

## RIDGWAY PLANNING COMMISSION

### REGULAR MEETING AGENDA

Tuesday, September 26, 2023

5:30 pm

*Pursuant to the Town's Electronic Participation Policy, the meeting will be conducted both in person and via a virtual meeting portal. Members of the public may attend in person at the Community Center, located at 201 N. Railroad Street, Ridgway, Colorado 81432, or virtually using the meeting information below.*

#### Join Zoom Meeting

<https://us02web.zoom.us/j/86887954483?pwd=WG9yZ0lGNEZLZ3F1SXpPL0VFckw2Zz09>

Meeting ID: 868 8795 4483

Passcode: 534064

To call in dial: 408.638.0968 or 253.215.8782 or 669.900.6833

*Written comments can be submitted before the meeting to [kchristian@town.ridgway.co.us](mailto:kchristian@town.ridgway.co.us) or delivered to Town Hall Attn: Planning Commission*

**ROLL CALL:** Chairperson: Michelle Montague, Commissioners: John Clark, Pam Foyster, Bill Liske, Russ Meyer, Jennifer Nelson, and Jack Petruccelli

#### **PUBLIC HEARING:**

1. **Application:** Final Plat & Planned Unit Development; **Location:** Lot 1, Triangle Subdivision; **Zone:** General Commercial (GC); **Applicant:** Tom Kennedy, Law Offices of Thomas G. Kennedy; **Owner:** Jake Cantor, Alpine Homes – Ridgway, LLC

#### **APPROVAL OF MINUTES:**

2. Minutes from the Regular meeting of August 29, 2023

#### **ADJOURNMENT**

## AGENDA ITEM #1



**To:** Town of Ridgway Planning Commission  
**Cc:** Preston Neill, *Ridgway Town Manager*  
**From:** TJ Dlubac, AICP, *Community Planning Strategies, Contracted Town Planner*  
**Date:** September 22, 2023  
**Subject:** Riverfront Village Final PUD and Final Plat for September 26<sup>th</sup> PC Meeting

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#### APPLICATION INFORMATION

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Request:	Approval of a Final PUD and Final Plat
Legal:	A portion of Lot 1 Triangle Subdivision
Address:	N/A
General Location:	North of SH62/Sherman Street, west of US550, and east of and adjacent to the Uncompahgre River
Parcel #:	430516215001
Zone District:	GC General Commercial District
Current Use:	Vacant
Applicant:	Tom Kennedy, Law Offices of Thomas G. Kennedy
Owner:	Jake Cantor, Alpine Homes – Ridgway LLC

#### PROJECT REVIEW

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##### BACKGROUND

The lot has been previously platted as Lot 1, Triangle Subdivision in 1992 at Reception #150643. Lot 1 is a total of 8.141 acres and include both the east and west sides of the river. A portion of Lot 1 which includes the river and property west of the river was deeded to the Town in 2008 at Reception #196855. Figure 1 depicts the general location of the project site.

The Preliminary Planned Unit Development and Preliminary Plat were approved by the Planning Commission on July 13, 2021 and Town Council on November 10, 2021. Installation of the public improvements began in the Spring of 2022.

This project is being reviewed under the previous Chapter 7 standards and regulations because it was submitted prior to the update being adopted in July 2023.

##### REQUEST

This Final Planned Unit Development (PUD) Plan and Final Plat are for a portion of Lot 1, identified as Lot 1R on the plans, containing 4.29 acres. The Owner is requesting a PUD zoning to allow a multi-

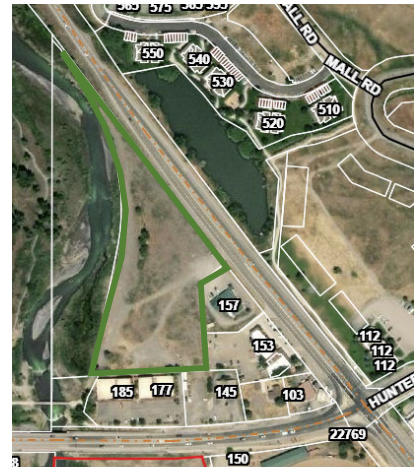


Figure 1. General Location

building, mixed-use development on a portion of Lot 1, Triangle Addition to be known as Riverfront Village PUD.

The project includes a total of 38 residential units and four (4) commercial units. The commercial units total approximately 3,983 square feet of ground-floor commercial area in one (1) mixed-use building. The uses of each building are as follows:

<i><b>Building</b></i>	<i><b>Commercial Sq. Ft.</b></i>	<i><b>Residential DU</b></i>
Building CM	3,983	4
Buildings M1		6
Building M2		8
Building M3		10
Buildings D1 – D5		10
Totals	3,983sf	38

The project proposes public easements for a park towards the northern end of the property and a multi-use trail along the western edge of the property and along the eastern bank of the Uncompahgre River.

The project will include the extension of water and sewer main service lines to the project site, town owned and maintained water and sewer mains within easements within the parcel, a privately owned and maintained internal street network, a master sign plan, and a new access to HWY 550 which will be coordinated with CDOT.

## **CODE REQUIREMENTS**

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### **RMC §7-3-16(B) CRITERIA FOR A PUD**

A Planned Unit Development must meet the following conditions for approval:

- (1) It shall be in general conformity with the Town's Master Plan.
- (2) All landowners within the PUD shall consent, in writing, to the PUD.

### **RMC §7-3-16(E) PROCEDURES:**

- (1) PUDs shall be reviewed with the same procedures for review of subdivisions as found in Subsection 7-4-5 Subdivision Procedures. A public hearing shall be held on the PUD pursuant to the Review Procedures of Section 7-3-23.
- (2) Approval of the PUD by the Town is purely discretionary. If the Town and the applicant do not agree on all required conditions and the plan, the Town may deny approval, or the Town may unilaterally impose conditions. If the developer does not accept the conditions, that development must adhere to standard dimensional, subdivision and zoning requirements.

### **RMC §7-3-16(F) REQUIRED IMPROVEMENTS AND STANDARDS:**

The PUD Plan shall provide for construction of the same improvements required for subdivisions in Subsection 7-4-6 and design standards of subsection 7-4-7.

### **RMC §7-3-16(G) ADDITIONAL REQUIREMENTS:**

The PUD shall also show the location, size, and number of dwelling units, proposed uses for all buildings and shall further set out the location of all proposed parking areas, streets, sidewalks, bike paths, and



other improvements and structures. Where appropriate, parameters, limits, or specifications may be approved in lieu of exact locations, numbers, and sizes.

## ANALYSIS

### COMPLIANCE WITH COMPREHENSIVE PLAN

This parcel is identified as *Mixed-Use Business* on the Future Land Use Map of the 2019 Master Plan. This anticipates the following land uses and development patterns on this parcel:

<b>Maximum Density / Height</b>	12 to 18 du/ac; typically, 3 stories or less, but may be taller in some instances
<b>Primary Uses:</b>	Retail stores, professional offices, commercial services, restaurants
<b>Supporting Uses</b>	Parks and recreational facilities, civic and government facilities, higher density residential uses, and alternative energy installations
<b>Characteristics</b>	<ul style="list-style-type: none"> <li>Mixed-Use Business areas are intended to support a range of commercial uses that serve residents and tourists.</li> <li>Developments within these areas are more auto oriented than those found in the Town Core but should still consider the needs of pedestrians and bicyclists in the overall design.</li> <li>Higher-density residential uses are encouraged, either above ground floor commercial uses or in standalone buildings, generally as part of a mixed-use development.</li> </ul>

The project should be in general conformance with the goals and policies identified within the 2019 Master Plan and the Future Land Use Map. Figure 2 depicts the Future Land Use classification of the subject property and surrounding area. The Master Plan provides important insight into the community's vision. Though these goals are not firm requirements, it is important that the applicant showcase the various ways their project meets these goals.

Based on the review of the proposed development, the following Comprehensive plan policies and goals appear to be met by the proposed project:

- ENV-2: Strengthen the Uncompahgre River corridor as a community and environmental resource.
- COM-1: Maintain Ridgway as a community that is accessible to a range of income levels, ages, and households.
- COM-2: Encourage a diversity of housing options that meet the needs of residents.
- CHR-1: Support vibrant, diverse, safe, and well-connected neighborhoods.
- CHR-5: Promote a range of opportunities and spaces for community gatherings and interactions.



Figure 2. Future Land Use Map

- CHR-6: Maintain and enhance Ridgway's gateways, entry-corridors, and scenic vistas.
- CHR-7: Develop an interconnected system of parks, trails, open space, and recreational facilities that meets the needs of Ridgway's residents and visitors.
- GRO-2: Ensure public infrastructure, utilities, facilities, and services are sufficient to meet the needs of residents and business as the town grows.
- GRO-4: Develop a safe and efficient multi-modal transportation system, balancing the needs of all users.

### LAND USES

The applicant is developing a mixed-use development that offers approximately 3,983 square feet of commercial uses and a total of 38 residential dwelling units on the 4.29-acre parcel.

The property is currently zoned GC General Commercial. Section 7-3-11 of the RMC identifies the uses by right and conditional uses permitted in the GC zone district. Section 7-3-16(C)(1) explains that all uses by right and conditional uses may be permitted in a PUD when they are approved as part of the PUD. The Riverfront Village PUD would allow for all uses allowed by right in the GC zone district in addition to the following uses which require conditional approval in the GC zone district:

- (1) Townhouse dwellings, Triplex dwellings, and Fourplex dwellings.
- (14) Buildings 27' to 35' in height or containing more than 10,000 square feet of gross floor area.



Figure 3. Zoning Map

This is the same list of allowed uses which was proposed and evaluated during the preliminary PUD and preliminary plat. By approving the PUD plan, the requested uses will be allowed by right. The Town Council should evaluate the requested conditional uses against the criteria set forth in Sec. 7-3-19 of RMC when considering the PUD plan. Those criteria are:

- (1) The use will not be contrary to the public health, safety, or welfare.
- (2) The use is not materially adverse to the Town's Master Plan.
- (3) Streets, pedestrian facilities, and bikeways in the area are adequate to handle traffic generated by the use with safety and convenience.
- (4) The use is compatible with existing uses in the area and other allowed uses in the District.
- (5) The use will not have an adverse effect upon other property values.
- (6) The location of curb cuts and access to the premises will not create traffic hazards.
- (7) The use will not generate light, noise, odor, vibration, or other effects which would unreasonably interfere with the reasonable enjoyment of other property in the area.
- (8) Visual impact due to a building's size shall be mitigated by means of design, landscaping, berming, and other methods of site treatment, and must be compatible with the mass and scale of existing buildings on adjacent properties, or if there are no such buildings, compatible with the mass and scale of buildings in the Town generally.

By approving the proposed PUD plan, the Planning Commission is also approving the following conditional uses:

- *Townhomes:* The developer would like to utilize the PUD plan process for the conditional use to allow for townhouses in the GC zone district.
- *Two Multifamily buildings greater than 10,000 square feet:* The applicant would like to utilize the PUD process for the conditional use of two multi-family buildings greater than 10,000 square feet within the GC zone district. Buildings M2 and M3 are both over 10,000sf and, if the PUD is approved, these buildings would be approved at 14,153sf and 16,506sf, respectively.
- *Two Multifamily buildings with a maximum height of 35 feet:* The applicant would like to also gain approval for buildings M2 and M3 to exceed the required height of 27' feet to allow a maximum height of 35'. The approximate heights of these buildings are 34'-6" and 34'-4", respectively. This increase of building height is allowed as a conditional use in the underlying GC zone district.

