale between 12 and 13, it looks like the water from the west has a choice to go N or E. It should be forced to the east to the treatment facility	developed flow patterns have been revised for clarity.
								The swales look to be running in utility easements. The description of the easements should likely be updated	Easement dedications have been revised to include drairage conveyance.
Civil Plans	16	Sewer A		Is the plan to core thru the bench of the existing manhole or does the new line need to come in on top of the bench?	Channels in the base to be removed and re-constructed to increase sewer service depth. Note has been added to Sewer A profile sheet SS1.01.	The note says to remove the base. If the base is removed, it should be replaced if a new precast base. The Town typically does not allow cast it place bases. Those typically will not pass a vacuum test which all manholes are required to do.	Note has been revised to provide clarity.	OK	N/A
Civil Plans	16	Sewer A	water	What the horizontal separation between the manhole and the water line near 0+00? If the vertical separation is less than 18", the sewer main should be encased	Waterline is within 10ft of sewer manhole. Note to encase waterline has been added to sheet SS1.01.	Added	N/A		N/A
Civil Plans	16	Sewer A	water	Please show the water mains and services and crossings on the sewer profiles. Also show the sewer services on the profiles	Water plan and profiles sheets have been added for clarity and all crossings have been identified.	Sewer services added. The request to add the water info to this sheet was to facilitate checking for conflicts	Understood.	Ok	N/A
Civil Plans	16	Sewer A		What is called MH A1 should be D-A, MH A2 - should be D-A-1 and A3 should be D-A-2	Sewer manhole names have been update accordingly.	done	N/A		N/A

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
Civil Plans	16	Sewer A	water	Is there 18" between the water crossing by station 3+90? If not please show a pipe encasement of the sewer main	The horizontal separation is 10 ft and the vertical separation is 0.8 ft. Encasement is needed.	Water line on profile is shown with 1.7' vertical separation and no encasement. Which is correct?	Response #1 should have read: "...Encasement is NOT needed.	OK	N/A
		Sewer A				MH D-A-1, the line coming in from the south should have 0.2' drop to the invert out.	Plans have been revised to show 0.2' drop at 90 degree bends structures.	OK, D-A should have at least 0.15 ft drop	Plans have been revised to include a 0.15 ft drop across MH D-A.
Civil Plans	17	Sewer B	sewer	Please add stationing on the sewer main	Stationing labels have been made darker.	done	N/A		N/A
Civil Plans	17	Sewer B	sewer	The manhole toward the south end of the alley should be called D-A-1-a	Sewer manhole name have been update accordingly.	done	N/A		N/A
Civil Plans	17	Sewer B	sewer	The rim of the manhole at the south end of the alley should be 6" below grade.	Manhole rim elevation has been adjusted to 6" below finished grade.	done	N/A		N/A
Civil Plans	17	Sewer B	Sewer	Confirm (with calcs) that the lots shown connecting to the existing sewer in Frederick will have 3 ft of cover at building line	Profiles of these services have been added for clarity.	Shown on Sht 20. Do lots 3 and 4 have 3' cover at building line?	FF elevations have been added to sheet RD0.01, and translated onto the profiles on Sht. SS1.04	its the ground elevation at building line that matters for this. It scales about 90 ft from main to building line. At 2% that's 1.8 ft to invert + a little less than 1 ft for the tap and 45's and 4" for the pipe, is 3 or so feet. Lot 4 tap is about 6989 so you would need the ground to be 6995 at building line which is about is shown on sheet RD0.01	Understood, refer to overview plan RD0.01 for overlot grading plan.
Civil Plans	18	Ex sewer	water	Please add the water service crossings to the profile	Water plan and profiles sheets have been added for clarity and all crossings have been identified.	Done	N/A		N/A
		Sewer B	Sewer					The sewer should be encased and then the insulation between it and the water at the crossing	Understood. Plans have been revised
		Water A				On sheets 18 and 23 the water is shown going over the sewer at Otto and Alley. On sheet 21, its shown going under and includes an abrupt change in grade. Why the discrepancy? The Town would prefer to not have the water line change grade or be under the sewer. If the water line needs insulated to protect it, that is an option. If the grade change is absolutely necessary, please explain and use 22.25 fittings not 45's. The sewer needs a sealed end casing when ever its is over a water main. The separation between water and sewer with the casing can be less than 18". The town does not want water mains in excess of 7' deep.	Plans have been revised to account for this requested change. Watermain must be under sewer main at this location to maintain 5ft burial depth. Vertical bend is 11.25 fitting.	As noted above vertical bends are problematic. It looks like there would be 4' of cover over the water is the water goes over the sewer. It also looks like the road could come up a little. The Town prefers the water be above the sewer with the sewer encased and insulation for the water per town standards approved alternate for the insulation as we are seeing some new insulation products that could work	Note from above (cell J:22) Waterline A had been revised to remove vertical bends and have a 4ft burial depth. Near STA 2+57 the Sewer crossing has callout for casing and insulation.
Civil Plans	19	Storm P&P		To what does the text "Storm Drain 2" refer that is to the right of the Otto Street label	"Storm Drain 2" is referring to the storm drain alignment. Name has been changed to "Storm Drain B".	OK	N/A		N/A

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
						What is the riprap shown in the ROW north and east of the detention basin? There is a leader that suggests the spillway is in the ROW too. All stormwater infrastructure except the discharge pipe needs to be on private property.	Spill way has been terminated at ROW.	OK, can it maintained from private property.	10 foot Access and maintenance easements have been added to south and west side of Pond facility, Tract A.
Civil Plans	19	Storm P&P		Please label which invert in goes with which line. Also there should be at least 0.1' drop thru the manhole	Labels have been updated to include pipe direction. All manholes have been verified to have min. 0.1" drop.	done. Should typically have a 0.2' drop with the 90 degree bend.	Plans have been revised to show 0.2' drop at 90 degree bends structures.	Ok	N/A
Civil Plans	19	Storm P&P		What pipe material is proposed for the storm line? (As noted above the storm line needs to run parallel to the right of way.)	ADS N-12 has been specified on Construction Notes sheet G1.02.	OK	N/A		N/A
Civil Plans	21	SWMP	Notes	Note say that BMP's are shown on plan, but I am not seeing them	BMP have been added.	Added	N/A		N/A
Civil Plans	21	SWMP		What are the dotted lines shown more or less along the property lines	Those are limits of disturbance, per cover sheet legend.	OK	N/A		N/A
Plat	1	Plat note	#11	The 5' easement on the lot lines should include the full property line that adjoins any right of way even the general common elements	Easement has been added around the entirety of the property boundary	to who is the 10 ft easement dedicated	Easement dedication note 1 has been revised.	It should be dedicated to the Town not to multiple entities.	Easements have been dedicated as non-exclusive.
Plat	1	Plat	Land use	Why are there more lots than the number of units? To what does the term lot refer?	This count is no longer applicable. In the previous layout, the garages, on separate lots, were not being counted as units.	OK	N/A		N/A
		Plat	Land use			Lot 14 is only 22.25' and "L" shaped. Does that work for the Town?	Pending input from Town Planning	PC said Ok for a PUD	Understood
Plat	1	Plat note	Note 10	Concerns about the poor qualities soils should be reflected in a plat note to put buyers on notice. That should be in addition to referencing the geotech report.	Reference to geotechnical report and findings of high plasticity soils added as plat note #10	Added note that says high plastic soils were found. Is that enough info or should it add that the costs of building will be higher	We do not feel this is necessary, as structures for this subdivision will be developer constructed.	Ok	N/A
Plat	1	Plat note	Note 10	Recommend a note on radon as well.	Radon warning added as plat note #11	added that EPA ID's the area as high hazard	N/A		N/A
Plat	1	Plat note		There should be a plat note about the HOA being responsible to maintain the stormwater system and if they don't allowing the Town to cause the work to be done and charge the homeowners	Plat note has been added to clarify the Town of Ridgway will maintain the stormwater facility on Lot 15	Plat now dedicates lot 15, the storm water treatment site to the Town. I strongly recommend against that being owned by the town. Plat note 3 says the Town will maintain it. Again I strongly recommend otherwise	The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.
Geotech	General			The report is concerned that the soils are too poor to support asphalt. If the soils are too weak for a road with the structure on the civil plans, we have concerns about the soils supporting two story homes.	Structure foundations will be designed in accordance with Geotechnical recommendations	Should that be a plat note?	We do not feel this is necessary, as structures for this subdivision will be developer constructed.	Ok	N/A
Drainage			2.0	Says that the water quality capture volume drains in 12 hours, but in App D, the orifice equation for the underdrain shows a drain time of 13.34 hours	Basin has been redesigned for the new project layout and the underdrain has been resized to provide 12 hrs. of detention time. Refer to App D, for calculation.	Assuming the Town is not taking over the storm water, this would be OK.	The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.
Drainage	App D			What is the basis for using an imperviousness of 0%	This is what was chosen to represent the existing / undeveloped site and results in a conservative allowable release rate.	OK	N/A		N/A

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
Drainage	App D			In the FAA calc, what is the basis for Ci = 0.20 and Co = 0.60	C values have been changed to 0.53 for the 25-yr, 50% Impervious Minor Storm model and 0.60 for the 100-yr, 50% Impervious Major Storm model.	Assuming the Town is not taking over the storm water, this would be OK.	The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.
Drainage	App D			Have several questions about the Summary for Pond P5 sheets. Perhaps it would be more efficient for the Town's and the Developer's engineer to schedule a call so the latter can explain those sheets.	The pond has been redesigned and more notes have been added to the HydroCAD reports to highlight C-values, Rainfall Intensities, and Release Rates, demonstrating how the pond will perform for the Major and Minor Storm events.	Assuming the Town is not taking over the storm water, this would be OK.	The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.
Storm						Spillway is in the ROW	Spill way has been terminated at ROW.	Sheet SD1.01 shows riprap in the ROW.	Rundown and spill way are contained entirely within YBR property. Spill way has been revised to specify concrete pavement
						Where are the dimensions for the pond. Topo in the pond shows square corners. How will those be constructed?	Pond geometry has been revised and annotated on plan sheet SD1.01	Ok, still show rundown encroaching into the alley. The rundown is shown 11.5 long, but there is no dimension to tie it to either property line. Similarly the riprap on the outfall is shown extending into ROW and lacks adequate dimensions. Also not seeing the overall length on the pond. Should TC allow the use of the alley for development storm water transport, we will have to discuss that.	Rundown and spill way are contained entirely within YBR property. Spill way has been revised to specify concrete pavement. Sheet SD1.02 has been added to show full extents of the pond with dimension ties to both riprap spillway and outfall.
						how does one access the pond to maintain it without encroaching on Lot 14 and/or Town ROW?	Maintenance access into pond is envisioned to utilize public alley right of way. Is this prohibited?	Town codes requires easement 10 each side of the lot. Section 11 of the General Requirements has requirements for minimum easements as well Private infrastructure should be maintained from private property. The pond also is against the property line of 14. How does one access those	10 foot Access and maintenance easements have been added to south and west side of Pond facility, Tract A.
						Not finding the 25 year volume difference between existing and developed condition.	The stormwater facility has been sized to attenuate the 100-year (Major) storm event, and discharge at BOTH the 25-year (minor) and 100-year (Major) frequency events. The storage volume associated with the minor event is 582 cubic feet, as shown page 21 of the drainage report. Calculation of the 25-year pre-developed volume is not warranted, only it's associated discharge rate from the pond.	See comments below	

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
YBL Plat Prelim	1		Storm					#2 is dedicating Tract A to _____ for storm water. Be sure this blank does not become the Town	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.
YBL Plat Prelim	2		Storm					#3 Be sure the Town is not listed for storm water maintenance. Should add note that filtration media will be required to be replaced if standing water is present after	Note has been added to construction plan sheet SD1.02
Civil Plans	5	G3.01 Details	Storm					Orifice plate needs to be removable and provide trash rack to prevent orifice clogging	Note added to Sand Filter Water Quality Treatment Facility detail, sheet G3.01.
Civil Plans	5	G3.01 Details	Storm					#4 filter material should be CDOT Class C filter material.	Note added to Sand Filter Water Quality Treatment Facility detail, sheet G3.01.
Civil Plans	5	G3.01 Details	Storm					The invert of the emergency overflow needs to be above the 100yr mesh grate. Top of embankment should be at least 1' above emergency overflow. The current 0.04' higher spillway will be difficult to construct and the void space when utilizing riprap with D50=6in will result in overflow before water enters the	Spillway has been changed to concrete.
Civil Plans	5	G3.01 Details	Storm					How long and where does the underdrain go? No cleanout is shown. No sock needed when using CDOT Class C filter	Note added to Sand Filter Water Quality Treatment Facility detail, sheet G3.01.
Civil Plans	5	G3.01 Details	Storm					Riprap depth should be at least twice the D50 and noted to be angular. D50 should be properly bedded not on top of textile. Refer to p. 28 SW Standards	Note added to both Spillway Section and Rundown Section details, sheet G3.01.
Civil Plans	9	RD0.01	Storm					How does water split at Lots 10, 12 and 13 corner? How is runoff from Lots 11, 12, and 13 getting to the treatment basin?	Drainage flow paths have been revised for clariry re: Lot Lot 10. Drainage swale has been added to address Lot 11-14 runoff.
Civil Plans	9	RD0.01	Storm					Driveways for lots 2 and 3 are in runoff flow paths. Anything to insure they don't obstruct the flow? Is water going N or E	Refer to Overlot grading plan sheet RD0.01 which conveys storm water across gravel driveway. The CCR's for the subdivision specify that drainage conveyances must be maintained.
Civil Plans	26	SW1.01	Storm					There is no forebay for the basin. Required by standards because it eases maintenance and without it the effectiveness and infiltration rate of the filter media will decrease rapidly	Forebay will be incorporated into pond facility. Revised drainage report forthcoming July 22nd.
Civil Plans	26	SW1.01	Storm					What's the maintenance plan for the basin?	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.

Document	Pg	Sht Name	Detail	Town Comments Review #1	Goff Comments	Town Comments Review #2	Goff Comments	Town 070122	Goff Comments
Civil Plans	25		Storm					Why no inlets at curb and gutter? Confirm with RLI plans whether it is needed.	Per review of RLI development plans, historic and developed drainage pattern trends northeasterly. No underground conveyance systems are proposed as part of RLI improvement plans.
Civil Plans	25		Storm					Pipe heading West from SDMH 1 - where does it go, does it daylight, is there an inlet there, etc? Coordinate with DLT	This pipe was requested by Town Engineering
Drainage Report	13		Storm					Filtration media should not be included in storage volume of detention pond	Sand media void space has been revised to assume zero% perviousness. Revised drainage report forthcoming July 22nd.
Drainage Report	16		Storm				Unsure how the Orifice Equation for Underdrain was derived but MHFD utilizes the following equation also seen at right. D12 = (V/(1414y^0.41))^0.5 D12 = (392/(1414*1.5^0.41))^0.5 = 0.48in dia orifice	Recalculated orifice diameter using Equation SF-3.	
Drainage Report	16		Storm				C100 = 0.5 not 0.6, refer to Table 1. This changes acceptable 100yr release rate to 2.2cfs not 2.646cfs	Changed C100 to 0.5 and used 2.21 cfs as the new Q100 allowable discharge.	

August 1, 2022

Ridgway Homes, LLC
c/o David Bruce
PO Box 4222
Telluride, CO 81435

SENT VIA E-MAIL TO david@telluridefoundation.org

RE: Yellow Brick Townhomes Subdivision, Resubmitted Sketch and Preliminary Plat/PUD 3rd Review Comments.

Dear Mr. Bruce:

The above-mentioned application and supplemental materials were reviewed by the Town of Ridgway staff. The enclosed comments represent the findings of the review against applicable Town of Ridgway (Town) development and land use regulations.

Many of the review comments provided in previous review letters have been adequately addressed. Only comments provided in this 3rd review letter require additional action.

PLANNING COMMENTS:

The following items must be addressed and resubmitted to the Town to be reviewed and evaluated:

1. Add the schematic plan sets anticipated to be placed on each lot in the PUD Guide. This information appears to have been removed from submitted materials. It was in the Architectural Plan Set but only some of that information was relocated into the Project Narrative in the July 18, 2022, submission. In the July 18th submittal, this information was only provided in the response letter but shall be located in the PUD Guide.
2. Add colored renderings of building elevations for each schematic plan set (e.g., BH1, BH2, and BH3) to the PUD Guide to be reviewed and approved by the Town prior to the Preliminary Plat and PUD being signed and executed by the Town. The building elevations appear to have been removed from submitted materials. They were in the Architectural Plan Set but only some of that information was relocated into the Project Narrative in the July 18, 2022, submission.
3. An updated front yard landscaped area calculation shall be provided, reviewed, and approved by the Town in accordance with the timelines detailed in the Development Agreement.
4. Update the Landscape Plan to correctly identify, calculate, and depict the required landscape area as 40% and further adjust all calculations in the Required Landscape table (Sheet L1) accordingly to be reviewed and approved by the Town in accordance with the timelines detailed in the Development Agreement.
 - a. While landscaping standards are generally applied to individual lots, this provision is not depicted on a lot-by-lot basis within the application materials. Therefore, the cumulative amount of landscape area for the entire project area will be tracked by the Town as building permits are submitted and reviewed. This means some lots *may* be allowed to provide under the required 40% while others *may* be required to provide over the 40%. The Landscape Plan shall dictate the landscape requirements for the Yellow Brick Townhomes Subdivision.
5. Update the Landscape Plan to reflect the updated lot sizes and layouts depicted in the updated Preliminary Plat submitted on July 18, 2022. Submit this updated plan to the Town for review and approval in accordance with the timelines detailed in the Development Agreement.
6. All redlines provided within the attached Landscape Plan shall be addressed in accordance with the timelines detailed in the Development Agreement.

7. All redlines provided within the attached Preliminary Plat shall be addressed prior to the Preliminary Plat and PUD being signed and executed by the Town.

The following comments are for informational purposes to clearly explain variations from the normal review process that the applicant has requested:

8. The **amount and type of landscaping** provided throughout this project will be reviewed against the PUD standards on a lot-by-lot basis at the time of building permit review. No building permit, including a footing and/or foundation permit, shall be issued without the applicant submitting adequate landscaping plans and the Town confirming the lot layout complies with all applicable landscape standards.
9. Specific **setback distances** for most buildings, including features such as overhangs, porches, staircases, and walkways, were not identified in the latest round of submittal materials. Therefore, setbacks will be reviewed against the PUD standards on a lot-by-lot basis at the time of building permit review. The applicant shall cause the building permits to meet the dimensional standards of the PUD Guide. No additional variations, waivers, nor encroachments will be allowed outside of the strict interpretation of the PUD Guide and applicable standards of the Ridgway Municipal Code. No building permit, including a footing and/or foundation permit, shall be issued without the applicant submitting an adequate site plan depicting required setback distances and the Town confirming the lot layout complies with all applicable dimensional standards.

ENGINEERING COMMENTS:

10. The roadway cross sections should be amended to best utilize the amount of right-of-way available. In order to accomplish this, the sidewalks should be pushed to within 1' of the ROW line, a minimum of a 5' sidewalk should be provided with curb and gutter, on-street parking, a concrete valley pan, and then the gravel travel lane. The final cross sections for each roadway will need to be approved by the Town Engineer prior to the Town signing and executing the Preliminary Plat and PUD.
11. Please find engineering responses to previous comments provided and any outstanding comments or questions attached. All comments shall be adequately addressed and approved by the Town prior to the Preliminary Plat and PUD being signed and executed by the Town.

Please reach out if you have any questions regarding these review comments at 970-744-0623 or tdlubac@planstrategize.com.

Sincerely,

COMMUNITY PLANNING STRATEGIES, LLC



TJ Dlubac, AICP
Contracted Town Planner

Encl: CPS Redlines dated July 28, 2022
Engineering Review Comments Dated June 27, 2022

Town of Ridgway
Yellow Brick Townhome Subdivision PUD
August 1, 2022
3 of 3

Cc: Paul Major, Manager, Rural Homes, LLC
Preston Neill, Town of Ridgway Town Manager
Joanne Fagan, Town of Ridgway Town Engineer

General Comments:
1) Add building elevations.
2) Add schematic plan sets anticipated
to be placed on each Lot.

Planned Unit Development Guide
for
Yellow Brick Lane Subdivision
Lots 1-14 and Tract A

Recommended for approval by the Town of Ridgway Planning Commission
on_____ day of _____, 2022

Approval by the Town of Ridgway Town Council
on_____ day of _____, 2022

Recorded with the Ouray County Clerk and Recorder
at Reception Number _____
on_____ day of _____, 2022

1. Relationship with Ridgway Municipal Code (“RMC”):
 - a. The standards and provisions set forth in the Yellow Brick Lane Subdivision Planned Unit Development Guide (“PUD Guide”) provide development standards, permitted uses, and general administration provisions applicable to Lots 1-14 and Tract A of the Yellow Brick Lane Subdivision (“Property”)
 - b. When there is a conflict between the provisions of this PUD Guide and the RMC, the PUD Guide shall apply
 - c. All standards, guidelines, procedures, and other provisions of the RMC, which are not explicitly identified or addressed in this PUD Guide, and as may be amended from time to time, shall apply to the Yellow Brick Lane Subdivision
 - i. For the purposes of applying RMC provisions, the underlying zoning district, HR Historic Residential, shall be assigned to Lots 1-14 and Tract A of Yellow Brick Lane Subdivision
 - d. All enforceability and administrative provisions of the RMC shall be applicable and enforceable in this PUD Guide.
2. Intent:
 - a. Yellow Brick Lane Townhomes consists of 14 townhome units that will be permanently deed-restricted for the workforce. In order to reasonably maximize the use of this site for the purpose of affordable workforce housing and develop the site economically, in a manner that is conducive to selling units between 60-120% of Ouray County’s Area Median Income, we are requesting that the Town consider variances to the proposed density, variances to the Town’s dimensional requirements, and variances to required improvements and infrastructural standards.
 - b. The Town will receive significant public benefit, through both the development of affordable housing and the construction of Town infrastructure in three currently undeveloped Right of Ways. Despite the Planned Unit Development request, the project has been designed in a manner that will provide general conformity with the Town’s Master Plan. Secondly, all uses proposed as part of this development are classified as permitted uses within the Town’s Historic Residential Zoning District.
3. Uses By Right:
 - a. Dwelling, Townhouse
 - b. Public Utility Service Facilities
 - i. Stormwater Detention Facilities
 - c. Accessory Uses
4. Use Covenant:
 - a. The use and occupancy of the Housing Units in the PUD are governed by the Rural Homes Deed Restriction Covenant for Yellow Brick Lane and the Rural Homes Deed Restriction Guidelines for Yellow Brick Lane and will apply to Lots 1-14, hereafter referred to as “DR.”
5. Prohibited Uses:
 - a. Short Term Rental
 - b. Home Occupation other than allowed uses, per DR §8.3
 - c. Creation of Additional Unit, per DR §8. In no event shall declarant create an additional “Dwelling Unit” as defined in the RMC, in or as part of the Housing Unit unless authorized by the Housing Authority in writing and allowed by the zone district and subject to all local building and planning codes and permissions.
 - d. Alternation of Housing Unit, per DR §9. The Housing Unit shall not be altered, demolished, partially demolished, released from these covenants, or relocated, unless and except in compliance with the Guidelines and the applicable Land Use Code provisions in effect at the time of the application for alteration, demolition, release, or relocation.
6. Dimensional Standards
 - a. Please see table attached as Exhibit 1 for the PUD dimensional standards
 - b. Please see attached ‘YBL PUD Site Plan’ that illustrates lot sizes, and dimensional standards
7. Parking Standards
 - a. All standards, guidelines, procedures, and other provisions of the RMC Section 7-3-15 - Dimensional and Off-Street Parking Requirements, which are not explicitly identified or

addressed in this PUD Guide, and as may be amended from time to time, shall apply to the Property

- b. The requested waivers for the Yellow Brick Lane Subdivision include:
 - i. Lot 1 & Lot 11 are only required to have 1 space per dwelling unit
 - ii. Lots 1-3 and Lots 11-13 are not provided sufficient maneuvering area as described in RMC section 7-3-15(C-3). Homeowners and their guests of these lots will be permitted to back onto public streets
8. Sign regulations
 - a. All standards, guidelines, procedures, and other provisions of the RMC 7-3-17 – Sign Regulations, as may be amended from time to time, shall apply to the Property
 - b. “No Parking Anytime” signs shall be installed by the Owner along N. Laura Street, in compliance with Town Regulations
9. Landscaping Regulations
 - a. All standards, guidelines, procedures, and other provisions of the RMC 7-7 – Landscape Regulations, as may be amended from time to time, shall apply to the Property
 - b. Landscaping shall be installed and maintained in accordance with the approved Landscape Plan
 - c. Allowed fencing will follow all standards, procedures, and other provisions of RMC 6-3-1 – Fence, Hedge and Wall Restrictions and will be constructed as depicted on the approved Landscape Plan - Detail 1 on Sheet L1
10. Residential Design Guidelines
 - a. All residential structures on the Property shall comply with the following sections of the RMC, as may be amended from time to time:
 - i. Section 6-4, Fence, Hedge and Wall Regulations
 - ii. Section 6-5, Outdoor Lighting Regulations
 - iii. Section 6-6, Residential Design Standards
 - iv. Chapter 14, Public Property
11. Definitions:
 - a. Terms, phrases, and words used in the PUD Guide shall have the following meanings.
 - i. All terms, phrases, and words used in the PUD Guide shall have the same meaning as those used or defined in the RMC except for those defined in this Section 10.
 1. Stormwater Detention Facility: *a constructed depression in an urban landscape that receives and stores the stormwater runoff from adjacent drainage areas.*

Exhibit 1: Dimensional Standards of Yellow Brick Lane Townhomes PUD

Exhibit 1: Dimensional Requirements: YBL PUD

Use		Minimum Lot		Max. Lot Coverage (%)	Min. Setbacks (ft)				Structure Height
		Width (ft)	Size (sf)		Front	Rear ⁽¹⁾	Side ⁽¹⁾	Max. Side on Corner Lot	
YBL PUD	Townhome	25	1900	60	10	8	3 ^(7,8)	5 ⁽⁸⁾	27

Might be better to put this table within the standards directly below the Dimensional Standards section.