These users were proposed and included in the preliminary plat and PUD approvals of both the Planning Commission and Town Council. As was found by staff's review of the preliminary plat and PUD, these requests still appear to meet the purpose and intent of the project as well as the criteria for conditional uses. Furthermore, the two larger buildings are in the interior portion of the property and are generally screened by buildings within the project to the north and west and existing commercial buildings to the south and east. Also, the two buildings are compatible with the mass and scale of existing buildings on adjacent properties per Sec. 7-3-11(C)(2) of RMC.

#### **DIMENSIONAL STANDARDS**

Section §7-3-15(A) sets forth the required dimensional standards which shall be met for various uses within each zone district. For the GC zone district, the following standards apply to all proposed uses:

<i><b>Standard</b></i>	<i><b>Requirement</b></i>	<i><b>Proposed</b></i>
Min. Lot Width	30'	300'+
Min. Lot Size	5,000sf	187,308sf
Max. Lot Coverage	60%	60.2%
Min. Front Setback	15'	Approximately 60' to buildings along US550
Min. Rear Setback	8'	15'
Min. Side Setback	5'	11' along the east and 24' along the west
Max. Side on Corner Lot	7.5'	N/A
Structure Height	27'	Varies – see table below



<b>Standard</b>	<b>Required</b>	<b>CM</b>	<b>M1</b>	<b>M2</b>	<b>M3</b>	<b>D1</b>	<b>D2</b>	<b>D3</b>	<b>D4</b>	<b>D5</b>
Width	30'	300' +								
Size	5,000	186,872.4sf (4.29ac)								
Lot Coverage	60%	Bldg. (35,085.66sf) + Hardscape (77,488.34sf) = 112,573.34/186,872.4sf = <b>60.2%</b>								
Front Setback	15'	60'	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Rear Setback	8'	N/A	N/A	N/A	62'+	N/A	N/A	N/A	N/A	15'
Side Setback	8'	75'	24'	11'	31'	20'	20'	19'	19'	28'
Max. Bldg. Height Allowed	27' (35' w/CU)	27'	27'	35'	35'	27'	27'	27'	27'	27'
Approx. Actual Bldg. Height Proposed		26'-10'	A: 25'-10" B: 26'-4"	34'-6"	34'-4"	25'-7"	24'-10"	24'-7"	25'-2"	24'-1"
<i>Actual building height shall be provided with building permit plans and shall be in compliance with the provisions of the maximum building height allowed by these PUD standards.</i>										
High-Water Mark Setback	75'	N/A	A: 30'-5" B: 30'-8"	N/A	N/A	40'-8"	116'-7"	133'	171'-6"	164'-10"

- High-Water Mark Setback distance to buildings M1 and D1: Development between 25' and 75' from the high-water mark shall be reviewed pursuant to a Conditional Use review (Sec. 7-3-14(E)(1) of RMC. The Town Council should consider these criteria when evaluating the two buildings (M1 and D1) located less than 75' from the high-water mark of the Uncompahgre River.

The site plan submitted with the final plat and PUD is consistent with what was presented at the preliminary plat and PUD including the location of buildings M1 and D1.

- Maximum building height: Midpoints of all building roofs were added to each building elevation on plan sheets. In the GC zone district, a maximum height of 27' is permitted. The allowed height may be increased to 35' following Conditional Use approval. The PUD requests increased heights for buildings M2 and M3 to 35' (See maximum building height allowed row in table above).

The site plan submitted with the final plat and PUD is consistent with what was presented at the preliminary plat and PUD including the proposed heights of buildings M2 and M3.

#### RESIDENTIAL USES

As noted above, there are 38 total residential units proposed in this development for a total residential density of 8.8 units per acre. The residential units are proposed in a mix of structure types from attached duplex units, to townhomes, and multi-family buildings. Adequate parking is provided for the residential uses with covered and uncovered options as well as private garages.

Note 5 of the Final PUD and Plat (Attachment 3) states that short-term rentals will be limited to townhouse units only and must be in compliance with applicable Town of Ridgway Municipal Code requirements. As explained in the overall site plan (Attachment 4), the only townhouse units are buildings D1-D5. Therefore, short-term rentals would be limited to 10 total units on the property.

In short, the proposed final plat and PUD is consistent with the previously approved preliminary plat and PUD related to residential uses.

#### COMMERCIAL USES

The only building currently providing commercial uses for the entire development is in building CM. 3,983 square feet of "ground floor retail commercial" is proposed. This building is located along the eastern portion of the property and is laid out parallel to US550. There are no additional provisions limiting or identifying the allowed uses and this term is quite general.



The uses that would be allowed are all of those allowed within the GC zone district as permitted by this PUD. While a conservative parking requirement standard was applied to the commercial portions of this project, at such time an end user is known, the parking requirements will need to be assessed to ensure adequate parking is provided based on that particular use. This will be evaluated through the building permit process.

In short, the proposed final plat and PUD is consistent with the previously approved preliminary plat and PUD related to commercial uses.

#### **PUBLIC ACCESS AREAS**

Approximately 11.8% of the project area is slated as public use area. This area includes the river trail, river park, commercial plaza, and the sidewalk from the river to the CM building. This is consistent with the development as proposed as part of the preliminary plat and PUD.

Public Easements: As was proposed during the preliminary plat and PUD, the developer will be keeping ownership of both the park and the trail and a public easement would be dedicated was the preferred method.

Park: The developer proposes a shelter to be installed at the park and will be responsible for installing and maintaining all improvements. The park is intended to be for passive use. This would include landscaping, shelters, and minimum improvements and will not include any recreational programming. The developer would like this to remain a quiet and relaxing amenity where residents of the project and the general public can enjoy the natural beauty of this location.

Pedestrian Connection: To address the needed connection between HWY 550 and the river trail, the property will include a public access easement along the southern property line and the emergency access easement to provide a public connection through the property that is not invasive on the future residents. This is depicted as an 8' pedestrian easement on Sheet 2 of the final plat and PUD.

#### **PARKING**

A rate of 1 space per 250 square feet was used to calculate the required parking for building CM. This is consistent with the general retail parking requirements. If a more intense use such as a restaurant or convenience store go into the CM building, there may be additional parking required. The RMC requires 1 space per multi-family dwelling unit and 2 spaces per single family and duplex uses. Based on these calculations, the project requires 64 parking spaces and 98 total spaces are provided.

A total of 42 surface parking spaces are provided on the site. These are adequate for the needs of Building CM and additional guest parking for the residential units. Each residential building provides private parking spaces for each unit. The table below depicts the required and provided parking spaces.

Each parking space is 9'x20' in size, exceeding the required 8'x20' minimum size.

<b>Standard</b>	<b>CM</b>	<b>M1</b>	<b>M2</b>	<b>M3</b>	<b>D1 – D5</b>	<b>Totals</b>
Commercial Use	<i>1sp/250sf = 16 sps</i>					
Residential Use	4	6	8	10	2ea	
<b>Total Required:</b>	<b>20</b>	<b>6</b>	<b>8</b>	<b>10</b>	<b>20</b>	<b>64</b>
Provided:	24	10	16	18	20	
Additional Guest Spaces:	0	2	4	4		
<b>Total provided:</b>	<b>24</b>	<b>12</b>	<b>20</b>	<b>22</b>	<b>20</b>	<b>98</b>

### **ACCESS & INTERNAL CIRCULATION**

HWY550: The primary access point for this project will be a new access along US550 north of the current access point. This will serve as access to the commercial uses, the 38 residential units, and be the primary access point for Lot 2, Triangle Subdivision which is the parcel south of and adjacent to this project adjacent to US550. The existing and proposed access easements have been clarified throughout the plat and provide adequate access to Lot 2.

Emergency Access: There is a secondary access point to US550 in the area of the current dirt access. This will be an emergency access only and will have a breakaway barrier installed. During the preliminary plat and PUD discussion, the Planning Commission requested that an emergency access easement be added to allow egress to the east of Alpine Loop. This has been shown on the plat, however, since it is on property not included as part of the plat, it must be dedicated by separate instrument. That easement needs to be recorded, and the reception number added to the final plat, prior to recording the final plat and PUD. This has been added as a recommended staff condition #1.

Internal Circulation: All internal roadways are privately owned and maintained. The internal roadways are identified as a minimum of 24' which appears to be adequate for residential use. A 15' emergency access easement and gravel access road is provided along the south and east sides of Building M3.

Access Road: An access road, named Jasper Lane, is provided at a 24' width to provide access off of HWY 550 to Riverfront Drive (the residential area of the project) as well as extending further to the southeast to provide access to parking for the CM building and, eventually, to Lot 2 to the south of this project. The Town had brought up questions about the width of this drive aisle explaining that pursuant to Sec. 7-4-7(C)(13), a Marginal Access Street should be 40' wide during the preliminary plan and PUD review. In response to this, the applicant provided written explanation of the proposal. The proposed parking lot and access road were approved, as submitted, during the preliminary plat and PUD process and the final plat and PUD submittal are consistent with that proposal.

Alley's: Sec. 7-4-7(C) requires alleys in commercial areas unless the requirement is waived by the Planning Commission. In response to this request, the applicant provided the following:

*The commercial building CM at 3,983 sf has been designed with an interior rear access corridor for the tenant spaces accessed at the southeast corner of the building directly connected to a service area within the parking lot. This approach reduces more paving and separates access to the housing units above.*

*Upon review and evaluation of this standard in the context of this project, staff is amenable to the waiver request and if the Planning Commission chooses to approve the proposed PUD plan, this waiver would be effectively approved as well.*

These are all consistent with the proposal as approved by the preliminary plat and PUD.

### **UTILITIES**

Water Service: Water service will be obtained by connecting to an existing 8" water line south of the property. The 8" line loops through the parcel within the roadways and easements and serves the residential units and commercial buildings.

Sewer Service: Sewer service will be obtained by connecting to an existing 15" main line south of the property. The 15" sewer main is being extended along the southern property line to serve the development and future growth on the east side of US550. There are also 8" sewer mains proposed to serve the development.





There are portions of the sewer system that the Town has not accepted because they were not installed to Town specification. These include all service lines, including the wye, and the portion of the sewer main line between MH O-1-D to MH O-1-D-6 (Run A), MH O-1-D-3 to MH O-1-D-7 (Run B), and MH O-1-D-4 to MH O-1-D-8 (Run C), as depicted in Figure 4. Note #15 addresses the service lines and a recommended condition has been added requiring a plat note be added stating that the developer, or their assigns, shall be responsible for the ownership, maintenance, and repair of the portion of the sewer line between MH O-1-D to MH O-1-D-6 (Run A), MH O-1-D-3 to MH O-1-D-7 (Run B), and MH O-1-D-4 to MH O-1-D-8 (Run C).

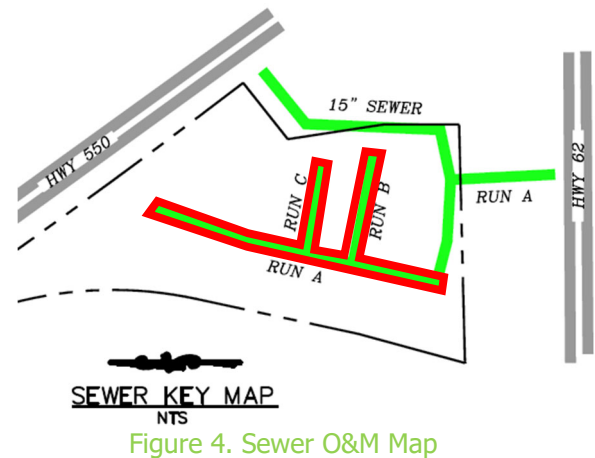


Figure 4. Sewer O&M Map

Town Staff is recommending the inclusion of a condition (Condition #2) to address the ownership, maintenance, and repair of the main lines which have not been accepted by the Town. As included in Condition #2, this is anticipated to address the following:

- Clarification of what entity is responsible for the maintenance in order to inform future homeowners and residents;
- The Town's ability to inspect the sewer lines at any time; and
- If the Town finds that the lines are not being satisfactorily maintained, the Town may make necessary repairs and/or conduct necessary maintenance operations and charge the responsible party for those costs.

#### **ARCHITECTURE AND DESIGN**

The architectural design being proposed with the final plat and PUD are consistent with the elevations reviewed and approved with the preliminary plan and PUD.

#### **LANDSCAPING & ILLUMINATION**

The landscaping plan being proposed with the final plat and PUD are consistent with the plan reviewed and approved with the preliminary plan and PUD.

#### **MASTER SIGN PLAN**

The master signage plan being proposed with the final plat and PUD are consistent with the plan reviewed and approved with the preliminary plan and PUD.

#### **STAFF RECOMMENDATION**

Upon review of the application against applicable Town standards, staff recommends that the Town of Ridgway Planning Commission recommend approval of the final plat and final PUD to the Town Council with the following conditions:

1. Prior to the Town recording the Final Plat and PUD with the Ouray County Clerk and Recorder's Office, an emergency access easement and utility easement, as depicted on the Final Plat, shall be recorded on Lot 2 Triangle Subdivision.
2. Prior to the Town recording the Final Plat and PUD with the Ouray County Clerk and Recorder's Office, a note shall be added to the Final Plat stating that the portions of the sewer line the Developer will continue to own, maintain, and repair which has been approved by the Town Staff.

3. Prior to the Town recording the Final Plat and PUD with the Ouray County Clerk and Recorder's Office, all clerical, grammatic, technical, and procedural non-material amendments to application materials be made as necessary to ensure the ability to enforce and administer the provisions pursuant to the Ridgway Municipal Code standards.

#### **ATTACHMENTS**

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1. Application
2. Project Narrative
3. Riverfront Village Final Plat & PUD
4. Site Plan
5. Landscape & Illumination Plan Set
6. Building Elevations
7. Master Sign Plan
8. As-Builts





TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | [www.town.ridgway.co.us](http://www.town.ridgway.co.us)

**TOWN OF RIDGWAY, COLORADO  
ACKNOWLEDGMENT OF FEES AND COSTS**

TK Law Office ("Applicant") and Alpine Homes - Ridgway, LLC ("Owner") do hereby acknowledge that with the filing of an application, or seeking Town review under Chapter 7, Section 3 or Section 4 of the Town of Ridgway Municipal Code, that it is subject to the requisite fees and costs associated with such action, in accordance with 7-3-20 and 7-4-12, including out-of-pocket legal fees and/or engineering fees.

Applicant and Owner acknowledge that no plat shall be recorded, improvement accepted, lien released, building permit issued, tap approved or final approval action taken until all fees then due are paid to the Town.

Applicant and Owner acknowledge that the Town may suspend review of submittals, inspection of improvements, and processing of a subdivision, as it deems appropriate, unless all amounts are paid as due.

Applicant and Owner further acknowledges that unpaid fees may be certified to the Ouray County Treasurer for collection as delinquent charges against the property concerned.

Acknowledged this 4 day of August, 2023.

APPLICANT:

By: 

Thomas Kennedy, authorized signer  
(print name)

PROPERTY OWNER:

By: 

Jake Cantor, authorized signer  
(print name)



TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | www.town.ridgway.co.us

Official Use Only

Receipt # \_\_\_\_\_  
Date Received: \_\_\_\_\_  
Initials: \_\_\_\_\_

## Planning Commission Hearing Request

### General Information

Applicant Name: Thomas G. Kennedy Law Office Application Date: \_\_\_\_\_  
Mailing Address: Box 3081, Telluride CO 81435  
Phone Number: (970) 728-2424 Email: tom@tklaw.net  
Owner Name: Alpine Homes - Ridgway, LLC, a Colorado limited liability company  
Phone Number: (970) 403-9646 Email: Jake@cantorpartners.com c/o Jake Cantor  
Address of Property for Hearing: Lot 18, Triangle Subdivision, Ridgway CO  
Zoning District: GC (General Commercial)

### Brief Description of Requested Action

Final Platting - see Narrative

### Action Requested and Required Fee Payable to the Town of Ridgway

<input type="checkbox"/> Temporary Use Permit per 7-3-18(C)	\$150.00	Subdivisions per 7-4 unless noted	
<input type="checkbox"/> Conditional Use per 7-3-19	\$250.00	<input type="checkbox"/> Sketch Plan	\$300.00 (+ \$10.00/lot or unit)
<input type="checkbox"/> Change in Nonconforming Use per 7-3-20	\$150.00	<input type="checkbox"/> Preliminary Plat	\$1,500.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Variances & Appeals per 7-3-21	\$250.00	<input type="checkbox"/> Preliminary Plat resubmittal	\$750.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Rezoning per 7-3-22	\$250.00	<input checked="" type="checkbox"/> Final Plat	\$600.00
<input type="checkbox"/> Other Reviews Pursuant to 7-3-23	\$250.00	<input type="checkbox"/> Minor Subdivision	\$450.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Variance to Floodplain Reg. per 6-2	\$150.00	<input type="checkbox"/> Lot Split	\$450.00
<input type="checkbox"/> Master Sign Plan Pursuant to 7-3-117	\$150.00	<input type="checkbox"/> Replat	\$150.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Deviations from Residential Design	\$175.00	<input type="checkbox"/> Plat Amendment	\$250.00
Standards per 6-6		<input type="checkbox"/> Planned Unit Dev. per 7-3-16	See Preliminary and Final Plat
<input type="checkbox"/> Other	\$_____	<input type="checkbox"/> Statutory Vested Rights per 7-5	\$1,500.00

Applicant and owner shall be jointly and severally responsible for legal, engineering, planning, administrative and miscellaneous fees, including recording costs, if incurred. (R.M.C. 7-3-25(B) and 7-4-12(B)). Water and sewer tap fees and development excise taxes are due at approval of final plats.



TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | [www.town.ridgway.co.us](http://www.town.ridgway.co.us)

#### Attachments Required

##### For All Applications

- ☒ Evidence of ownership or written notarized consent of legal owner(s).
- ☒ Information proving compliance with applicable criteria (see the Ridgway Municipal Code for criteria), this may include a narrative, site plans, and/or architectural drawings drawn to scale.

##### For Conditional Uses

- ☐ The site plan shall show the location of building(s), abutting streets, all dimensions, off-street parking requirements, and landscaping.
- ☐ Architectural drawings shall include elevations and details of building(s).

##### For Changes in Nonconforming Use

- ☐ Description of existing non-conformity.

##### For Variances

- ☐ The site plan shall show the details of the variance request and existing uses within 100 ft. of property.

##### For Rezoning

- ☐ Legal description, current zoning, and requested zoning of property.

##### For Subdivisions

- ☒ All requirements established by Municipal Code Section 7-4.
- ☐ Sketch plan submittals shall be submitted at least 21 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.
- ☐ Preliminary plat submittals shall be submitted at least 30 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.
- ☒ Final plat submittals shall be submitted at least 30 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.

*Please note that incomplete applications will be rejected. Contact with a Planning Commission or Town Council member regarding your application constitutes ex parte communication and could disqualify that Commissioner or Councilor from participating in your hearing. Please contact staff with any questions.*

  
Applicant Signature

  
Owner Signature

8/4/23  
Date

8/2/2023  
Date



Official Use Only

Date Received: \_\_\_\_\_  
Initials: \_\_\_\_\_

## Authorization of Agent

### Owner(s) Information

Name(s) Alpine Homes-Ridgway, LLC

Date July 24, 2023

Phone (813)403-9646

Email jake@cantorpartners.com

### Property Information

Property Street Address TBD Hwy#550, Ridgway, CO 81435

Property Legal Address: Subdivision Triangle Subdivision

Filing

Block

Lot 1R

### Authorized Agent Information

Name Thomas G. Kennedy and James Kehoe

Phone 970-728-2424

Email tom@tklaw.net

### Permits Applicable

☐ Building

☒ Subdivision

☐ Land Use Hearing

☐ Encroachment

☐ Other: \_\_\_\_\_

I/we, the undersigned owner/s of the above described real property located in the Town of Ridgway, Colorado, hereby authorize:

**Thomas G. Kennedy and James Kehoe**

Name of Authorized Agent

to act in my/our behalf in applying for the above permits from the Town of Ridgway, as required by existing Town of Ridgway regulations pertaining to zoning, building, encroachment, excavation, and/or utilities.

Property Owner of Record

Date

8/2/2023

Property Owner of Record

Date

Property Owner of Record

Date



## NARRATIVE FOR FINAL SUBDIVISION PLAT AND PUD REVIEW FOR THE RIVERFRONT VILLAGE PUD/SUBDIVISION

Date: August 4, 2023

### Ownership and Description of Property.

Alpine Homes-Ridgway, LLC, a Colorado limited liability company (“**Owner**”) is the current, fee title owner of certain property described as Lot 1R, Triangle Subdivision, Town of Ridgway, Ouray County, Colorado and is more particularly described on attached **Exhibit “A”** (“**Subject Property**”). The Subject Property is located on State Hwy #550. CDOT has issued an access permit for the Subject Property, which is sufficient to accommodate access for the development contemplated in the Project. The Subject Property is classified in the General Commercial Zone.

A copy of a current title policy showing the vesting of title to the Subject Property in the name of the applicant and a listing of all liens, encumbrances, agreements, easements and other exceptions is attached **Exhibit “B”**. There are no holders of mortgages or deeds of trust whose consent is required to enable Applicant to process this Application. Based upon its review of the Title Policy, the Applicant has determined that there does not appear to be any severed mineral rights that are associated with the Subject Property.

The Subject Property is a generally triangle shaped parcel containing approximately 4.30 acres and is included within the incorporated boundaries of the Town of Ridgway. The Subject Property is depicted on the Final Plat copies of which are being submitted with the Application and this Narrative. The Subject Property is currently being improved with onsite and offsite infrastructure improvements consistent with prior reviews and approvals by the Town. The Subject Property is adjacent to and fronts on Highway #550, which is located to the east. The western boundary of the Subject Property sits above and to the east of the Uncompahgre River and is generally situated above the highwater mark of the Uncompahgre River. The Subject Property extends to point to the northerly extent of the parcel and adjoins Lot 2, Triangle Subdivision to the south.

### Information about the Applicant and Owner

Name of Applicant: Law Offices of Thomas G. Kennedy  
Address: PO Box 3081, Telluride CO 81435  
Phone: (970)728-2424  
Email: [tom@tklaw.net](mailto:tom@tklaw.net)

Name of Owner: Alpine Homes-Ridgway, LLC, a Colorado limited liability company c/o Jake Cantor  
Address: 300 W. Colorado Ave, Suite 200B, Telluride CO 81435  
Phone: (813)403-9646  
Email: [jake@cantorpartners.com](mailto:jake@cantorpartners.com)

### Summary of Application.

Applicant is submitting its application for Final Subdivision Plat and PUD Review For The Riverfront Village PUD/Subdivision (“**Application**”) by the Town of Ridgway (“**Town**”), which is being compiled and will be reviewed in accordance with applicable provisions of the Ridgway Municipal Code (“**Code**”). The Application is for a certain mixed use development project referred to as The Riverfront Village PUD/Subdivision (“**Project**”). The development encompasses 4.29 acres of land. The Preliminary Subdivision and PUD was previously reviewed by the Ridgway Planning Commission and the Ridgway Town Council on November 10, 2021 as provided for in the Code. The Application is being submitted and reviewed in accordance with Section 7-4-5(C) of the Ridgway Municipal Code. Applicant requests that the Town schedule the Application (described below) for appropriate review and action at a duly noticed public meeting.