Currently existing notes in RMC 7-3-15 - Dimensional and Off-Street Parking Requirements

⁽¹⁾ When the rear or side lot line abuts an alley, the setback shall be a minimum of two feet

⁽⁷⁾ If a single-family or duplex dwelling is five feet or less from the side property line, a fire suppression system is required. Fire suppression systems are required in all other buildings per

Notes specific to the Yellow Brick Lane Townhomes Planned Unit Development

⁽⁸⁾ SMPA has allowed for a reduced easement from 10' to 5' on the west side of Lot 11, the covered porch structure can encroach up to, but not within 5 feet of the property line.

⁽⁹⁾ If a single family townhome shared partition wall is set on a side yard property line, then the setback will be 0 feet

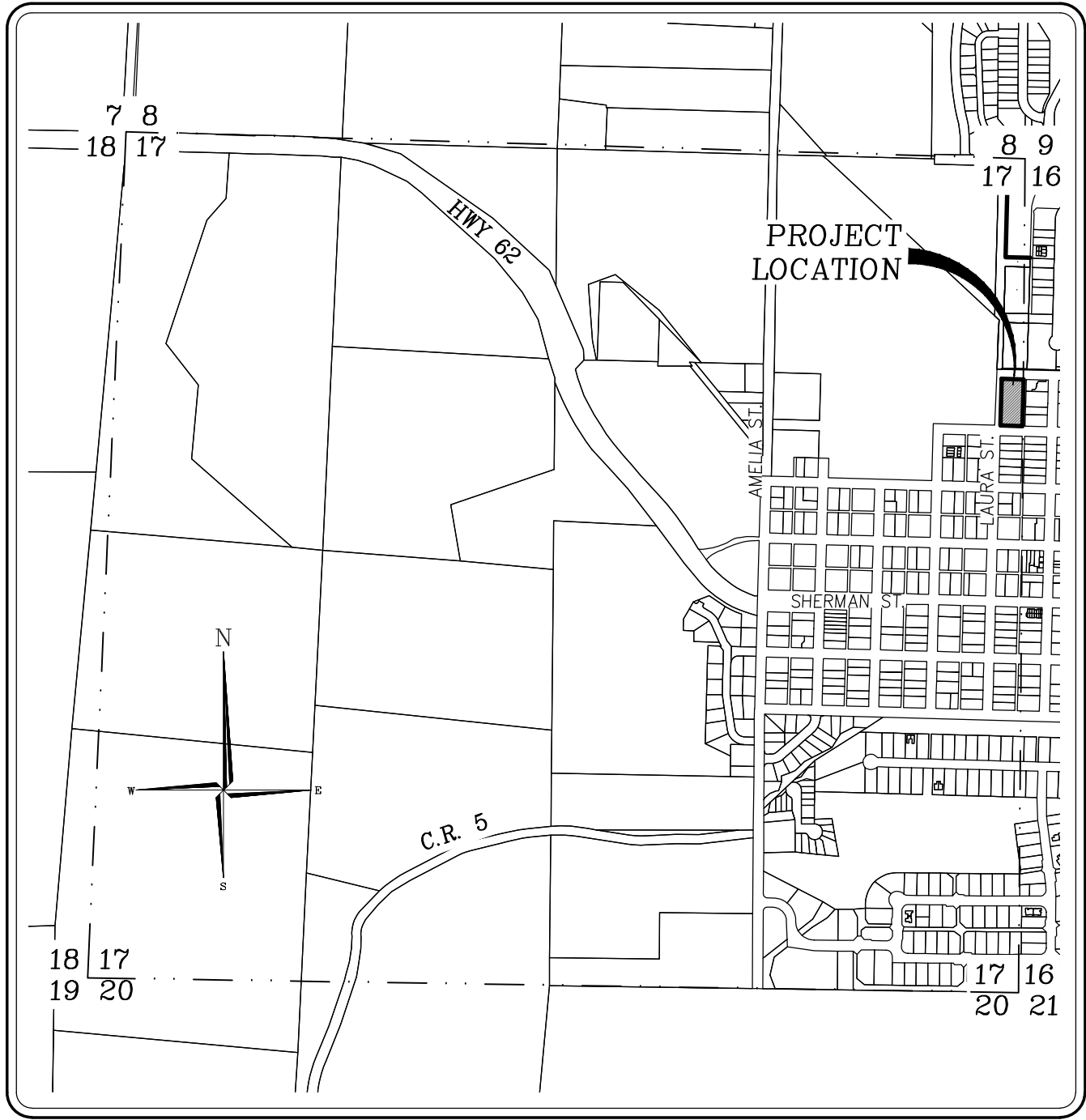
This is ambiguous. Is the reduced easement and encroachment only allowed on the west side of Lot 11?



1. North Laura Street ROW to the west of the subject property is a variable width as it borders on the Wolf Ranch property line. Therefore, we request that the design and construction of the extension of North Laura Street, could be considered as a partial right of way.
 - Goff Engineering has designed a partial right-of-way that allows for 2- way traffic. It will be constructed as a partial right-of-way with the intention of being completed once the remaining portion of the ROW is able to be dedicated or obtained and property boundaries are adjusted.
 - For additional information, refer to sheet G2.01 in the accompanying preliminary plat and Goff Civil Engineering Construction Document Set.
2. 16' wide alley vs. 20' wide alley
 - Goff Engineering has designed a 14-foot-wide driving lane allowing two way travel inside of the platted 16' right of way. The drainage pattern has been revised to incorporate an inverted crown, with drainage conveyance to the stormwater detention pond. The 16' width as proposed is less than the 20' Town Standards given the nature of the existing property boundary on the existing plat. In the planning and zoning commission hearing for this application, we heard from Mayor John Clark that many alleys in Ridgway are 16' wide and this was not a concern to him or to the commission.
3. Gravel Roads instead of Asphalt paving
 - Given the surrounding context of gravel roads, we can directly reduce the cost of the units by matching the existing roads on Frederick and N Laura and building a gravel road section.
 - The design for the final gravel road section will be reviewed and approved by the Town's engineer prior to construction. the town signing and executing the Preliminary Plat and PUD.

Part V: Design and Development Standards:

- We are in the process of working with EV Studio, an architecture firm based in Denver, to work through the site specific and lot specific designs of the homes to ensure that we will conform to the 2018 International Residential Code and the regulations of the RMC. They have issued us some schematic plans that are attached to this application, as BH-1, BH-2, and BH-3.
 - Here are some of our known design standards:
 - The siding will be DiamondKote - see Exhibit 1 to this document a color study for examples of how the elevations of N Laura Street could look. We have proposed a color for each lot in Exhibit 1. However, specific colors have not yet been assigned to each unit. We have provided the color attachment to show the color swatches and siding types that are available through the modular manufacturing process with Fading West. However, colors may change due to supply chain constraints, and we may have to pivot. We anticipate a full RMC design standard and architectural standard review during building permit review process.
 - Units will provide relief and contrast on front and side elevations
 - Units will provide a variation of building mass and height and respond to the existing development context
 - There are no garage doors on front elevations
 - We will provide color variations to avoid substantially similar elevations adjacent to each other.
 - The development will conform to Town's Development Standards described in RMC 6-6-4 Residential Design Standards Development Standards



VICINITY MAP
SCALE : 1" = 1000'
SECTION 17, T 45 N, R 8 W, N.M.P.M.

GENERAL DEDICATIONS:

- The five (5) and ten (10) foot wide ~~non-exclusive~~ access, maintenance, drainage & Utility easements, as shown hereon, are hereby dedicated for the purpose of ingress and egress, installation, operation, maintenance, reconstruction, improvement, replacement and removal of underground utilities and drainage facilities, together with their related equipment, as defined in the Declaration of Covenants, Conditions, and Restrictions for Yellow Brick Townhomes Subdivision.
- Tract A, as shown hereon, is hereby dedicated to Ridgway Homes LLC for the purpose of stormwater management, and as an access & utility easement. No habitable structures shall be allowed on this tract.
- The ten (10) foot wide access & maintenance easement, as shown hereon, is hereby dedicated to the ~~Ridgway Homes LLC and the~~ Town of Ridgway for the purpose of ingress and egress, installation, operation, maintenance, reconstruction, improvement, replacement or removal of related equipment as defined in the Declaration of Covenants, Conditions, and Restrictions for Yellow Brick Townhomes Subdivision.

Break out into three sentences..." after "management"

PLAT NOTES:

- Research for recorded easements and rights of way was conducted by Land Title Guarantee Company and this property may be subject to the easements, rights and restrictions as listed in their Title Policy Order No. OU85007294.
- Unit owners in Yellow Brick Townhomes will qualify for the Yellow Brick Townhomes Deed Restriction and Yellow Brick Party Wall Agreements and are subject to the Declaration of Covenants, Conditions and Restrictions of the Yellow Brick Townhomes as recorded in the Office of the Ouray County Clerk and Recorder at Reception Number _____.
- Tract A will be reserved for stormwater management and no habitable structures are allowed on the tract. Stormwater detention facilities located on Tract A will be maintained by Ridgway Homes LLC.
- All construction will conform with Ridgway Municipal code.
- All outdoor lighting shall conform to Ridgway Municipal Code Section 6-5 "Outdoor Lighting Regulations" including dark sky requirements.
- Snow removal within the ~~planned unit development and in~~ right of way is the direct responsibility of the homeowners of Yellow Brick Townhomes and will be managed by the Declaration of Covenants, Conditions, and Restrictions for Yellow Brick Townhomes recorded under Reception No. _____.
- Landscape and irrigation is the direct responsibility of the homeowners of the Yellow Brick Townhomes.
- No new streets or alleys are proposed as part of this project.
- According to FEMA Flood Insurance Rate Map 0801380001D Community Panel Number 080138 0001 D dated September 27, 1985 this parcel is within Zone C; Areas determined to be outside 500 year floodplain.
- A geotechnical study has been provided: Project No. 21.6189 dated January 17, 2022 by Cesare, INC. Geotechnical Engineers & Construction Materials Consultants Project No. 21.6189 dated January 17th, 2022. High plasticity soils were found on site.
- The U.S. Environmental Protection Agency map of radon zones indicates that Ouray County, Colorado is in Zone 1 (highest risk for exposure to radon gas).

, the Development Agreement, construction standards, and the Yellow Brick Lane PUD.

...Yellow Brick Lane Townhomes Subdivision and in the adjacent...

Remove this note and place it in the CC&Rs

PRELIMINARY PLAT FOR YELLOW BRICK TOWNHOMES SUBDIVISION A PLANNED UNIT DEVELOPMENT Replat of Lots 1-12, Block 30, Town of Ridgway

LOCATED IN THE NE1/4 OF SECTION 17, T 45 N, R 8 W, N.M.P.M.
OURAY COUNTY, COLORADO

ATTORNEYS CERTIFICATE:

I, _____ an attorney at law duly licensed to practice before the courts of record of Colorado, do hereby certify that I have examined the title to all land herein platted and that title to such lands in the dedicators and owners, and that the property dedicated hereon has been dedicated free and clear of all liens and encumbrances, except as follows:

Dated this _____ day of _____, 2022

By: _____
Attorney at Law

APPROVAL OF TOWN ATTORNEY:

Approved for recording with the Town of Ridgway Town Clerk this _____ day of _____, 2022

By: _____
Bo Nerlin, Town of Ridgway Town Attorney

PLANNING COMMISSION:

Recommended for approval by the Planning Commission this _____ day of _____, 2022

By: _____
Michelle Montague, Town of Ridgway Planning Commission Chairperson

TOWN COUNCIL:

Approved by the Town Council this _____ day of _____, 2022.