## Summary of the Project

The development encompasses 4.29 acres of land and is broken down into the following uses:

Lot Area Calculations	Proposed Area
Site Area	186,872.40 sf
Building	35,085.66 sf
Hardscape	72,592.84 sf
Landscape	79,193.90 sf
<b>Totals</b>	

NOTE: Public Use Area: 11.8% of total lot area (includes river trail, park, commercial plaza and sidewalk between park and commercial)

The project includes a total of 13 buildings located on Lot 1R. In approving the Preliminary PUD/Subdivision approval, the Town approved a total of 38 residential dwelling units, of which 4 are being deed restricted for employee housing and 3,983sf of commercial space. The buildings and associated uses are shown as follows:

Building	Commercial Sq Ft	Residential DU	Parking Spaces
Building CM	3,983sf	4 du's	32 total 24 commercial 8 residential
Buildings M1, A and B		6 du's	12
Buildings M2		8 du's	20 (including 4 visitor spaces)
Buildings M3		10 du's	22 (including 4 visitor spaces)
Buildings D1-D5		10 du's	20
<b>Totals</b>	<b>3,983sf</b>	<b>38 du's</b>	<b>42</b>

At such time that the buildings and related site improvements have been completed, the Owner will cause a condominium map/plat to be prepared establishing the dimensions of a particular building and units and common elements integrated into the building, the map/plat will also show parcel associated with the building as well as the related site improvements associated with the building.

## Compliance with Code

In furtherance of the Town's submission and review standards provided for in Section 7-4-5(C) of the Code, the Applicant states as follows:

1. A copy of the Final Plat is attached **Exhibit "C"**. The Final Plat is substantially consistent with the approved Preliminary Plat. There are not any alterations to any lot lines, easements and rights of way which do not have consequential impact to the Project; neither is there any change to the number of lots or density within the Final Plat.
2. Applicant is submitting three 22" x 34" copies and one electronic copy of the Final Plat and one paper copy and one electronic copy of all supporting documents.
3. The Final Plat shall comply with the requirements for the preliminary plat, except as modified by this Subsection, and shall include the following additional information:
  - a. The Final Plat includes a legal description of the subdivision and sufficient data to determine easily and reproduce on the ground the location, bearing and length of every street line,



boundary line, block line, lot line, and building line, whether curved or straight, including the radius, central angle and tangent distance for the center line of curved streets. Other curved lines shall show arc or chord distance and radius. All dimensions shall be to the nearest 100th of a foot and all angles to the nearest minute. The Final Plat meets all statutory requirements.

- b. The Final Plat indicates the total acreage of public streets and alleys, designation of easements, streets, alleys and other property dedicated for public use.
  - c. The Final Plat designates Lot and block numbers and lot areas. **NOTE:** The Subject Property is being platted as one lot, namely Lot 1R and is being subjected to certain governing documents compliant with the Colorado Common Interest Ownership Act for the purpose of creating a common interest community under the name and style of “Riverfront Village, a Planned Community” (“**Community**”). A copy of the Declaration is attached hereto. As noted above, a CCIOA map/plat will be prepared and recorded when building and site improvements have been completed.
  - d. The Final Plat incorporates a vicinity map.
  - e. The Final Plat and accompanying plans shall be drawn to a scale of not less than one-inch equals 100 feet.
4. The Final Plat incorporates the following Certificates in a format approved by the Town including:
- a. Certificates of approval for the Planning Commission and Town Council, and Town Attorney;
  - b. A certificate of ownership and dedication notarized and executed by all surface owners, and lien holders' certificates joining in the dedications, subdivision improvements agreement and subdivision. **NOTE:** The Subject Property is not encumbered by any loans, liens or encumbrances.
  - c. The location of all monuments and a certificate of a registered land surveyor attesting to the accuracy of the survey, plat and placement of monuments in compliance with state law and these regulations;
  - d. A certificate of an attorney that the title to the property is in the name of those parties executing the certificate of ownership and dedication and that the property dedicated is free and clear of all liens and encumbrances;
  - e. A certificate of a licensed professional engineer that the water, sewer, fire protection, drainage systems, and streets have been designed in accordance with all applicable requirements of Town specifications and standards, and constructed in accordance with plans approved by the Town;
  - f. A certificate of recording to be executed by the County Clerk and Recorder;
  - g. A certificate of completed improvements;
5. The Final Plat continues to incorporate the Platnotes that were shown on the Preliminary Plat and approved by the Town. In addition, the following Platnotes are being shown on the Final Plat:
- a. A platnote requiring that all outdoor lighting fixtures to comply with Town regulations;
  - b. A platnote indicating the maximum number of residential units within the subdivision pursuant to subsection 3-4-1(D);

6. The following documents/materials, updated in accordance with requirements and conditions of preliminary plat approval, shall be submitted with the Final Plat:
- a. As-built plans containing information as required by the Town specifications and regulations, for water, sewer, electricity, gas, telephone and drainage systems, along with any other available as built plans. "As-built" plans for any other required improvements not completed at the time the final plat is submitted shall be submitted, reviewed and approved by the Town prior to final acceptance of the improvements by the Town.
  - b. A draft subdivision improvements agreement on a form provided by the Town including all improvements required for the subdivision whether completed or not. **NOTE:** A draft SIA is attached hereto for certain public infrastructure improvements which the Town, with the prior approval of the Town Council, had authorized be completed following the recordation of the Final Plat.
  - c. A copy of any restrictive covenants, condominium declarations, and articles of incorporation and by-laws of any owners' association applicable to the subdivision or lots therein. **NOTE:** Copy of the Declaration for the Riverfront Village, a Planned Community and a copy of the Articles of Incorporation and Bylaws of the Riverfront Village Owners Association, Inc., a Colorado nonprofit corporation
  - d. The subdivider shall send a notice, at least 30 days prior to the Planning Commission's hearing or consideration, to mineral estate owners, by certified mail, return receipt requested, or a nationally recognized overnight courier, in accordance with the requirements of C.R.S. 24-65.5-103(1). A copy of the notice shall be given to the Town along with the subdividers certification of compliance with said notification requirements. Provided, this notice is not required if notice was previously sent and such certification previously provided with respect to the same surface development, or the application is only for platting an additional single lot, unless a mineral estate owner has requested notice pursuant to C.R.S. 24-6-402(7). **NOTE:** The Applicant is the owner of fee title to the Subject Property, including all mineral estate interests, as such, no additional noticing is required.
  - e. Payments of all amounts billed by the Town and due to date pursuant to subsection 7-4-12(B).
  - f. A list of proposed uses for each lot consistent with Town zoning regulations.


The residential dwelling units will be used for residential purposes  
The commercial units will be allowed for uses authorized by the Code.

- g. Applications for water and sewer taps adequate to serve the proposed use for each lot on the final plat, provided however, this shall not apply to subdivisions for which tap prepayment agreements have been approved prior to September 15, 1992.

Respectfully Submitted


**OWNER**

Alpine Homes-Ridgway, LLC,  
a Colorado limited liability company

By:   
Jake Cantor

**APPLICANT**

Law Offices of Thomas G. Kennedy

By:   
\_\_\_\_\_

**Exhibit "A"**  
**(Description of Subject Property)**

LOT 1, TRIANGLE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED APRIL 22, 1992 UNDER RECEPTION NO. 150643; AND THE PLAT OF SURVEY RECORDED JANUARY 26, 1995 UNDER RECEPTION NO. 158652, AND THE PLAT OF SURVEY RECORDED DECEMBER 8, 1994 UNDER RECEPTION NO. 158254, TOWN OF RIDGWAY

EXCEPT A PARCEL OF LAND WITHIN LOT 1 OF THE TRIANGLE SUBDIVISION, TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO, CONVEYED IN THE DEED RECORDED JANUARY 2, 2008 UNDER RECEPTION NO. 196855, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 88°35'07" EAST (BASIS OF BEARING, OURAY COUNTY CONTROL) ALONG THE SOUTH LINE OF SAID LOT 1, 119.59 FEET;  
THENCE NORTH 15°16'17" EAST, 169.01 FEET;  
THENCE NORTH 12°11'40" EAST, 255.36 FEET;  
THENCE 359.19 FEET ALONG THE ARC OF A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 34°18'00", A RADIUS OF 600.00 FEET AND A CHORD OF NORTH 04°57'20" WEST, 353.85 FEET;  
THENCE NORTH 22°06'19" WEST, 60.00 FEET;  
THENCE NORTH 25°22'43" WEST, 68.43 FEET;  
THENCE NORTH 30°05'32" WEST, 159.64 FEET;  
THENCE NORTH 38°54'53" WEST, 43.57 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;  
THENCE SOUTH 01°31'23" WEST ALONG THE WEST LINE OF SAID LOT 1, 1057.93 FEET BACK TO THE POINT OF BEGINNING,

ALL IN THE COUNTY OF OURAY, STATE OF COLORADO.

**Exhibit “B”**  
**(Title Work)**

**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule A**

Order Number: OUC85009338

**Property Address:**

TBD HIGHWAY 550 , RIDGWAY, CO 81432

**1. Effective Date:**

06/05/2023 at 5:00 P.M.

**2. Policy to be Issued and Proposed Insured:**

"TBD" Commitment

\$0.00

Proposed Insured:

A BUYER TO BE DETERMINED

**3. The estate or interest in the land described or referred to in this Commitment and covered herein is:**

FEE SIMPLE

**4. Title to the estate or interest covered herein is at the effective date hereof vested in:**

ALPINE HOMES-RIDGWAY, LLC, A COLORADO LIMITED LIABILITY COMPANY

**5. The Land referred to in this Commitment is described as follows:**

LOT 1, TRIANGLE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED APRIL 22, 1992 UNDER RECEPTION NO. [150643](#); AND THE PLAT OF SURVEY RECORDED JANUARY 26, 1995 UNDER RECEPTION NO. [158652](#), AND THE PLAT OF SURVEY RECORDED DECEMBER 8, 1994 UNDER RECEPTION NO. [158254](#);

EXCEPT A PARCEL OF LAND WITHIN LOT 1 OF THE TRIANGLE SUBDIVISION, TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO, CONVEYED IN THE DEED RECORDED JANUARY 2, 2008 UNDER RECEPTION NO. [196855](#), MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 88°35'07" EAST (BASIS OF BEARING, OURAY COUNTY CONTROL) ALONG THE SOUTH LINE OF SAID LOT 1, 119.59 FEET;  
THENCE NORTH 15°16'17" EAST, 169.01 FEET;  
THENCE NORTH 12°11'40" EAST, 255.36 FEET;  
THENCE 359.19 FEET ALONG THE ARC OF A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 34°18'00", A RADIUS OF 600.00 FEET AND A CHORD OF NORTH 04°57'20" WEST, 353.85 FEET;  
THENCE NORTH 22°06'19" WEST, 60.00 FEET;  
THENCE NORTH 25°22'43" WEST, 68.43 FEET;  
THENCE NORTH 30°05'32" WEST, 159.64 FEET;  
THENCE NORTH 38°54'53" WEST, 43. 57 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;  
THENCE SOUTH 01°31'23" WEST ALONG THE WEST LINE OF SAID LOT 1, 1057.93 FEET BACK TO THE POINT OF BEGINNING,  
ALL IN THE TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO.