By: _____
John Clark Mayor, Town of Ridgway Mayor

LAND USE TABLE

Total no. of Lots	=	14
Average lot size	=	0.065 Acres (2,831.412 Sq.Ft)
Total acreage	=	0.977 Acres (42,558.294 Sq.Ft)
Residential density	=	14.3 Units/acre
Lots 1 - 14	=	Residential
Tract A	=	Storm Water Management

**CERTIFICATE OF OWNERS
KNOW ALL MEN BY THESE PRESENTS:**

That RIDGWAY HOMES, LLC., whose address is P.O. Box 4222 Telluride, Colorado 81435, being the legal and record owner of Lots 1-12 of Block 30, Town of Ridgway, Colorado;

Has caused the same to be adjusted and resubdivided under the name and style of the YELLOW BRICK TOWNHOMES and further consists of:

LOTS 1-14 and Tract A

THIS PLAT IS HEREBY EXECUTED BY THE FOLLOWING PARTIES:
RIDGWAY HOMES, LLC

By: _____
PAUL MAJOR - MANAGER

STATE OF _____ : SS:

COUNTY OF _____ :

The foregoing instrument was acknowledged before me by Paul Major, Manager Ridgway Homes, LLC on this _____ day of _____, 2022, for the aforementioned purposes.

My Commission Expires _____ Notary Public

ENGINEER'S CERTIFICATE:

I, _____, a Registered Professional Engineer in the state of Colorado, do certify that the curb, gutter, sidewalk, sanitary sewer system, water distribution system, fire protection system and storm drainage system for this development are properly designed, meet the Town of Ridgway specifications, and are adequate to serve the development shown hereon.

Robert S. Harries, P.E.
Colorado Registration No. 35876

Date

CERTIFICATE OF SURVEYOR:

I hereby state that this survey and plat were prepared from field notes of an actual survey performed by me or under my direct responsibility, supervision and checking, and from documents recorded in the Office of the San Miguel County, Colorado, Clerk and Recorder, and that, in my professional opinion, they are true and correct to the best of my knowledge, belief and information based on the standards of care of Professional Land Surveyors practicing in the State of Colorado. This survey is not a guaranty or warranty, either expressed or implied.



Robert L. Trudeau, P.L.S.
Colorado Registration No. 38007

Date

NOTICE:

According to the laws of the State of Colorado, any legal action based upon any defect in this survey must commence within three years after such defect was first discovered. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

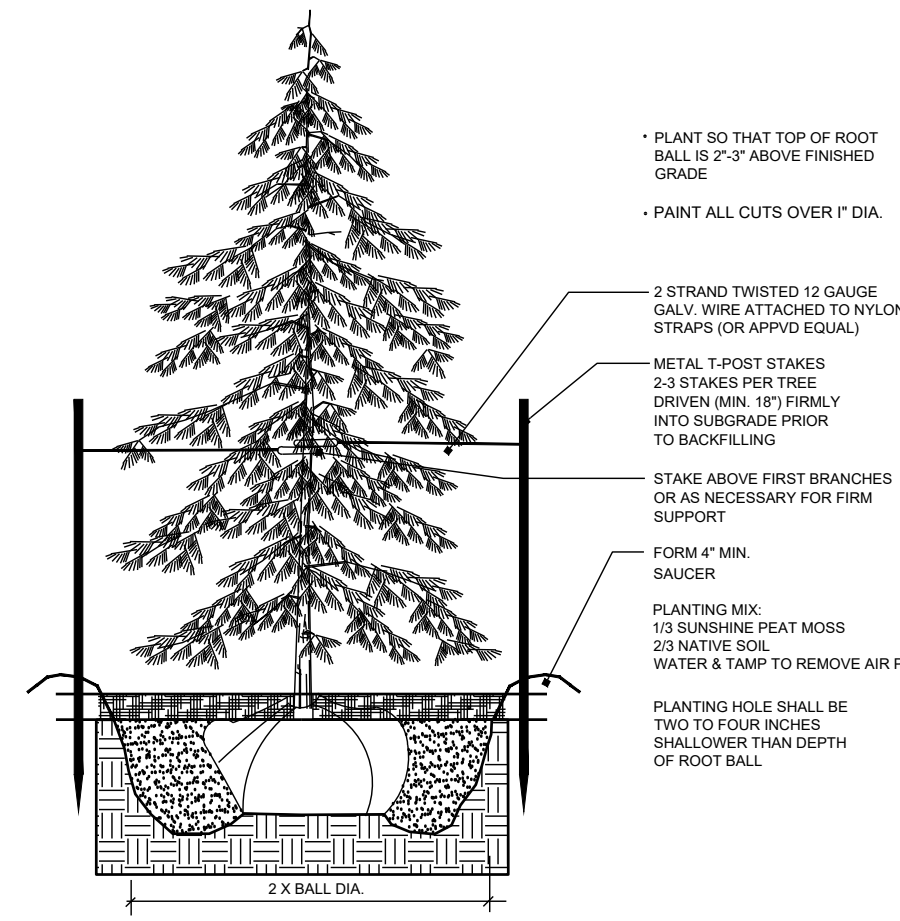
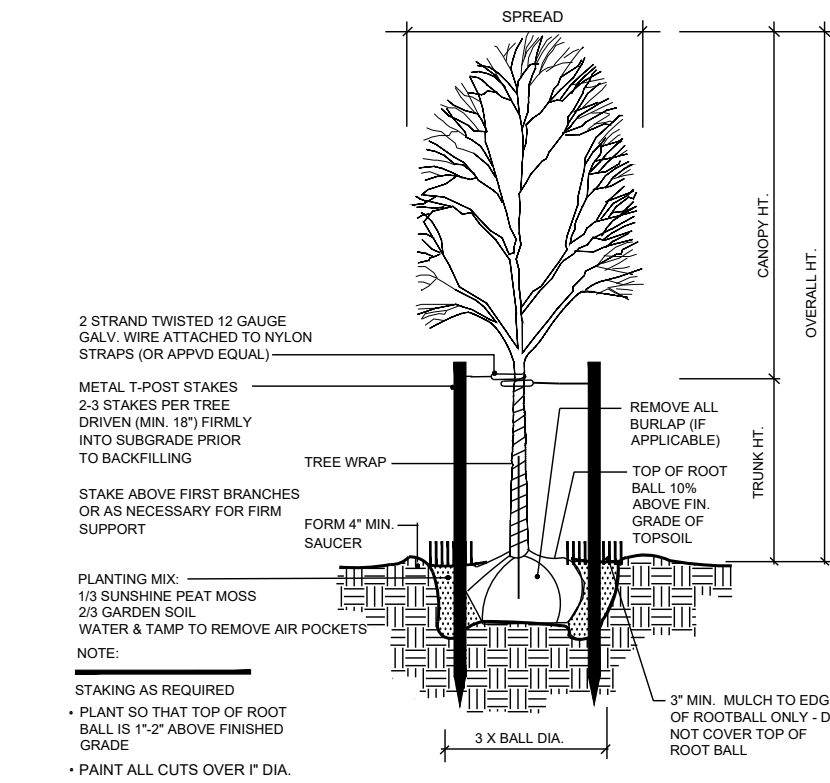
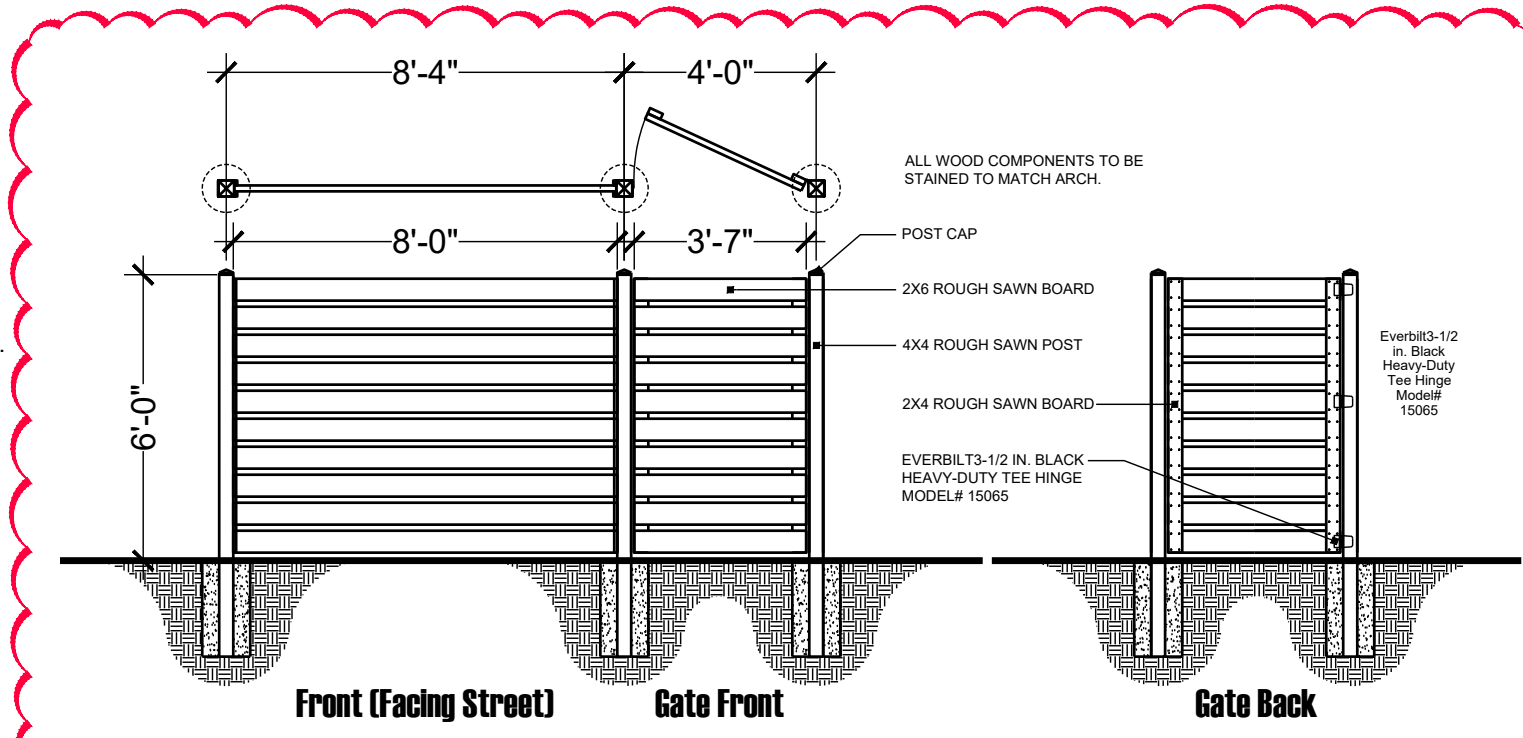
GOFF ENGINEERING + SURVEYING INC 126 ROCK POINT DRIVE PO BOX 97 DURANGO, COLORADO 81302 970.247.1705	PRELIMINARY PLAT FOR YELLOW BRICK TOWNHOMES SUBDIVISION A PLANNED UNIT DEVELOPMENT Replat of Lots 1-12, Block 30, Town of Ridgway LOCATED IN THE NE1/4 OF SECTION 17, T 45 N, R 8 W, N.M.P.M. OURAY COUNTY, COLORADO		SHEET 1 OF 2
	PREPARED BY: KN	CHECKED BY: RT	
	PROJECT NO. 21-160	SCALE: AS SHOWN	
	DATE: 07/18/2022		
Goff Engineering & Surveying, Inc. expressly reserves the common law copyright and other property rights in these plans. These plans are not to be changed or copied in any form or manner whatsoever nor are they to be assigned to any third party without first obtaining written permission and consent of Goff Engineering & Surveying, Inc. ©			

Landscape Notes

1. INSTALL ROCK MULCH IN ALL SHRUB BEDS. INSTALL WEED BARRIER UNDERLAYMENT MATERIAL AND TOPDRESS WITH MULCH MATERIAL TO MIN. 3 INCH DEPTH.
2. PREP ALL PLANTING AREAS WITH MIN. 4 CU YDS PER 1,000 SF WITH GOOD QUALITY COMPOSTED ORGANIC MATTER. FIRST, DECOMPACT ALL PLANTING AREA SOILS TO A MIN. DEPTH OF 6 INCHES PRIOR TO TILLING. TILL AND INCORPORATE AMENDMENT TO A MIN. DEPTH OF 6 INCHES.
3. LANDSCAPE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE MEANS, METHODS OR APPROPRIATENESS OF CONSTRUCTION AND SAFETY PROCEDURES CHOSEN BY ANY CONTRACTOR.
4. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE INSTALLED AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY.
5. INSTALL TREES A MINIMUM OF FOUR (4) FEET FROM BACK OF CURB, EDGE OF WALL, OR PAVING.
6. FORM 30 INCH WATERING BASIN AROUND ALL TREES. FILL BASIN WITH 1-1/2 INCH LAYER OF WOOD CHIPS OR COMPOST.
7. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT SCHEDULE FOR KEY AND CLASSIFICATION.
8. ALL PLANT MATERIAL OUTSIDE OF THE LIMIT OF CONSTRUCTION LINE MUST REMAIN UNDISTURBED.
9. ALL MATERIALS NOT TO BE REMOVED WILL BE MARKED CLEARLY WITH FLAGGING TAPE, PROTECTIVE FENCING, OR OTHER APPROVED BARRIER PRIOR TO CONSTRUCTION.
10. IDENTIFY LOCATIONS OF ALL UNDERGROUND UTILITIES THAT MIGHT BE DISTURBED BY LANDSCAPE ELEMENTS PRIOR TO CONSTRUCTION.
11. (OMITTED)
12. RECORD ALL CHANGES ON A REDLINED PLAN AND SUBMIT TO THE OWNER & LANDSCAPE ARCHITECT FOLLOWING CONSTRUCTION.