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**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule B, Part I**  
**(Requirements)**

**Order Number:** OUC85009338

**All of the following Requirements must be met:**

**This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.**

**Pay the agreed amount for the estate or interest to be insured.**

**Pay the premiums, fees, and charges for the Policy to the Company.**

**Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.**

The following will be required should the Company be requested to issue a future commitment to insure:

1. RECORD DULY EXECUTED AND ACKNOWLEDGED PLAT OF RIVERFRONT VILLAGE, PLANNED UNIT DEVELOPMENT.

NOTE: A COPY OF SAID PLAT MUST BE SUBMITTED TO LAND TITLE GUARANTEE COMPANY PRIOR TO RECORDATION. UPON RECEIPT AND REVIEW FURTHER REQUIREMENTS AND/OR EXCEPTIONS MAY BE NECESSARY.

2. WRITTEN CONFIRMATION THAT THE INFORMATION CONTAINED IN STATEMENT OF AUTHORITY FOR ALPINE HOMES-RIDGWAY, LLC, A COLORADO LIMITED LIABILITY COMPANY RECORDED DECEMBER 19, 2019 UNDER RECEPTION NO. [224431](#) IS CURRENT.

NOTE: SAID INSTRUMENT DISCLOSES JOEL A. CANTOR AS THE MANAGER AUTHORIZED TO EXECUTE INSTRUMENTS CONVEYING, ENCUMBERING OR OTHERWISE AFFECTING TITLE TO REAL PROPERTY ON BEHALF OF SAID ENTITY. IF THIS INFORMATION IS NOT ACCURATE, A CURRENT STATEMENT OF AUTHORITY MUST BE RECORDED.

3. WARRANTY DEED FROM ALPINE HOMES-RIDGWAY, LLC, A COLORADO LIMITED LIABILITY COMPANY TO A BUYER TO BE DETERMINED CONVEYING SUBJECT PROPERTY.

NOTE: ADDITIONAL REQUIREMENTS OR EXCEPTIONS MAY BE NECESSARY WHEN THE BUYERS NAMES ARE ADDED TO THIS COMMITMENT. COVERAGES AND/OR CHARGES REFLECTED HEREIN, IF ANY, ARE SUBJECT TO CHANGE UPON RECEIPT OF THE CONTRACT TO BUY AND SELL REAL ESTATE AND ANY AMENDMENTS THERETO.

**ALTA COMMITMENT**  
**Old Republic National Title Insurance Company**  
**Schedule B, Part II**  
**(Exceptions)**

Order Number: OUC85009338

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.
8. RIGHTS OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED JUNE 13, 1951, IN BOOK 103 AT PAGE [508](#).
9. SUBJECT TO ANNEXATION PLAT OF SUNSET ENTERPRISES ADDITION FILED MARCH 10, 1980 UNDER RECEPTION NO. [127944](#) AND ANNEXATION ORDINANCE RECORDED MARCH 10, 1980 IN BOOK 194 AT PAGE [343](#).
10. TERMS, CONDITIONS AND PROVISIONS OF EASEMENT GRANTED TO US WEST COMMUNICATIONS, INC. RECORDED NOVEMBER 22, 1991 IN BOOK 217 AT PAGE [791](#).
11. TERMS AND CONDITIONS OF SUBDIVISION IMPROVEMENTS AND LIEN AGREEMENT BETWEEN H. DARYL QUANDT AND PATRICIA KATHLEEN QUANDT AND THE TOWN OF RIDGWAY RECORDED APRIL 22, 1992 IN BOOK 222 AT PAGE [95](#).
12. NOTES, EASEMENTS, RIGHTS OF WAY, AND RESTRICTIONS AS CONTAINED ON THE RECORDED PLATS FILED APRIL 22, 1992 UNDER RECEPTION NO. [150643](#), RECORDED DECEMBER 8, 1994 UNDER RECEPTION NO. [158254](#) AND RECORDED JANUARY 26, 1995 UNDER RECEPTION NO. [158652](#).
13. SUBJECT TO NOTICE CONCERNING UNDERGROUND FACILITIES OF SAN MIGUEL POWER ASSOCIATION RECORDED JUNE 22, 1993 IN BOOK 227 AT PAGE [145](#).



**ALTA COMMITMENT**

**Old Republic National Title Insurance Company**

**Schedule B, Part II**

**(Exceptions)**

**Order Number:** OUC85009338

14. TERMS, CONDITIONS AND AGREEMENTS AS CONTAINED IN EASEMENT AGREEMENT BY AND BETWEEN RIDGWAY HOT SPRINGS, LLC AND TELLURIDE REAL ESTATE COMPANY, LLC, RECORDED JUNE 11, 2007 UNDER RECEPTION NO. [195143](#) AND AMENDMENT/CLARIFICATION TO EASEMENT AGREEMENT RECORDED JULY 13, 2009 UNDER RECEPTION NO. [201106](#), AS AFFECTED BY PARTIAL TERMINATION OF EASEMENT AGREEMENT RECORDED DECEMBER 23, 2019 UNDER RECEPTION NO. [224462](#).
15. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN DEVELOPMENT AGREEMENT RECORDED NOVEMBER 16, 2022 UNDER RECEPTION NO. [233547](#).
16. ANY INCREASE OR DECREASE IN THE AREA OF THE LAND AND ANY ADVERSE CLAIM TO ANY PORTION OF THE LAND WHICH HAS BEEN CREATED BY OR CAUSED BY ACCRETION OR RELICTION, WHETHER NATURAL OR ARTIFICIAL; AND THE EFFECT OF THE GAIN OR LOSS OF AREA BY ACCRETION OR RELICTION UPON THE MARKETABILITY OF THE TITLE OF THE LAND.
17. ANY RIGHTS OR INTERESTS OF THIRD PARTIES WHICH EXIST OR ARE CLAIMED TO EXIST IN AND OVER THE PRESENT AND PAST BED, BANKS OR WATERS OF UNCOMPAHGRE RIVER.
18. MATTERS DISCLOSED ON IMPROVEMENT SURVEY ISSUED BY ORION SURVEYING CERTIFIED DECEMBER 12, 2019, PROJECT NO. 18079. STORED IN OUR RECORDS AS IMAGE [20049484](#).



FINAL PLAT OF:  
RIVERFRONT VILLAGE, PLANNED UNIT DEVELOPMENT

LOCATED ON LOT 1R, TRIANGLE SUBDIVISION  
SITUATED IN THE E½SE¼NW¼ OF SECTION 16, TOWNSHIP 45 NORTH, RANGE 8 WEST, N.M.P.M.  
TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO

CERTIFICATE OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS that the undersigned, being the owner of certain lands in the Town of Ridgway, Colorado, to wit: LOT 1, TRIANGLE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED APRIL 22, 1992 UNDER RECEPTION NO. 150643; AND THE PLAT OF SURVEY RECORDED JANUARY 26, 1995 UNDER RECEPTION NO. 158652, AND THE PLAT OF SURVEY RECORDED DECEMBER 8, 1994 UNDER RECEPTION NO. 158254.

EXCEPT A PARCEL OF LAND WITHIN LOT 1 OF THE TRIANGLE SUBDIVISION, TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO, CONVEYED IN THE DEED RECORDED JANUARY 2, 2008 UNDER RECEPTION NO. 196855, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 88°35'07" EAST (BASIS OF BEARING, OURAY COUNTY CONTROL) ALONG THE SOUTH LINE OF SAID LOT 1, 119.59 FEET;

THENCE NORTH 15°16'17" EAST, 169.01 FEET;

THENCE NORTH 12°11'40" EAST, 255.36 FEET;

THENCE 359.19 FEET ALONG THE ARC OF A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 34°18'00", A RADIUS OF 600.00 FEET AND A CHORD OF NORTH 04°57'20" WEST, 353.85 FEET;

THENCE NORTH 22°06'19" WEST, 60.00 FEET;

THENCE NORTH 25°22'43" WEST, 68.43 FEET;

THENCE NORTH 30°05'32" WEST, 159.64 FEET;

THENCE NORTH 38°54'53" WEST, 43.57 FEET TO A POINT ON THE WEST LINE OF SAID LOT 1;

THENCE SOUTH 01°31'23" WEST ALONG THE WEST LINE OF SAID LOT 1, 1057.93 FEET BACK TO THE POINT OF BEGINNING.

ALL IN THE COUNTY OF OURAY, STATE OF COLORADO.

containing 4.29 acres more or less

Has by these presents laid out and platted, as shown on this Plat, under the name of Riverfront Village Planned Unit Development. The following non-exclusive perpetual easements are dedicated, granted and conveyed to the Town of Ridgway, Colorado and are reserved for the use of other benefitted parties as shown and identified on this Plat and as further described in Platnote 9: Access and Utility Easements, Utility Easement, Utility and Drainage Easement, Public Recreational Trail Easement, Pedestrian Trail/Underpass or Overpass/Signage Easement, and Public Park Easement.

Executed this \_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

ALPINE HOMES–RIDGWAY, LLC,  
a Colorado limited liability company

By: \_\_\_\_\_  
Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF COLORADO )  
 ) ss.  
COUNTY OF \_\_\_\_\_ )

The foregoing Certificate of Ownership and Dedication was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_, by \_\_\_\_\_ as the \_\_\_\_\_ of Alpine Homes–Ridgway, LLC.

Witness my hand and official seal.

Notary Public  
My Commission expires \_\_\_\_\_

ATTORNEY'S CERTIFICATE:

I, Thomas G. Kennedy, an attorney at law duly licensed to practice before the courts of record of Colorado, do hereby certify that I have examined the Title Commitment No. OUC85009338 issued by Land Title Guarantee Company and according to that title policy, of all land herein platted and that title to such land is in the dedicatior(s) and owners, and that based upon my review of said title commitment, the property dedicated hereon has been dedicated free and clear of all liens and encumbrances, except as follows:

CURRENT YEARS TAXES AND ASSESSMENTS NOT YET DUE OR PAYABLE.

RIGHTS OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE

AUTHORITY OF THE UNITED STATES, AS RESERVED IN UNITED STATES PATENT RECORDED JUNE 13, 1951, IN BOOK 103 AT PAGE 508.

SUBJECT TO ANNEXATION PLAT OF SUNSET ENTERPRISES ADDITION RECORDED MARCH 10, 1980 UNDER RECEPTION NO. 127944 AND ANNEXATION ORDINANCE RECORDED MARCH 10, 1980 IN BOOK 194 AT PAGE 343.

TERMS, CONDITIONS AND PROVISIONS OF EASEMENT GRANTED TO US WEST COMMUNICATIONS, INC. RECORDED NOVEMBER 22, 1991 IN BOOK 217 AT PAGE 791.

TERMS AND CONDITIONS OF SUBDIVISION IMPROVEMENTS AND LIEN AGREEMENT BETWEEN H. DARYL QUANDT AND PATRICIA KATHLEEN QUANDT AND THE TOWN OF RIDGWAY RECORDED APRIL 22, 1992 IN BOOK 222 AT PAGE 95.

NOTES, EASEMENTS, RIGHTS OF WAY, AND RESTRICTIONS AS CONTAINED ON THE RECORDED PLATS FILED APRIL 22, 1992 UNDER RECEPTION NO. 150643, RECORDED DECEMBER 8, 1994 UNDER RECEPTION NO. 158254 AND RECORDED JANUARY 26, 1995 UNDER RECEPTION NO. 158652.

SUBJECT TO NOTICE CONCERNING UNDERGROUND FACILITIES OF SAN MIGUEL POWER ASSOCIATION RECORDED JUNE 22, 1993 IN BOOK 227 AT PAGE 145.

TERMS, CONDITIONS AND AGREEMENTS AS CONTAINED IN EASEMENT AGREEMENT BY AND BETWEEN RIDGWAY HOT SPRINGS, LLC AND TELLURIDE REAL ESTATE COMPANY, LLC, RECORDED JUNE 11, 2007 UNDER RECEPTION NO. 195143 AND AMENDMENT/CLARIFICATION TO EASEMENT AGREEMENT RECORDED JULY 13, 2009 UNDER RECEPTION NO. 201106.

ANY INCREASE OR DECREASE IN THE AREA OF THE LAND AND ANY ADVERSE CLAIM TO ANY PORTION OF THE LAND WHICH HAS BEEN CREATED BY OR CAUSED BY ACCRETION OR RELICTION, WHETHER NATURAL OR ARTIFICIAL; AND THE EFFECT OF THE GAIN OR LOSS OF AREA BY ACCRETION OR RELICTION UPON THE MARKETABILITY OF THE TITLE OF THE LAND.

ANY RIGHTS OR INTERESTS OF THIRD PARTIES WHICH EXIST OR ARE CLAIMED TO EXIST IN AND OVER THE PRESENT AND PAST BED, BANKS OR WATERS OF UNCOMPAGHORE RIVER.

MATTERS DISCLOSED ON IMPROVEMENT SURVEY ISSUED BY ORION SURVEYING CERTIFIED DECEMBER 12, 2019, PROJECT NO. 18079. STORED IN OUR RECORDS AS IMAGE 20049484.

ANY AND ALL OTHER RECORDED AGREEMENTS, COVENANTS, EASEMENTS AND DOCUMENTS OF RECORD

Dated this \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

Thomas G. Kennedy, Attorney at Law

CERTIFICATE OF IMPROVEMENTS COMPLETION:

The undersigned, Town Manager of the Town of Ridgway, does certify that all improvements and utilities required by the current Subdivision Regulations of the Town of Ridgway have been installed in this Subdivision in accordance with the specifications of the Town except for the following which have been secured pursuant to Town subdivision regulations:

Date: \_\_\_\_\_

Town Manager

OURAY COUNTY TREASURER:

I certify that as of the \_\_\_\_ day of \_\_\_\_\_, there are no delinquent taxes due, nor are there any tax liens, against the property described herein or any part thereof, and that all current taxes and special assessments have been paid in full.

Date: \_\_\_\_\_

Ouray County Treasurer

PLANNING COMMISSION:

Approved by the Ridgway Town Planning Commission this \_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_, by \_\_\_\_\_

Chairman.

TOWN COUNCIL:

Approved by the Ridgway Town Council this \_\_\_\_day of \_\_\_\_\_, A.D. 20\_\_\_\_, by \_\_\_\_\_

Mayor.

TOWN ATTORNEY'S CERTIFICATE:

Approved for recording this \_\_\_\_day of \_\_\_\_\_, 20\_\_\_\_.

Town Attorney

ENGINEER'S CERTIFICATE:

I, \_\_\_\_\_, a Registered Engineer in the State of Colorado, do certify that the streets, curb gutter & sidewalk, sanitary sewer system, the water distribution system, fire protection system and the storm drainage system for this subdivision are properly designed, meet the Town of Ridgway specifications, are adequate to serve the Subdivision shown hereon.

Date: \_\_\_\_\_

Engineer Registration Number

BASIS OF BEARINGS:

The bearing between the found #5 rebar and aluminium cap (LS12180) on the Northern property line of Lot 1, and the found #5 rebar and aluminium cap (LS12180) southeastern property line of Lot 1 (BOTH AS DEPICTED HEREON), bears S 00°00'00" E according to the Plat of Lot 1, Triangle Subdivision recorded April 22, 1992 under reception no. 150643.

LINEAL UNITS STATEMENT:

The Lineal Unit used on this Plat is U.S. Survey Feet

SURVEYORS CERTIFICATE:

I, David R. Bulson, Colorado PLS 37662, hereby certify that this Plat was prepared under my direct supervision and that said survey is accurate to the best of my knowledge, conforms to all requirements of the Colorado Revised Statutes, and all applicable Town of Ridgway regulations, and that all required monuments have been set as shown.

David R. Bulson CO PLS 37662

RECORDER'S CERTIFICATE:

This Plat was filed for record in the office of the Clerk and Recorder of Ouray County at \_\_\_\_\_.m. on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Reception No. \_\_\_\_\_

by \_\_\_\_\_  
County Clerk & Recorder Deputy

1. FORMATION OF COMMON INTEREST COMMUNITY. Alpine Homes–Ridgway, LLC, a Colorado limited liability company ("Owner") as the owner of the property depicted in this plat ("Property") and as declarant under the below described Condominium Documents, states as follows:

(A) The Property is being developed as a Colorado common interest ownership community under the name Riverfront Village Planned Unit Development ("Community"), which will be reflected in certain "Condominium Documents," including a "Condominium Map," "Condominium Declaration," and certain Articles of Incorporation and Bylaws for The Riverfront Village Owners Association, Inc., a Colorado nonprofit corporation ("Association"). The Condominium Declaration is being recorded with the recordation of this plat. The Condominium Map will be prepared, executed and recorded as the

buildings, facilities and other improvements containing the Units, Common Elements and infrastructure serving the development are completed and prior to the conveyance of a Unit to a third party. Prior to their execution and recordation, the Condominium Documents will be reviewed and approved by the Town of Ridgway.

(B) The Community will consist of certain condominium units "Units", which may be separately owned by individual owners ("Unit Owners"), including certain Units usable for residential purposes ("Residential Unit(s)") and certain Units usable for commercial purposes ("Commercial Unit(s)") and, certain "Common Elements" as the same will be more particularly defined, described, designated and/or depicted on the Condominium Documents. The Residential Units are anticipated to be configured and included in either a building containing multiple Units ("Multifamily Residential Units") or as adjoining Units in a Townhome arrangement ("Townhome Dwelling Units").

(C) This Plat depicts the general location of the siting for potential buildings and improvements proposed to accommodate the Units and Common Elements that can be constructed on the Property and included in the Community. The "Improvements" consist of any and all buildings, structures, facilities and similar features that are constructed on or otherwise made to the Property at any time to accommodate, support, serve or otherwise facilitate the Units and Common Elements included in the Community or otherwise benefit the Unit Owners and Association. The final siting of the Improvements that may be shown on this Plat may be modified as plans are refined and shall be reflected in the Condominium Documents.

(D) The Owner reserves the right to undertake and complete some or all of the Improvements and annex the completed Units and Common Elements into the Community.

(E) The entirety of the Property is subjected to Reserved Rights (as defined in the Declaration), which may be exercised by Owner (as declarant) as provided for in the Condominium Documents.

2. DEVELOPMENT AGREEMENT. The Owner and the Town have entered into a certain "Development Agreement" concerning the property covered by this Plat, which was recorded on \_\_\_\_\_, 20\_\_\_\_ in Reception No. \_\_\_\_\_ in the Ouray County records.

3. VESTED RIGHTS AND PHASING PLAN. The Development Agreement establishes certain vested property rights and phasing timing and sequencing for the development of the property. Please refer to the Development Agreement for all terms, conditions, and requirements relating to the vested property rights and phasing timing and sequencing for the development of the property.

4. PROVISION OF DEED RESTRICTED HOUSING. The Owner hereby restricts the ownership, use and occupancy of the following: (a) a one bedroom unit in Building M3 (to be denoted as Unit 102); (b) a one bedroom unit in Building M3 (to be denoted as Unit 201); (c) a two bedroom unit in Building CM (to be denoted as Unit 202) and (d) a two bedroom unit in Building CM (to be denoted as Unit 203) ("Deed Restricted Units") to the terms, conditions, restrictions and requirements of a Deed Restriction as provided for in Section 4 of the Development Agreement, which shall run in perpetuity and not expire and shall survive any foreclosure of the Deed Restricted Units, unless the restrictions are otherwise released or modified with the written consent of the Town. The Development Agreement further establishes certain restrictions on ownership, use and pricing of the Deed Restricted Units and the timing and sequencing by which the Owner must construct and convey the Deed Restricted Units. Please refer to the Development Agreement for all terms, conditions and requirements relating to the Deed Restricted Units. The Parties may mutually agree to amend the Development Agreement to modify the Units which are being designated as a Deed Restricted Unit without the need to amend this Plat.

5. SHORT–TERM RENTALS. Only the Townhouse Dwelling Units may be used for "Short–Term Rental" purposes. In all events, such usage must be in compliance with applicable codes and regulations of the Town of Ridgway in effect at the time of the proposed usage, which codes and regulations include: short-term rental regulations, lodging and sales taxes, any applicable licensing, and any future amendments to the Municipal Code

6. COMMON ELEMENT MAINTENANCE. The Association shall have the obligation to maintain the Common Elements and Improvements located within the Community that are owned by the Association as provided for in the Declaration. This obligation shall include but not be limited to the maintenance and repair of all roads, sidewalks, fences, retaining walls, benches, lighting, shared parking areas, including snow removal, landscaping, weed mitigation and control, irrigation systems, ditches and pipelines, drainage/stormwater management facilities, commonly owned utilities and other Community facilities. Owners of Units are responsible for the repair and maintenance of any Improvements located on their Unit, unless designated for maintenance and repair by the Association. The Town is not responsible or liable in any manner for the maintenance, repair, or operation of such Common Elements and Improvements owned and operated by the Association. In the event that said maintenance is not properly performed, the Town of Ridgway, following written notice and reasonable time to cure, may cause the work to be done, assess the cost to the Association, may certify such charges as delinquent charges to the county Treasurer to be collected similarly to taxes, may record a lien on said Common Elements, which may be foreclosed in any

lawful manner, or may pursue any other remedy available in order to collect such charges. These obligations shall run with the land and be binding upon all successors in interest to the said lot(s).

7. OUTDOOR LIGHTING. All outdoor lighting fixtures shall comply with Town regulations.

8. MAXIMUM ALLOWABLE UNITS:

- (a) The maximum number of Townhouse Dwelling Units is 10;
- (b) The maximum number of Multifamily Dwelling Units is 28;
- (c) The maximum number of Commercial Units is 4

9. EASEMENTS. Alpine Homes–Ridgway, LLC, a Colorado limited liability company as the current, fee simple owner of the property depicted in this plat has designated, created and conveyed certain easements ("Easements") as described hereinbelow benefiting and burdening portions of the property as depicted and described herein. The Easements are being established by Owner for the particular purposes and uses stated hereinbelow. The location of the Easements as depicted on this plat are the initial alignments and may be revised during the final platting and/or creation of the condominium map to match actual location of improvements. Notwithstanding the foregoing, the Easements depicted herein shall not be decreased without the consent of the impacted party. The Easements are being reserved herein for the use and benefit of the particular parties indicated below, including the Association and the respective Unit Owners and their tenants, guests and invitees, and/or the Town of Ridgway and the general public as provided for herein. In the event the Owner or Association desire to amend any the terms and conditions of the Easements, including the location of the Easement Areas, and provided the Town agrees to such modifications, the Owner, or the Association(s) and Town may file a separate instrument reflecting these modifications, which reference this Plat and need not necessarily cause an amendment to this Plat to be executed and recorded to accomplish the modifications.