Irrigation Notes

1. THE IRRIGATION SYSTEM SHALL COMPLY WITH RIDGWAY MUNICIPAL CODE 7-7-7 - GENERAL LANDSCAPE STANDARDS (F)IRRIGATION: TO ENSURE BEST PRACTICES FOR WATER CONSERVATION, ALL NEW LANDSCAPING SHALL COMPLY WITH THE FOLLOWING IRRIGATION STANDARDS:(1)IRRIGATION SHOULD BE LIMITED TO BETWEEN THE HOURS OF 6:00 P.M. AND 9:00 A.M.(2)ALL IRRIGATION SYSTEMS SHALL BE AUTOMATIC AND HAVE MOISTURE SENSORS INSTALLED.(3)WHERE POSSIBLE, NON-POTABLE IRRIGATION SYSTEMS SHOULD BE USED TO IRRIGATE LANDSCAPE.
2. THE IRRIGATION SYSTEM SHALL CONSIST OF AN UNDERGROUND PRESSURIZED SYSTEM THAT WILL PROVIDE DRIP COMPONENTS TO THE SHRUBS AND TREES.
3. IRRIGATION CONTROLLER SHALL BE A "WATER SENSE" SMART IRRIGATION CONTROLLER.
4. PROVIDE DRIP IRRIGATION TO ALL SHRUBS AND TREES (TREES-8 GPH PER TREE, SHRUBS-2 GPH PER SHRUB, PERENNIALS-1 GPH PER PLANT).
5. THE IRRIGATION SYSTEM SHALL USE DOMESTIC WATER PROVIDED FROM THE TOWN OF RIDGWAY.
6. A COUNTY APPROVED BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AFTER THE POINT OF CONNECTION AND DOMESTIC METER.



4 Shrub Planting



Yellow Brick Lane Townhomes

Ridgway, Colorado



RURAL HOMES:
FOR SALE, FOR LOCALS
P.O. Box 4222,
Telluride, CO
81435

www.ruralhomes.co

David Bruce, Project Lead
C: 603 203 1342

E: david@telluridefoundation.org

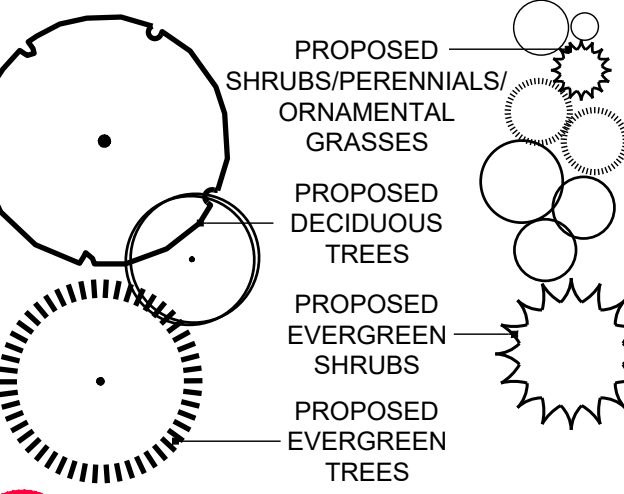
Landscape Architect:



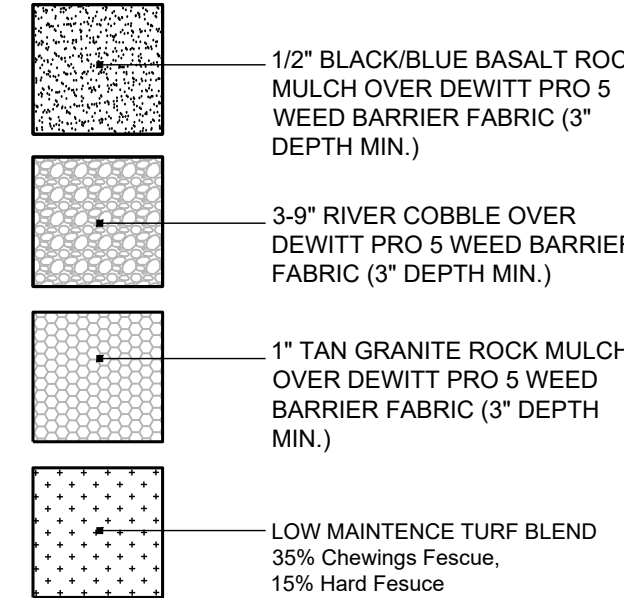
Registration:



Legend



6" H FENCE - SEE 1/L1

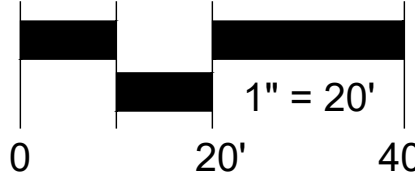


Again, to our knowledge, Kentucky Bluegrass is not a drought tolerant mix. Please provide an explanation on how this mix meets Sec. 7-7-7(E) of the RMC.

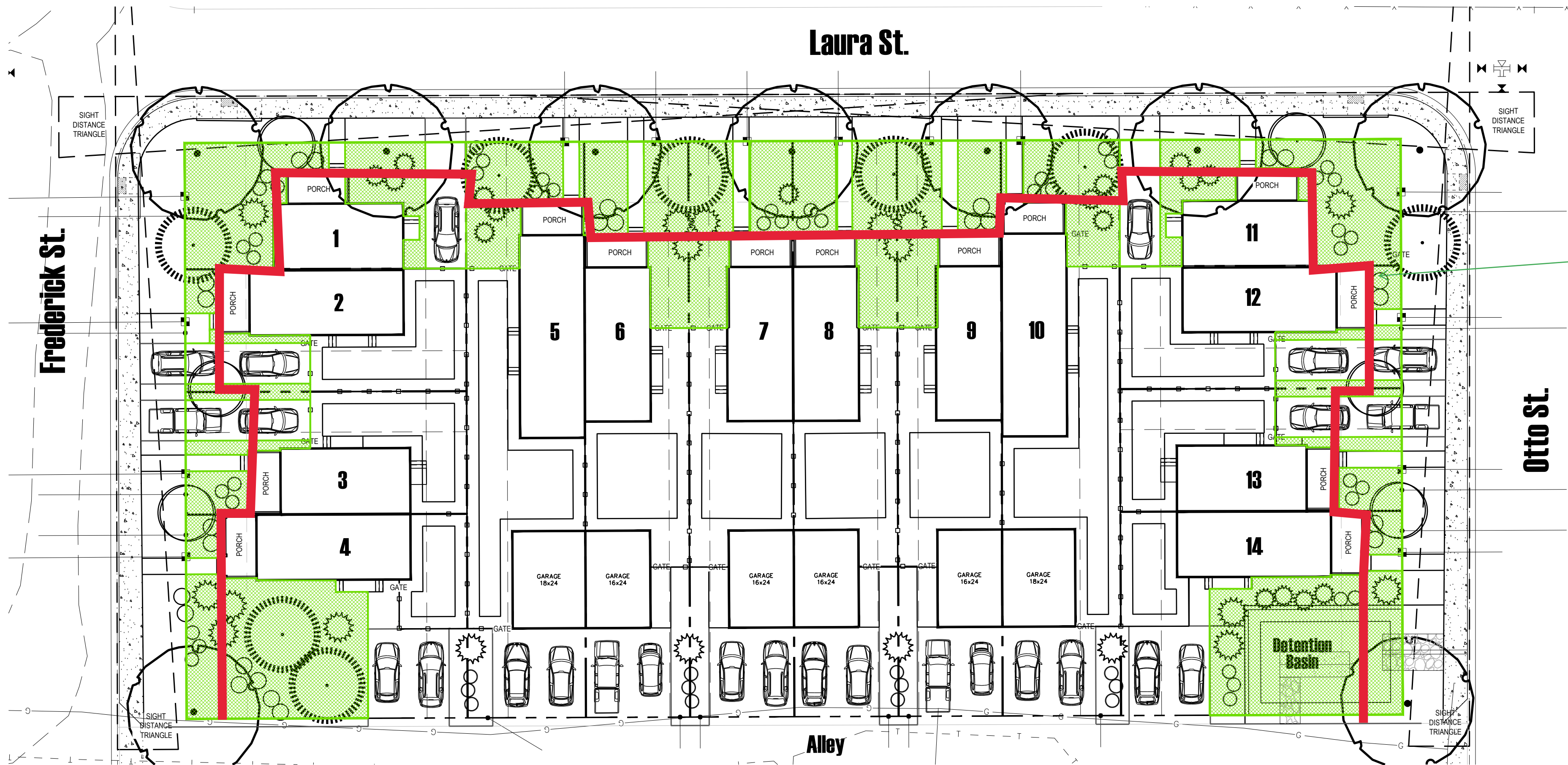
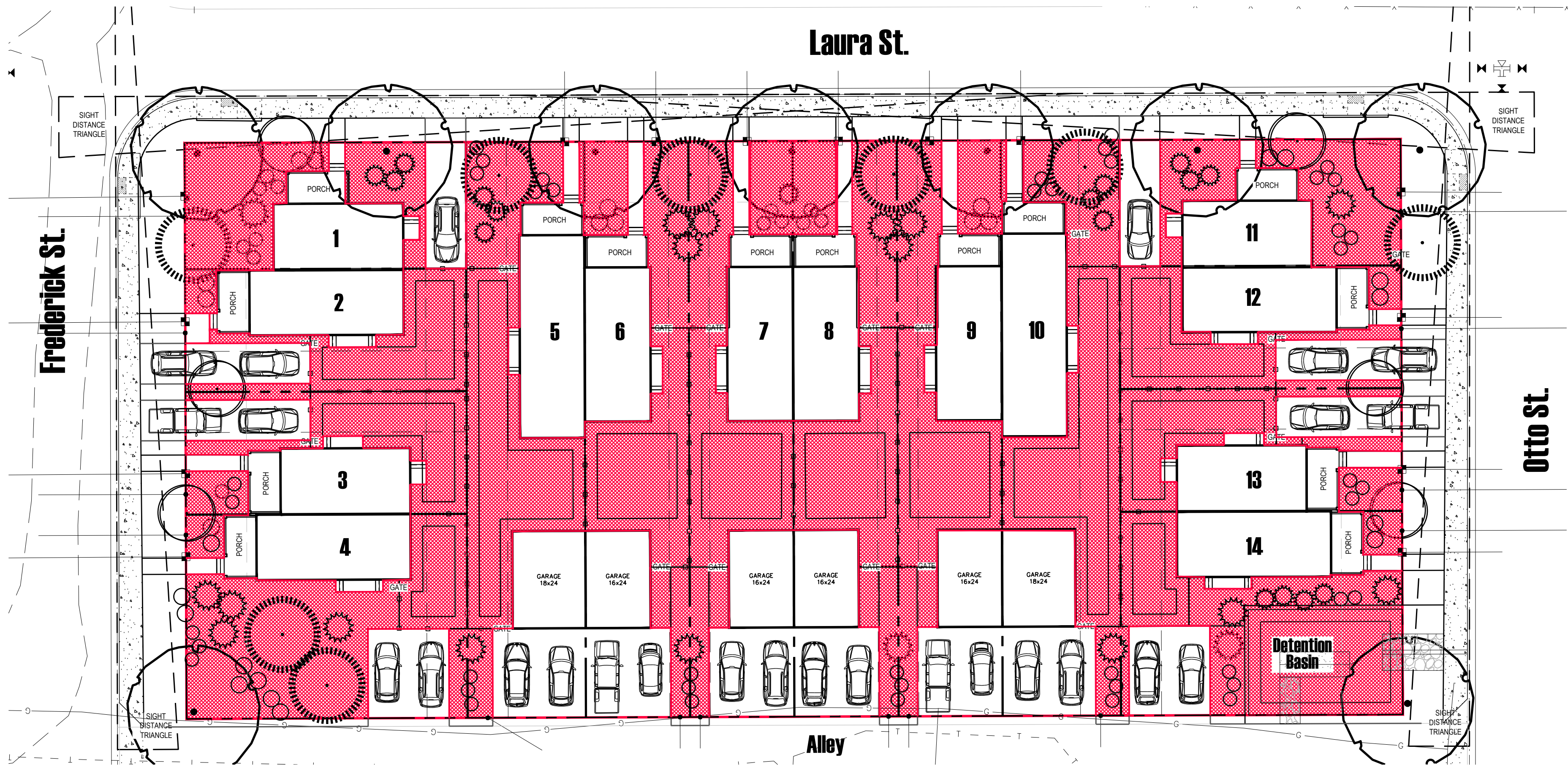
Plant Schedule

KEY	COMMON NAME	BOTANICAL NAME	H'	W'	SIZE	TYPE	QTY	AREA
40+ Deciduous Trees:								
AA	Narrowleaf Cottonwood	Populus angustifolia	50	40	1.5" Cal.	B&B	4	
BB	Peachleaf Willow	Salix amygdaloides	50	40	1.5" Cal.	B&B	2	
CC	Northern Pin Oak	Quercus ellipsoidalis	40	40	1.5" Cal.	B&B	3	
10'-20'+ Deciduous Trees:								
DD	Amur Maple	Acer ginnala	15	15	1.5" Cal.	B&B	4	
EE	'Sucker Punch' Chokecherry	Prunus virginiana 'Sucker Punch'	25	20	1.5" Cal.	Cont.	2	
							Total Deciduous Trees:	15
Evergreen Trees:								
FF	Co. Green Spruce	Picea pungens	40	25	5' Ht.	B&B	4	
GG	Austrian Pine	Pinus nigra	40	25	5' Ht.	B&B	2	
HH	Rocky Mountain Juniper	Juniperus scopulorum	20	12	5' Ht.	B&B	2	480
							Total Evergreen Trees:	8
							Total Trees:	23
Evergreen Shrubs:								
A	Mormon Tea	Ephedra nevadensis	4	4	5 gal.	Cont.	6	96
B	Medora Juniper	Juniperus scopulorum 'medora'	15	5	5 gal.	Cont.	9	675
C	Skyrocket Juniper	Juniperus virginiana 'Skyrocket'	25	5	5 gal.	Cont.	4	500
D	Dwarf Norway Nesting Spruce	Picea abies 'Pumila'	3	5	5 gal.	Cont.	1	15
E	Mugo Pine	Pinus mugo	8	8	5 gal.	Cont.	6	384
F	Slowmound Mugo Pine	Pinus mugo 'Slowmound'	3	3	5 gal.	Cont.	6	54
G	Tannenbaum Mugo Pine	Pinus mugo 'Tannenbaum'	15	6	5 gal.	Cont.	4	360
							Total Evergreen Shrubs:	36
Ornamental Grasses:								
H	Overdam Feather Reed Grass	Calamagrostis acutiflora 'Overdam'	2	2	5 gal.	Cont.	18	72
I	Blue Cat Grass	Helictotrichon sempervirens	2	2	2 gal.	Cont.	12	48
J	Morning Light Maiden Grass	Miscanthus sinensis 'Morning Light'	4	3	5 gal.	Cont.	12	144
K	Regal Mist Pink Muhly	Muhlenbergia capillaris	4	3	5 gal.	Cont.	14	168
							Total Ornamental Grasses:	56
Deciduous Shrubs:								
O	Coralberry/Snowberry	Symphoricarpos spp.	4	6	5 gal.	Cont.	6	144
P	Cranberry Coloneaster	Coloneaster apiculatus	3	6	5 gal.	Cont.	9	162
Q	Dark Knight Blue Mist Spirea	Caryopteris x clandonensis 'Dark Knight'	4	4	5 gal.	Cont.	6	96
R	Pygmy Peashrub	Caragana pygmaea	3	4	5 gal.	Cont.	4	48
							Total Deciduous Shrubs:	25
							Total Shrubs:	117

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES LISTED ABOVE AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR SUBSTITUTIONS.



Preliminary
Not For Construction



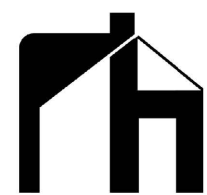
Front yard is defined as the portion of the lot between a road and the closest portion of the structure. The red line indicates what should be counted towards front yard area.

Project Name :

Yellow Brick Lane Townhomes

Ridgway, Colorado

Client:



RURAL HOMES:
FOR SALE, FOR LOCALS
P.O. Box 4222,
Telluride, CO
81435

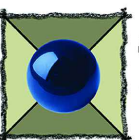
www.ruralhomes.co

David Bruce, Project Lead

C. 603 203 1342

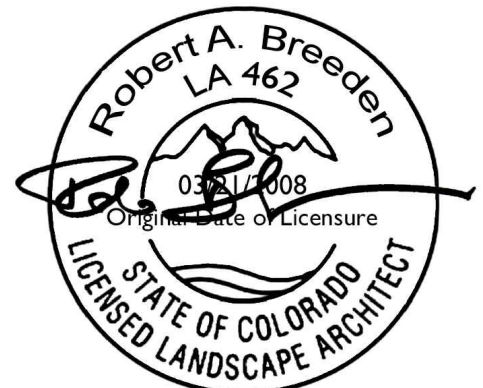
E: david@telluridefoundation.org

Landscape Architect:

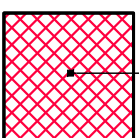


NVISION DESIGN STUDIO, INC.
677 25 Road Grand Junction, CO 81505
Phone: 970.210.2155 Email: rd@nviz.biz
Web: www.nviz.biz
Landscape Architecture | Visual Simulation | Graphic Design

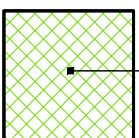
Registration:



Legend



TOTAL ON-SITE LANDSCAPE
AREA = 22,896 SF



TOTAL FRONT YARD LANDSCAPE
AREA = 10,797 SF

Revisions:

△ TOWN COMMENTS 07/07/2022 - RB 07/13/2022

Sheet Title:

Landscape Area Plan

Project:

YBL Ridgway

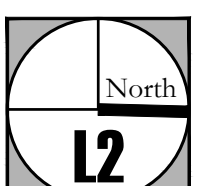
Date:

June 6, 2022

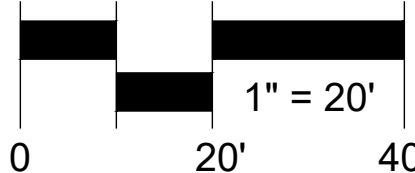
Scale:

1" = 20'

Sheet:



of 3 Sheets



Preliminary
Not For Construction

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
Civil Plans	3	Typ Rd Sect	All	Clarity has been added to General note #3	Its still a bit vague, please be sure the contractor is aware	Contractor is aware	ok
Civil Plans	3	Typ Rd Sect	Frederick	Developer intends to construct roadway section as depicted in construction plans	The road sections show pavement. Is that the plan or not? If not paving the typical sections and cross sections need updated. If are paving may want to discuss getting the half box on Otto paved at the same time	Road cross sections have been revised to show gravel surfacing. Pavement structure has been selected as per our phone conversation on July 15th. (8" class 6 ABC on 10" Class 2 ABC)	gravel shown, changed pavement structure
Civil Plans	3	Typ Rd Sect	Alley	Typical alley section has been updated to show drainage swales on both sides of alley.	Now the drive lane in the alley is only 10 ft wide. It will need to be one way. Also not seeing a drainage easement along the alley for swale that is shown on private property. Did they consider a center drain swale for the road sections (29 ft to face of gutter) are too narrow for on street parking. The Town prefers valley pan on edges of the road and the sidewalk a little off property line.	Alley section has been increase to 14 foot width allowing for two way travel. Drainage pattern has been revised to incorporate inverted crown, with site development drainage conveyance to pond in western roadside swale.	still shows a 10 ft drive lane
		Typ Rd Sect				The Developer has decided to proceed with the Town of Ridgway "Residential Collector Street-Parking two sides" roadway section which specifies 29 feet of roadway width as shown on the plan setand. Off-street parking has been furnished to all lots as part of the site plan.for 12 out of 14 units. Parking regulations are discussed in the PUD Guide.	This is town ROW and the town wants maximize the parking available,so sidewalk should be 1 ft in from property line and gutter pans at the edge road improvements.
		Alley cross sections			Cross sections still show encroachment on the private property to the east.	Limits of disturbance for Alley construction have been revised.	ok
		Alley P&P			Have reduced the capacity of the drainage on the east side. Need to demonstrate that the capacity is adequate.	Eastside drainage ditch is no longer necessary with revised alley cross section	ok

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
Civil Plans	5	Details	trench drain	Detail has been revised.	Detail is not per Town standard	Sidewalk Chase Drain is no longer needed due to revised inverted crown alley cross section.	gone
Civil Plans	7	Overview	Storm	the existing utility and Beautification/drainage easements (RN 176459) have been annotated on the sheet RD0.01	Added to several sheets, but the problem is until RLI 3 is platted it I don't believe the easement exists. Unless phase 3 of RLI is final platted before YBL, YBL will need to get RLI to get an drainage easement to the Town before YBL final plat	Review of the recorded plat (RN #176459) confirms that drainage easement exists for proposed storm drainage infrastructure, and that Parcel A has been dedicated to TOR	ok
		Frederick P&P	Road	Termination of Fredrick HMA and curb and gutter is designed to terminate at station 6+63. Extension of a gravel roadway to Cora street, with associated culvert crossing is proposed.	This is not reflected on the typical sections. Please provide a typical section for the gravel area. If are paving the bulk of the road why is there a short gap?	Design of Fredrick Street extension to Cora has been incorporated into construction drawings	Frederick shown extended to Cora
		Laura P&P, Frederick P&P	Water		Have part of the water line 7'+ deep and added vertical fittings to the water line. Please revised to have the water line on top with insulation and without vertical fittings.	Waterline A had been revised to remove vertical bends and have a 4ft burial depth. Near STA 2+57 the Sewer crossing has callout for casing and insulation.	The insulation goes over the water line not on the sewer. Need elevations for the water line or to mark the limits of where the bury is less than 5 which will also define the limits of the insulation
		w1.01					The sewer crossing at about 2+60 shows 1 ft separation between top of sewer and bottom of water. The 1 ft separation scales to be without the casing. That would result in about 8" between the 2 with the casing. That is ok, but is that the designer's intent?
		Frederick P&P	Water		if the water is below the sewer, sealed end encasement is needed no matter the separation.	Waterline A crossing with Storm A near STA. 4+18 has callout for casing with sealed ends.	ok

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
					The PC directed that road improvements on Frederick need to go all the way to Cora.	Design of Fredrick Street extension to Cora has been incorporated into construction drawings	ok
		P&P sheets			All intersections should have street ID signs. Stop signs are needed at every other intersection. Please confirm locations with Town before setting	Street signage has been added to plans	ok
		Frederick P&P	Water		Show the sewer crossing on the water profile. Also water lines new and existing should be shown in blue and sewer in green. Typically existing are showed with dashed lines	Waterline Profile Sheets have been previously added for clarity. Existing linetype color has been updated to be colored.	ok
		Laura P&P		Sidewalk attached to curb and gutter is preferred to facilitate driveways and ADA pedestrian routes while reducing required embankment materials.	Its even easier to make ada work with detached sidewalk at property line. Sidewalks near property line can increase on street parking when full ROW is available.	The Developer has decided to proceed with the Town of Ridgway "Residential Collector Street-Parking two sides" roadway section which specifies 29 feet of roadway width as shown on the plan set and. Off-street parking has been furnished to all lots as part of the site plan. for 12 out of 14 units. Parking regulations are discussed in the PUD Guide.	See K:8
	12	Otto P&P	Water		Looks like there is only one foot separation from bottom of storm pipe and top of water line. That will require insulation	Callout for insulation and casing is located on sheet W1.03. Waterline Profile Sheets have been previously added for clarity.	Not seeing the insulation or casing
	12	Otto P&P	Storm		Why is a sidewalk drain box needed near station 1+65	Sidewalk Chase Drain is no longer needed due to revised inverted crown alley cross section.	ok
Civil Plans	10	Otto P&P & others	Water	Insulation specification has been added where warranted	Not finding	Reference to Town of Ridgway construction specifications... Waterline Profile Sheets have been previously added for clarity.	This the general reference on the town stds on sht 2? Need to show the limits of the insulation

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
		Otto P&P	Sidewalk	Sidewalk extension on north side of Otto has been incorporated into this planset. A Cost sharing agreement will be made with RLI.	This will be part of the work that needs to be completed for final plat approval whether or not the agreement is made with RLI	Sidewalk on north side of Otto has been incorporated into YBR construction documents. Ridgway homes intends to engage in cost sharing agreement with RLI for its completion.	ok
Civil Plans	11	Alley P&P	Power	The developer has initiated a service application with SMPA, and they are currently working on their design drawings. The Civil construction documents will be coordinated with the power infrastructure once available.	Should be incorporated into the plan set and any required easements shown on the plat	Utility plan sheet has been incorporated into the construction plans and coordinated with the Plat.	Added a sheet w/dry util. why are power lines shown in blue? It looks like some of peds and pullboxes are in drainage swales. Do the dry util companies approve of having peds in drainage swales? The easements are shown as 10 ft. This is less than is required in section 11.03 of the Town's general requirements
		Laura Cross Sections			Catch slopes are shown extending into private property. Think the utility easement on Laura needs to be access and utility	Catch slopes for west side of Laura have been revised to be coincident with western Laura Street right of way. No access easement necessary as gravel path has been removed.	Still see some encroachment. E.g. station 1+75-3+25 & 4+00
Civil Plans		Cross sections	drainage	Alley drainage has been designed to fit within the 16' easement. Cross sections have been updated to show right of way.	There are a few catch lines that appear to extend past the ROW line	Alley design has been raised to prevent storm water from going onto private property.	ok
		Otto Cross Sections			Work is shown extending in Ph 3 RLI property. As for the storm, an easement will need to be dedicated for the easement on RLI prior to YBL final plat	Review of the recorded plat (RN #176459) confirms that drainage easement exists for proposed storm drainage infrastructure, and that Parcel A has been dedicated to TOR	ok
	RD0.01			Interior drainage swales are proposed to serve this function, and have been colored "blue" to provide clarity.	The swale between lots 12 and 13 does not appear to go the treatment facility. At the south end of the swale between 12 and 13, it looks like the water from the west has a choice to go N or E. It should be forced to the east to the treatment facility.	developed flow patterns have been revised for clarity.	Clarified that the n/s ditch does not extend to e/w ditch.

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
					The swales look to be running in utility easements. The description of the easements should likely be updated.	Easement dedications have been revised to include draiange conveyance.	Not seeing the easement called out on the east side of the block.
		Sewer A		Plans have been revised to show 0.2' drop at 90 degree bends structures.	OK, D-A should have at least 0.15 ft drop	Plans have been revised to include a 0.15 ft drop across MH D-A.	Manhole text is missing from the profile
Civil Plans	17	Sewer B	Sewer	FF elevations have been added to sheet RD0.01, and translated onto the profiles on Sht. SS1.04	its the ground elevation at building line that matters for this. It scales about 90 ft from main to building line. At 2% that's 1.8 ft to invert + a little less than 1 ft for the tap and 45' and 4" for the pipe is 2 on	Understood, refer to overview plan RD0.01 for overlot grading plan.	ok
		Sewer B	Sewer		The sewer should be encased and then the insulation between it and the water at the crossing	Understood. Plans have been revised	Not seeing the revision
		Water A		Plans have been revised to account for this requested change. Watermain must be under sewer main at this location to maintain 5ft burial depth. Vertical bend is 11.25 fitting.	As noted above vertical bends are problematic. It looks like there would be 4' of cover over the water is the water goes over the sewer. It also looks like the road could come up a little. The Town prefers the water be above	Note from above (cell J:22) Waterline A had been revised to remove vertical bends and have a 4ft burial depth. Near STA 2+57 the Sewer crossing has callout for casing and insulation.	See comments in cell k:22
				Spill way has been terminated at ROW.	OK, can it maintained from private property.	10 foot Access and maintenance easements have been added to south and west side of Pond facility, Tract A.	
Plat	1	Plat note	#11	Easement dedication note 1 has been revised.	It should be dedicated to the Town not to multiple entities.	Easements have been dedicated as non-exclusive.	See planning comments re need to dedicate easements to the Town exclusively
Plat	1	Plat note		The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.	Planning comments to address.

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
Drainage			2.0	The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.	See K:65
Drainage	App D			The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.	See K:65
Drainage	App D			The developer is currently engaged in discussions with Town Planning to assess who is best suited to own, operate, and maintain the storm drainage facility.	Developer should plan for the development being the one to own and operate	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.	See K:65
Storm				Spill way has been terminated at ROW.	Sheet SD1.01 shows riprap in the ROW.	Rundown and spill way are contained entirely within YBR property. Spill way has been revised to specify concrete pavement	Ok
				Pond geometry has been revised and annotated on plan sheet SD1.01	Ok, still show rundown encroaching into the alley. The rundown is shown 11.5 long, but there is no dimension to tie it to either property line. Similarly the riprap on the outfall is shown extending into ROW and lacks adequate dimensions. Also not seeing the overall length on the pond. Should TC allow the use of the alley for development storm water transport, we will have	Rundown and spill way are contained entirely within YBR property. Spill way has been revised to specify concrete pavement. Sheet SD1.02 has been added to show full extents of the pond with dimension ties to both riprap spillway and outfall.	Ok

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
				Maintenance access into pond is envisioned to utilize public alley right of way. Is this prohibited?	Town codes requires easement 10 each side of the lot. Section 11 of the General Requirements has requirements for minimum easements as well Private infrastructure should be maintained from private property. The pond also is against the property line of 14. How does one access those	10 foot Access and maintenance easements have been added to south and west side of Pond facility, Tract A.	Does not address the north and east sides. The top of the berm is less than 30" to property lines.
				The stormwater facility has been sized to attenuate the 100-year (Major) storm event, and discharge at BOTH the 25-year (minor) and 100-year (Major) frequency events. The storage volume associated with the minor event is 582 cubic feet, as shown page 21 of the drainage report. Calculation of the 25-year pre-developed volume is not warranted, only it's associated discharge rate from the pond.	See comments below		
YBL Plat Prelim	1		Storm		#2 is dedicating Tract A to _____ for storm water. Be sure this blank does not become the Town.	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.	
YBL Plat Prelim	2		Storm		#3 Be sure the Town is not listed for storm water maintenance. Should add note that filtration media will be required to be replaced if standing water is present after 72hrs.	Note has been added to construction plan sheet SD1.02	Added note.
Civil Plans	5	G3.01 Details	Storm		Orifice plate needs to be removable and provide trash rack to prevent orifice clogging	Note added to Sand Filter Water Quality Treatment Facility detail, sheet G3.01.	Note provided but no change in drawing. Typically trash racks are attached to the outside of the box and the orifice plate to the inside.

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
Civil Plans	5	G3.01 Details	Storm		#4 filter material should be CDOT Class C filter material.	Note added to Sand Filter Water Quality Treatment Facility detail, sheet G3.01.	Const Note 4 calls out concrete sand, crusher fine or as approved by engineer. That does not seem consistent with Class C in cdot table 703-10
Civil Plans	5	G3.01 Details	Storm		The invert of the emergency overflow needs to be above the 100yr mesh grate. Top of embankment should be at least 1' above emergency overflow. The current 0.04' higher spillway will be difficult to construct and the void space when utilizing riprap with D50=6in will result in overflow before water enters the designed outlet.		Changed to concrete.
Civil Plans	5	G3.01 Details	Storm		How long and where does the underdrain go? No cleanout is shown. No sock needed when using CDOT Class C filter material	Note added to Sand Filter Water Quality Treatment Facility detail, sheet G3.01.	No note on G3.01 regarding underdraing length or describing cleanout.
Civil Plans	5	G3.01 Details	Storm		Riprap depth should be at least twice the D50 and noted to be angular. D50 should be properly bedded not on top of textile. Refer to p 28 SW Standards	Note added to both Spillway Section and Rundown Section details, sheet G3.01.	Added to rundown
Civil Plans	9	RD0.01	Storm		How does water split at Lots 10, 12 and 13 corner? How is runoff from Lots 11, 12, and 13 getting to the treatment basin?	Drainage flow paths have been revised for clarity re: Lot Lot 10. Drainage swale has been added to address Lot 11-14 runoff.	OK
Civil Plans	9	RD0.01	Storm		Driveways for lots 2 and 3 are in runoff flow paths. Anything to insure they don't obstruct the flow? Is water going N or E along Lot 3?	Refer to Overlot grading plan sheet RD0.01 which conveys storm water across gravel driveway. The CCR's for the subdivision specify that drainage conveyances must be maintained.	Believe the O&M responsibilities should be a plat note.

Document	Pg	Sht Name	Detail	Goff Comments	Town 070122	Goff Comments	
Civil Plans	26	SW1.01	Storm		There is no forebay for the basin. Required by standards because it eases maintenance and without it the effectiveness and infiltration rate of the filter media will decrease rapidly	Forebay will be incorporated into pond facility. Revised drainage report forthcoming July 22nd.	No forebays have been seen on any documents.
Civil Plans	26	SW1.01	Storm		What's the maintenance plan for the basin?	Tract A will be owned and maintained by Ridgway Homes LLC and its dedication has been amended on the Plat.	Concerned about post the LLC
Civil Plans	25		Storm		Why no inlets at curb and gutter? Confirm with RLI plans whether it is needed.	Per review of RLI development plans, historic and developed drainage pattern trends northeasterly. No underground conveyance systems are proposed as part of RLI improvement plans.	Ok
Civil Plans	25		Storm		Pipe heading West from SDMH 1 where does it go, does it daylight, is there an inlet there, etc.? Coordinate with RLI.	This pipe was requested by Town Engineering	OK, Sorry I missed removing that question.
Drainage Report	13		Storm		Filtration media should not be included in storage volume of detention pond.	Sand media void space has been revised to assume zero% perviousness. Revised drainage report forthcoming July 22nd.	Ok
Drainage Report	16		Storm		Unsure how the Orifice Equation for Underdrain was derived but MHFD utilizes the following equation also seen at right. $D12 = (V/(1414y^{0.41}))^{.5}$ $D12 = (392/(1414*1.5^{0.41}))^{0.5} = 0.48in \text{ dia orifice}$	Recalculated orifice diameter using Equation SF-3.	Ok, however G3.01 does not reflect change
Drainage Report	16		Storm		C100 = 0.5 not 0.6, refer to Table 1. This changes acceptable 100yr release rate to 2.2cfs not 2.646cfs.	Changed C100 to 0.5 and used 2.21 cfs as the new Q100 allowable discharge.	Ok

AGENDA ITEM #2

DEVELOPMENT AGREEMENT RIDGWAY HOMES, LLC

This Development Agreement (this “Agreement”), dated as of August __, 2022 (the “Effective Date”) is made by and between TOWN OF RIDGWAY, COLORADO, a home-rule municipality under the laws of the State of Colorado (the “Town”), and RIDGWAY HOMES, LLC, a Colorado limited liability company (“Ridgway Homes”). The Town and Ridgway Homes shall individually be referred to herein as a “Party” or collectively as the “Parties.”

WHEREAS, Ridgway Homes is the owner of the following real property: Lots 1- 12 of Block 30, Town of Ridgway, Colorado (the “Property”); and

WHEREAS, Ridgway Homes has prepared and submitted a preliminary plat for a planned unit development in accordance with Section 7-4-11 and 7-4-5 of the Town of Ridgway Municipal Code (the “Municipal Code”) on the Property: *PRELIMINARY PLAT YELLOW BRICK LANE TOWNHOMES A PLANNED UNIT DEVELOPMENT, BLOCK 30, TOWN OF RIDGWAY, COLORADO* (the “Preliminary Plat”); and

WHEREAS, Ridgway Homes submitted the Preliminary Plat and a Sketch Plan to the Ridgway Planning Commission on May 31, 2022, and thereafter the Ridgway Planning Commission recommend approval of the Preliminary Plat to the Ridgway Town Council; and

WHEREAS, Ridgway Homes intends to undertake the development and construction of affordable residential dwelling units on the Property, including fourteen (14) units of workforce and/or affordable housing, for area residents earning at or below 120% area median income (“AMI”)(the “Project”); and

WHEREAS, the Town has determined that it is in the best interests of the Town and its inhabitants to assist in the development of the Project by, among other things, providing certain financial incentives and waivers of certain provisions of the Municipal Code to Ridgway Homes in order to increase the availability of workforce and affordable housing within the Town.

NOW THEREFORE, in consideration of the promises contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. **Compliance With The Town Approvals and Town Acknowledgement of Approvals.** Ridgway Homes agrees to comply with each of the terms and conditions of the Preliminary Plat and this Agreement and any other site specific approvals for the Project and the applicable provisions of the Municipal Code. This Agreement shall be recorded and run with the Property.

2. **Town Waiver of Certain Infrastructure Improvements.** Ridgway Homes is required to undertake and complete certain infrastructure improvements in accordance with the Town Code and the Town’s Design Standards. The Town is willing to waive the requirement of having Ridgway Homes pave with asphalt portions of Laura Street, Frederick Street, Otto Street, and the adjoining alleyway, subject to certain Preliminary Plat requirements and the subsequent creation of a general improvement district. Ridgway Homes is required to meet all other design

standards and improvements including but not limited to sidewalks, sidewalk curbs and curb cuts, and stormwater, water and wastewater systems. The Town is willing to donate materials and labor to install the necessary stormwater culvert at the intersection of Frederick Street and North Cora Street and will endeavor to do so in a timely manner, coordinated with the Project's timeline and the availability of materials.

3. **Public Improvements Bond.** Pursuant to the Town Code, a building permit shall not be issued until both a preliminary and final plat have been issued by the Town. In order to meet certain timeframes and deadlines which have been established by Ridgway Homes and its partners, the Town is willing to issue a limited building permit for the Project to facilitate the implementation of the entirely deed restricted development, prior to Ridgway Homes completing certain required improvements and conditions under the Town Design Guidelines, Municipal Code, Preliminary Plat and Final Plat. On or before November 8, 2022, the Parties shall enter into a Subdivision Improvement Agreement which will memorialize the remaining infrastructure improvements Ridgway Homes must complete under the Town Design Guidelines, Municipal Code, Preliminary Plat and Final Plat (the "Infrastructure Improvements"). Based on the remaining Infrastructure Improvements, Ridgway Homes shall provide to the Town a Public Improvements Bond in the amount of two times the estimated cost, as provided by the Town to complete the Infrastructure Improvements. The Performance Bond shall be released upon the completion of the Infrastructure Improvements and the satisfaction of all terms of the Subdivision Improvement Agreement by Ridgway Homes. The Town will not issue Certificates of Occupancy until all required improvements in the Subdivision Improvements Agreement have been completed. The Town is agreeing to this provision in an effort to provide additional Deed Restriction housing within the Town limits.

4. **Fee Waiver.** The Project would ordinarily be required to submit fees in connection with the following: building permits, sewer and water connections, zoning, utility impact and plan review, among others. The Town shall review and consider all reasonable requests for the waiver of fees ordinarily required for such a project. The Town agrees to waive the costs for Fourteen (14) Water Tap Fees and (14) Sewer Tap Fees, at a total estimated cost to the Town of One Hundred Sixty-Eight Thousand Dollars (\$168,000).

5. **Town Development Assistance Funds.** The Town has applied for and received Seven Hundred and Fifty Thousand Dollars (\$750,000.00) in grant funds from the Department of Local Affairs under its Innovative Affordable Housing Strategies program. The Town shall administer and apply these grant funds, within the proper scope of the program towards the development of the Project, assisting Ridgway Homes with the construction and installation of certain project infrastructure and improvements.

6. **Deed Restricted Housing.** Ridgway Homes has agreed to designate all of the units within the Project as deed restricted housing ("Unit" or "Units"). All parties hereto expressly understand and acknowledge that they will mutually approve a Deed Restriction and Covenant and Guidelines that are similar to the Rural Homes: for sale, for locals Deed Restriction and Covenant and Rural Homes: for sale, for locals Affordable Housing Regulations and Guidelines, attached hereto as Exhibit A and Exhibit B, respectively. Said Deed Restriction and Covenant shall be a real covenant that runs with the title to the land in perpetuity and not

expire and shall survive any foreclosure on the respective Lots, unless the restrictions are otherwise released or modified with the written consent of the Town and all Beneficiaries.

6.1 The provisions of the Deed Restriction and Covenant shall govern all conveyances and rentals of the Lots. All buyers and renters shall be required to comply with the Deed Restriction and Covenant. Specifically, the potential buyer or renter shall submit a Deed Restriction Application, pursuant to the developed guidelines to the Town of Ridgway.

6.2 The Town is granted and conveyed the right to enforce compliance with these restrictions that are applicable to the Lots. The Town may assign its enforcement ability to a qualified entity or agent.

6.3 The Lots shall be owned and occupied by persons who qualify with the terms and conditions of these restrictions which shall include, in general:

- a. Prospective owner of a Lot shall maintain his/her primary residence and abode in Ouray County, Colorado, or provide written intent of his/her desire and intent to do so within 30 days of purchasing the Lot. At least one member of the household shall be a qualified employee working in Ouray County or for an employer based in Ouray County.
- b. Household income shall not exceed 120 % Area Median Income Levels (AMI) for Ouray County.
- c. The Lots shall be, and remain, owner occupied. Long- term and short-term rental of these units is prohibited unless approved by the Town or its designee.
- d. The maximum resale price of any Lots is limited to an annual price appreciation cap of 3% of the initial purchase price there is no guarantee that Lots will be resold for a profit.
- e. The seller of a Lot is responsible for ensuring compliance with the Deed Restriction and Guidelines and agrees submit a Notice of Intent to Sell and to consult with the Town of Ridgway Town Manager, or his/her designee, regarding any qualified buyer(s) and the maximum resale price.

6.4 All warranty deeds for the transfer and conveyance of a Lot will clearly indicate that they are deed restricted.

7. **Right of First Refusal Granted to the Town.** Ridgway Homes grants to the Town the right of first refusal (ROFR) to purchase ____ (___) Lot(s) prior to the completion of the Project for qualified Town employees, meeting the terms of the Deed Restriction and Covenant and Guidelines identified in Section 6, above. The Town's ROFR will expire thirty (30)days prior to the published close of the Lottery. This ROFR granted to the Town shall be a recorded covenant which shall run with the land, binding the Project, the Lots and the Lot Owners.

8. **Stormwater Management.** Any and all drainage easements and stormwater improvements as depicted on the Preliminary Plat and associated engineering documents shall be maintained by Ridgway Homes, its successors and assigns, and the successive Lot Owners encumbered by the easements, jointly and severally in a manner which preserve the grade as originally established and so as not to impede the free flow of water, including and not limited to the planting and encroachment of trees and shrubs and other impeding vegetation, so as not to impede the free flow of water or cause erosion in any way. The Town is not responsible or liable in any manner for the maintenance, repair, or operation of pipelines, ditches or improvements as located within said easements. Upon failure to properly maintain the drainage easement(s) and Stormwater management system shown hereon, or in the need to abate a nuisance or public hazard, the Town may cause the maintenance or repair to be performed and assess the costs thereof to such

owners and may certify such charges as delinquent charge to the County Treasurer to be collected similarly to taxes or in any lawful manner.

9. **Landscaping Requirements.** Prior to the Town providing a building permit, or accepting a Final Plat from Ridgway Homes, Ridgway Homes shall provide to the Town a completed landscaping plan, in compliance with the Town Code and Design Standards. Town staff shall review the landscaping plan, confirming its completeness and compliance with the Town Code and Design Standards. If in compliance, Town Staff may approve the landscaping plan.

10. **Representations and Warranties.**

i. **Town's Representations and Warranties.** The Town represents and warrants that:

(a) **Organization and Authority.** The Town has the full right and has obtained any and all consents required to authorize the Town to enter into this Agreement, consummate the transactions contemplated in this Agreement, and perform its other obligations under this Agreement.

(b) **Authorization and Execution.** This Agreement has been authorized and properly executed and constitutes the legal, valid and binding obligations of the Town, enforceable against the Town in accordance with its terms.

ii. **Ridgway Homes Representations and Warranties.** Ridgway Homes represents and warrants that:

(a) **Organization and Authority.** Ridgway Homes has the full right and authority and has obtained any and all consents required to authorize Ridgway Homes to enter into this Agreement, consummate the transactions contemplated in this Agreement, and perform its other obligations under this Agreement.

(b) **Authorization and Execution.** This Agreement has been authorized and properly executed and constitutes the legal, valid and binding obligations of Ridgway Homes, enforceable against Ridgway Homes in accordance with its terms.

iii. **Survival of Representations and Warranties.** The representations and warranties set forth in this Section 8 are made as of the Effective Date. Each Party will defend and indemnify, to the extent permitted by law, the other against any claim, liability, damage or expense asserted against or suffered by such other party arising out of the breach or inaccuracy of any such representation or warranty.

11. **Amendment of Agreement.** Except as otherwise set forth in this Agreement, this Agreement may not be amended except by mutual consent in writing of the Parties.

12. **Notices.** All notices, certificates or other written communications hereunder will be sufficiently given and will be deemed given when given by hand delivery, overnight

delivery, mailed by certified or registered mail, postage prepaid, or dispatched by telegram or telecopy (if confirmed promptly telephonically), addressed to the following addresses or at such other address or addresses as any party thereto designates in writing to the other parties hereto:

If to Town:
Town of Ridgway
201 N. Railroad Street
P.O. Box 10
Ridgway, Colorado 81432

With a copy to:
Bo James Nerlin
Devor & Plumhoff, LLC
152 Colorado Ave.
Montrose, CO 81401

If to Ridgway Homes:
Ridgway Homes, LLC
Paul Major
PO Box 4222
Telluride, CO 81435

13. **Waiver.** No failure by any Party to insist upon the strict performance of any covenant, duty, agreement or condition of this Agreement, or to exercise any right or remedy consequent upon a breach of this Agreement, will constitute a waiver of any such breach or of such or any other covenant, agreement, term or condition. Any Party by giving notice to the other Parties may, but will not be required to, waive any of its rights or any conditions to any of its obligations hereunder. No waiver will affect or alter the remainder of this Agreement, but each and every covenant, agreement, term and condition of this Agreement will continue in full force and effect with respect to any other then existing or subsequent breach.

14. **Attorneys' Fees.** In any proceeding brought to enforce the provisions of this Agreement, the court shall award the prevailing Party reasonable attorneys' fees, actual court costs and other expenses incurred.

15. **Town Not a Partner; Ridgway Homes Not Town's Agent.** Notwithstanding any language in this Agreement or any other agreement, representation or warranty to the contrary, the Town will not be deemed or construed to be a business partner or joint venture of Ridgway Homes, Ridgway Homes will not be deemed or construed to be the agent of the Town, and the Town will not be responsible for any debt or liability of Ridgway Homes.

16. **Applicable Law; Venue.** The laws of the State of Colorado will govern the interpretation and enforcement of this Agreement. Venue for any action arising under this Agreement or any amendment or renewal hereof shall be in the District Court of Ouray County, Colorado.

17. **Binding Effect and Assignment.** This Agreement will be binding on and inure to the benefit of the Parties, and their successors and assigns. This Agreement shall not be assigned without the prior written consent of the Parties.

18. **Further Assurances.** The Parties agree to execute such documents, and take such actions, as will be reasonably requested by the other party hereto to confirm or clarify the intent of the provisions hereof and to effectuate the agreements herein contained and the intent hereof.

19. **Severability.** If any provision, covenant, agreement or portion of this Agreement, or its application to any person, entity or property, is held invalid, such invalidity will not affect the application or validity of any other provisions, covenants or portions of this Agreement and, to that end, any provisions, covenants, agreements and portions of this Agreement are declared to be severable.

20. **Good Faith; Consent or Approval.** In performance of this Agreement or in considering any requested extension of time, the Parties agree that each will act in good faith and will not act unreasonably, arbitrarily, capriciously or unreasonably withhold or delay any approval required by this Agreement. Except as otherwise provided in this Agreement, whenever consent or approval of any party is required, such consent or approval will not be unreasonably withheld, conditioned or delayed.

21. **Counterparts.** This Agreement may be executed in several counterparts, each of which will be an original and all of which will constitute but one and the same instrument.

22. **No Waiver of Governmental Immunity.** No provision of this Agreement shall act or be deemed to be a waiver by the Town of any provision of the Colorado Governmental Immunity Act, CRS 24-10-101, et seq.

IN WITNESS WHEREOF, the Parties each have caused these presents to be executed in its corporate name and with its official seal hereunto affixed and attested by its duly authorized officials; and Ridgway Homes has caused these presents to be executed by its duly authorized officer, as of the date first above written.

TOWN:

RIDGWAY HOMES:

TOWN OF RIDGWAY, COLORADO,
a Colorado home-rule municipality

RIDGWAY HOMES.,
a Colorado limited liability company

By:

By:

Name: John Clark
Title: Mayor

Name: Paul Major
Title: Authorized Signer