(a) Access Easement. A portion of the Community, designated and depicted as an "Access Easement" on this Plat, is subject to a perpetual, non-exclusive easement which allows a party benefitted by the Access Easement the right to install, repair, replace, maintain, upgrade, use and operate roads and streets including drainage improvements, sidewalks and similar related facilities enabling vehicular and pedestrian access to and from the Community for the use and benefit of the Association, each Unit Owners and their respective guests, and invites. The roads shall be privately owned and maintained by the Association. The Access Easement is also granted to and may be used by the Town, other utility companies and the general public for access to the Project.

(b) Utility Easement. A portion of the Community, designated and depicted as a "Utility Easement" on this Plat, is subject to a perpetual, non-exclusive easement which allows for the right to install, repair, replace, maintain, upgrade, use, operate and remove certain main and distribution underground utilities and surface appurtenances ("Utility Facilities") along with a reasonable right of entry, ingress and egress to and from the Easement Area and adjacent public right-of-way, which easement rights are being dedicated, granted and conveyed for the use and benefit of Town of Ridgway. The Utility Facilities that are being installed within the Utility Easement shall conform with plans for the Utility Facilities that have been approved by the Town, as such plans may be amended from time to time to accommodate new Utility Facilities or to modify the existing Utility Facilities Plans, subject to approval of the modified Utility Facilities Plans by the Town in the diligent exercise of its commercially reasonable discretion.

(c) Private Service Utility Easement. A portion of the Community, designated and depicted as a "Private Service Utility Easement" on this Plat, is subject to a perpetual, non-exclusive easement which allows a party benefitted by the Private Service Utility Easement the right to install, repair, replace, maintain, upgrade, use, operate and remove certain service Utility Facilities that extend utility services to individual buildings and improvements within the Community along with a reasonable right of entry, ingress and egress to and from the Easement Area and adjacent public right-of-way, which easement rights are being dedicated, granted and conveyed for the use and benefit of Owner, Association and/or a utility provider, including the Town of Ridgway. The utility facilities shall be owned and maintained by the Utility Provider who owns, operates and manages the particular facility or the benefitting party as provided for in the rules of service from the public utility. There shall not be any Town of Ridgway utilities within the Private Service Utility Easement.

(d) Drainage Easement. A portion of the Community, designated and depicted as a "Drainage Easement" on this Plat, is subject to a perpetual, non-exclusive easement which allows the Owner and Association to install, repair, replace, maintain, upgrade, use and operate stormwater and drainage facilities and systems serving only development occurring in the Community, which easement rights are being dedicated, granted and conveyed for the use and benefit of Owner, Association and/or the Town of Ridgway.

(e) Public Recreational Trail Easement. A portion of the Community, designated and depicted as a "Non-Motorized Public Recreational Trail Easement" on this Plat is being created by Owner and is being dedicated, granted, and conveyed to the Town of Ridgway as a perpetual, non-exclusive easement allowing for the right to install of the Town (following the initial installation of the trail and other related facilities, including the retaining wall, by the Owner), to repair, replace, maintain, use and operate a public

hiker/biker, non–motorized trail and other related facilities, including the retaining wall.

(f) Pedestrian Trail/Underpass or Overpass/Signage Easement. A portion of the Community, designated and depicted as a "Pedestrian Trail/Underpass or Overpass/Signage Easement" on this Plat is being created by Owner and is being dedicated, granted and conveyed to the Town of Ridgway as a perpetual, non-exclusive easement allowing the Town of Ridgway the right to: (a) install, repair, maintain, use and operate a public hiker/biker, non–motorized trail along with a right to construct a future highway trail underpass connecting to development in East Ridgway, and (b ) install, repair, maintain, use and operate a Town of Ridgway entry signage.

(g) Public Park Easement. A portion of the Community, designated and depicted as a "Public Park Easement" on this Plat is being created by Owner and is being dedicated, granted and conveyed to the Town of Ridgway as a perpetual, non-exclusive easement allowing the Town of Ridgway (following the initial installation of the park improvement by the Owner), the right to install, repair, maintain, use and operate a public park for recreational purposes. Before installing other improvements, the Town shall obtain the approval of the Owner through such time as Owner still owns property within the project and thereafter, from the Association, which approval shall not be unreasonably withheld provided that the improvements are compatible with the project and would not create unacceptable impacts (light, noise, odor) to the development in the project.

10. The Plat depicts a certain 20' wide utility easement established by the Plat recorded in Reception No. 150643 which was granted to the Town of Ridgway and is used by San Miguel Power Association ("SMPA"). The Owner, Town of Ridgway and SMPA have agreed to execute and record a certain Easement For Underground Power Line and Related Facilities and Easement Termination Agreement that both: (a) vacates the 20' wide utility easement at such time as the Owner has installed relocated powerline facilities in an alternative location on the Property and (b) establishes, grants and conveys an easement to SMPA for such relocated utilities.

11. "SOILS: Soils throughout the Ridgway area have been found to have the potential to swell, consolidate and cave and release radon. All owners, contractors, and engineers are required to investigate soil, groundwater, and drainage conditions on a particular lot prior to design and construction. On April 27, 2020, Huddleston–Berry Engineering & Testing, LLC of Colorado issued a Geotechnical Investigation discussing the soil characteristics on Lot 1 in the Triangle Subdivision, which all owners, contractors and engineering are encouraged to obtain and review prior to building. By accepting a deed to real property located in this subdivision, the owners of land herein agree to hold the Town of Ridgway harmless from any claim related to soils conditions present in this subdivision.


12. CDOT ACCESS PERMIT: Vehicular access to or from property adjoining a state highway shall be provided to the general street system, unless such access has been acquired by a public authority. Pursuant to C.R.S. § 43–2–147(1)(b), all lots and parcels created by this subdivision will have access to the state highway system in conformance with the state highway access code.

13. PRIOR EASEMENTS: The property platted hereon is subject to the prior easements as shown hereon, except that certain of the easements are being modified, amended and/or vacated by separate instruments as noted on this Plat.

14. The 100–year flood plain line shown was determined by Del–Mont Consultants, Inc and is based upon the analysis of David W. Schieldt, PE, CFM which are described and noted in a January 2, 2020 letter to the Town of Ridgway.

15. Owner for itself and for the Association agrees that it is accepting ownership of the entirety of each sewer service line, including the full-bodied wye, that have been installed in the Community and that the Owner and/or the Association will be responsible for any required maintenance or repair of such lines, at their cost and expense. In the event that infiltration and inflow issues relating to these retained lines become a problem the Owner and/or the Association will need to correct the issue within a reasonable time; should the issue not be properly addressed, the Town will undertake the work and charge the cost to the Owner and/or the Association.

NOTICE: According to Colorado Law (13–80–105, CRS) you must commence any legal action based upon any defect in this survey within three (3) years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten (10) years from the date of the certification shown hereon.

ALPINE HOMES-RIDGWAY, LLC TBD Highway 550 Ridgway, CO, 81432	<b>RIVERFRONT VILLAGE PLANNED UNIT DEVELOPMENT</b>
07/05/2023	 <b>BULSON SURVEYING</b>
PROJECT NUMBER 21009	



FINAL PLAT OF:  
**RIVERFRONT VILLAGE, PLANNED UNIT DEVELOPMENT**

LOCATED ON LOT 1R, TRIANGLE SUBDIVISION

SITUATED IN THE E $\frac{1}{2}$ SE $\frac{1}{4}$ NW $\frac{1}{4}$  OF SECTION 16, TOWNSHIP 45 NORTH, RANGE 8 WEST, N.M.P.M.

TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO

LINE TABLE			LINE TABLE			LINE TABLE			CURVE TABLE				
Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Curve #	Length	Radius	Delta	Chord Bearing
L1	N 67°53'41" E	14.00'	L51	S 35°34'10" E	45.99'	L101	N 34°15'59" E	18.59'	C1	186.98'	614.00'	17°27'	S 13°22'53" E
L2	S 22°56'19" E	68.00'	L52	S 53°52'44" W	19.80'	L102	N 00°42'54" E	47.28'	C2	25.64'	614.00'	2°24'	S 03°27'39" E
L3	S 09°32'54" W	78.85'	L53	S 36°07'16" E	107.63'	L103	N 79°34'03" W	173.59'	C3	91.94'	571.43'	9°13'	S 00°43'10" W
L4	S 10°25'31" W	52.97'	L54	S 27°27'06" E	15.89'	L104	S 21°02'09" W	9.71'	C4	36.39'	103.50'	20°09'	S 01°20'35" E
L5	S 15°44'00" E	66.42'	L55	N 61°20'18" E	22.89'	L105	S 53°52'44" W	19.66'	C5	7.69'	53.50'	8°14'	N 84°27'56" E
L6	S 12°11'40" W	8.97'	L56	S 36°24'54" E	36.49'	L106	S 36°07'16" E	155.89'	C6	70.11'	50.00'	80°21'	N 40°10'23" E
L7	S 12°11'40" W	112.06'	L57	S 36°32'50" E	19.46'	L107	S 36°00'38" E	17.78'	C7	81.33'	58.00'	80°21'	N 40°10'23" W
L8	S 15°16'17" W	156.84'	L58	S 36°47'55" E	86.82'	L108	S 36°12'06" E	6.82'	C8	5.68'	39.50'	8°14'	S 84°27'56" W
L9	N 88°35'07" E	129.20'	L59	S 37°14'03" E	97.40'	L109	S 36°13'05" E	14.59'	C9	13.89'	39.50'	20°09'	N 01°20'35" W
L10	N 41°34'30" E	33.82'	L60	S 37°44'28" E	40.00'	L110	S 27°28'07" E	9.91'	C10	6.57'	20.36'	18°41'	N 55°58'27" E
L11	S 71°16'16" E	6.32'	L61	S 52°11'52" W	92.04'	L111	S 27°28'07" E	9.96'	C11	6.64'	44.80'	8°39'	N 31°47'42" W
L12	N 88°35'07" E	9.98'	L62	S 01°33'00" W	127.33'	L112	S 18°25'57" W	110.62'	C12	12.08'	80.00'	8°39'	S 31°47'42" E
L13	N 80°20'45" E	83.79'	L63	N 90°00'00" W	12.21'	L113	S 10°25'57" W	113.58'	C13	36.78'	20.00'	105°21'	S 71°06'41" W
L14	N 00°00'00" E	45.50'	L64	S 18°25'57" W	23.36'	L114	S 21°02'09" W	43.41'	C14	27.39'	78.25'	20°04'	N 40°10'23" W
L15	N 81°18'47" E	11.12'	L65	S 71°34'03" E	10.50'	L115	S 10°25'57" W	101.54'	C15	14.80'	80.00'	10°36'	S 15°44'03" W
L16	S 08°41'13" E	8.02'	L66	S 18°25'57" W	15.90'	L116	N 10°25'57" E	57.67'	C16	28.95'	31.00'	53°30'	S 43°32'09" E
L17	S 01°18'47" W	4.25'	L67	N 79°34'03" W	10.50'	L117	N 21°02'09" E	4.35'	C17	8.14'	44.80'	10°36'	S 15°44'03" W
L18	S 00°00'00" E	38.63'	L68	S 10°25'57" W	79.00'	L118	S 79°34'03" E	137.21'	C18	7.98'	52.17'	8°39'	S 31°47'42" E
L19	S 08°20'45" W	85.37'	L69	S 14°05'51" W	6.44'	L119	N 79°34'03" W	129.99'	C19	42.17'	26.30'	79°41'	S 08°36'31" W
L20	S 08°30'00" E	24.36'	L70	S 10°25'57" W	50.76'	L120	N 18°25'57" E	63.40'	C20	37.08'	71.83'	29°25'	S 33°13'22" E
L21	N 71°16'16" W	13.80'	L71	S 79°34'03" E	11.31'	L121	N 18°25'57" E	114.28'	C21	10.03'	71.83'	8°00'	S 14°25'57" W
L22	S 41°34'30" E	31.99'	L72	S 10°25'57" W	18.66'	L122	S 44°17'29" E	6.70'	C22	16.05'	52.17'	10°36'	S 15°44'03" W
L23	S 08°30'00" E	149.70'	L73	S 79°34'03" E	119.90'	L123	S 36°09'00" E	94.50'	C23	13.29'	71.83'	10°36'	S 15°44'03" W
L24	S 00°00'00" E	105.49'	L74	N 10°25'57" W	58.24'	L124	S 36°07'16" E	34.00'	C24	13.29'	71.83'	10°36'	S 15°44'03" W
L25	S 08°30'00" E	260.23'	L75	N 79°34'16" W	40.57'	L125	S 36°25'45" E	19.80'	C25	29.08'	27.17'	61°09'	N 20°13'22" E
L26	N 02°44'53" W	27.57'	L76	N 41°07'09" W	8.87'	L126	N 52°11'52" E	19.66'	C26	7.69'	52.17'	10°36'	S 15°44'03" W
L27	N 02°50'23" W	23.65'	L77	N 36°07'16" W	18.00'	L127	N 36°13'02" E	53.58'	C27	16.86'	52.17'	79°24'	N 60°44'03" E
L28	N 02°46'01" E	46.46'	L78	N 53°52'44" W	10.00'	L128	N 36°09'29" E	43.70'	C28	103.80'	42.32'	140°31'	N 11°26'09" E
L29	N 75°30'02" E	9.49'	L79	N 53°52'44" W	10.00'	L129	N 36°07'16" W	43.70'	C29	19.12'	12.17'	90°00'	N 34°34'03" W
L30	N 04°46'36" W	24.66'	L80	N 36°07'16" E	10.00'	L130	N 45°13'17" W	18.84'	C30	7.28'	52.17'	8°00'	N 14°25'57" E
L31	N 09°31'55" E	48.62'	L81	S 36°07'16" E	12.70'	L131	N 27°34'03" W	23.68'	C31	61.50'	26.67'	114°53'	N 75°32'22" E
L32	N 75°31'57" E	9.56'	L82	S 79°34'24" E	19.29'	L132	N 36°07'16" W	9.557'	C32	15.30'	86.37'	10°09'	S 41°12'56" E
L33	N 14°06'46" W	9.92'	L83	S 79°34'24" E	19.29'	L133	N 39°34'10" W	32.33'	C33	19.01'	117.80'	9°15'	N 41°14'02" W
L34	N 14°10'12" E	34.30'	L84	S 79°34'24" E	9.37'	L134	N 36°07'16" W	26.50'	C34	51.64'	206.36'	14°20'	N 35°42'50" W
L35	N 10°25'41" E	31.28'	L85	N 52°12'08" E	30.97'	L135	N 08°38'24" W	115.91'	C35	10.86'	71.83'	8°40'	N 31°47'18" W
L36	N 75°31'36" E	8.53'	L86	N 36°08'22" W	128.59'	L136	N 12°08'32" E	12.77'	C36	40.76'	22.17'	105°21'	N 16°33'01" E
L37	N 01°21'00" E	25.61'	L87	S 10°25'57" W	12.36'	L137	S 79°34'03" E	115.43'	C37	41.88'	22.17'	105°21'	N 09°12'36" W
L38	N 04°23'28" E	46.48'	L88	S 21°02'09" W	11.4'	L138	N 36°07'16" W	144'	C38	56.55'	18.00'	180°00'	S 10°25'57" W
L39	N 75°22'23" E	13.26'	L89	S 79°34'03" E	120.89'	L139	N 52°11'52" E	24.01'	C39	18.75'	12.17'	80°17'	N 56°17'19" E
L40	N 14°03'38" W	15.02'	L90	N 10°25'57" E	28.00'	L140	S 36°07'16" E	40.02'	C40	20.55'	12.17'	96°44'	N 31°12'12" W
L41	N 17°20'54" E	54.98'	L91	N 79°34'03" W	119.31'	L141	S 52°11'52" E	77.30'	C41	23.12'	15.00'	80°19'	N 08°12'18" E
L42	N 04°40'02" E	50.49'	L92	S 10°25'57" W	70.94'	L142	S 26°58'28" W	36.80'	C42	22.54'	114.29'	11°19'	N 41°47'40" W
L43	N 30°12'08" E	23.91'	L93	S 79°34'03" E	9.37'	L143	N 08°44'00" W	41.17'	C43	31.65'	198.40'	10°32'	N 42°01'13" W
L44	N 07°00'00" E	28.00'	L94	S 09°34'29" E	37.90'	L144	N 36°08'22" W	8.73'	C44	11.48'	198.40'	37°19'	N 29°07'34" W
L45	S 09°30'00" E	10.28'	L95	N 04°12'37" E	50.63'	L145	N 52°11'52" E	44.80'	C45	11.48'	198.40'	37°19'	N 29°07'34" W
L46	N 27°09'07" W	15.84'	L96	N 10°21'27" W	14.62'	L146	N 36°08'22" W	147.91'					
L47	N 36°07'16" W	195.07'	L97	N 79°28'32" E	28.00'	L147	N 37°41'02" W	20.08'					
L48	S 25°52'44" E	36.00'	L98	S 10°31'27" E	17.19'	L148	N 27°34'03" W	4.68'					
L49	S 36°07'16" E	41.49'	L99	N 05°49'23" E	18.19'	L149	S 27°40'57" E	7.57'					
L50	N 33°52'44" E	20.41'	L100	N 56°06'06" E	19.82'								

**HATCHING LEGEND**

SEE SHEET 3 FOR SIMPLIFIED DEPICTION OF EASEMENTS PUBLIC PARK EASEMENT - SEE NOTE 9(g)

LOT 2 ACCESS AND UTILITY EASEMENT RECEPTION NO.

LOT 2 EMERGENCY ACCESS EASEMENT RECEPTION NO.

PEDESTRIAN TRAIL/UNDERPASS/SHELTER/SIGNAGE EASEMENT AREA - SEE NOTE 9(f)

PUBLIC MAIN UTILITY EASEMENT - SEE NOTE 9(b) AND EASEMENT FOR UNDERGROUND POWER AND RELATED FACILITIES - SEE NOTE 10

ACCESS EASEMENT - SEE NOTE 9(a)

ACCESS EASEMENT - SEE NOTE 9(a) AND PUBLIC MAIN UTILITY EASEMENT - SEE NOTE 9(b) AND EASEMENT FOR UNDERGROUND POWER AND RELATED FACILITIES - SEE NOTE 10

PUBLIC RECREATIONAL TRAIL EASEMENT - SEE NOTE 9(e)

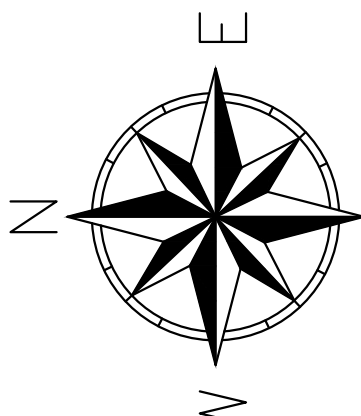
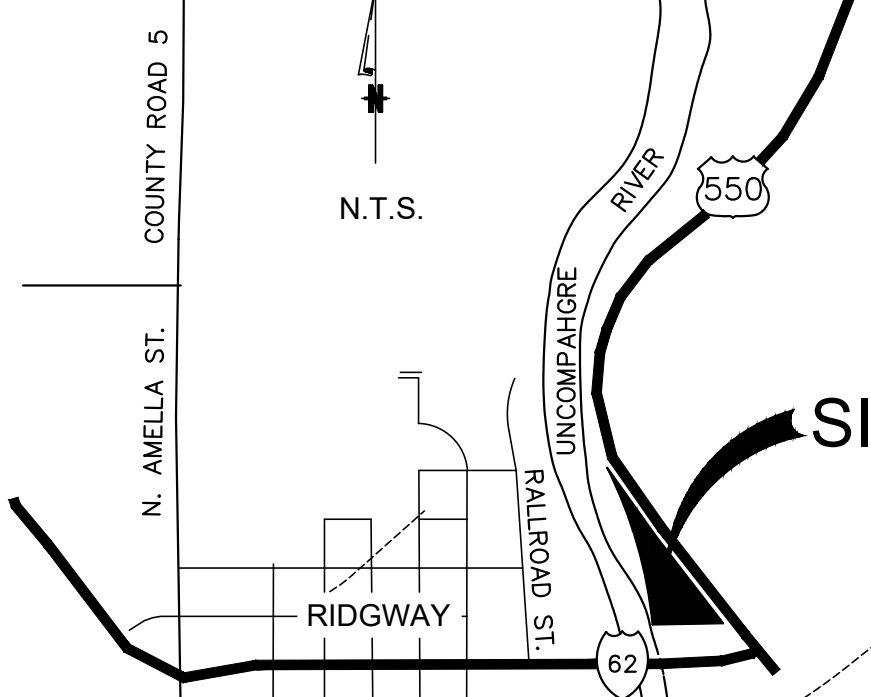
35' WIDE SIGN AND INGRESS/EGRESS EASEMENT PER RECEPTION NO. 163082 (EMERGENCY ACCESS ONLY)

EASEMENT AGREEMENT PER RECEPTION NUMBER 195143 (VACATED PURSUANT TO AMENDED AND RESTATED ACCESS AND SIGNAGE EASEMENT PER RECEPTION NUMBER SEE NOTE 12)

L=899.90'  
R=12116.00'  
Δ=004°15'20"  
T=450.16'  
CH=S35°20'12"E  
CHD=899.69'

L=359.19'  
R=600.00'  
Δ=034°18'00"  
T=185.16'  
CH=N04°57'20"W  
CHD=353.85'

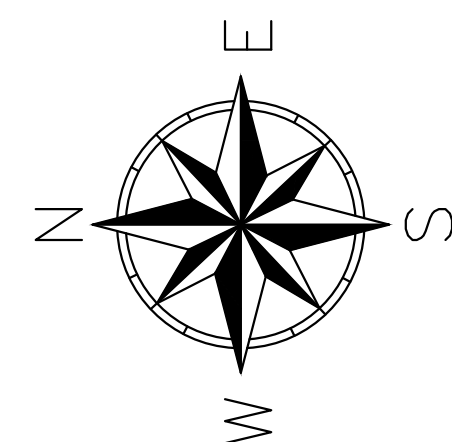
TOWN OF RIDGWAY RECEPTION NO. 196855



SCALE 1"=40'

ALPINE HOMES-RIDGWAY, LLC TBD Highway 550 Ridgway, CO, 81432	<b>RIVERFRONT VILLAGE PLANNED UNIT DEVELOPMENT</b>
07/05/2023	
PROJECT NUMBER 21009	



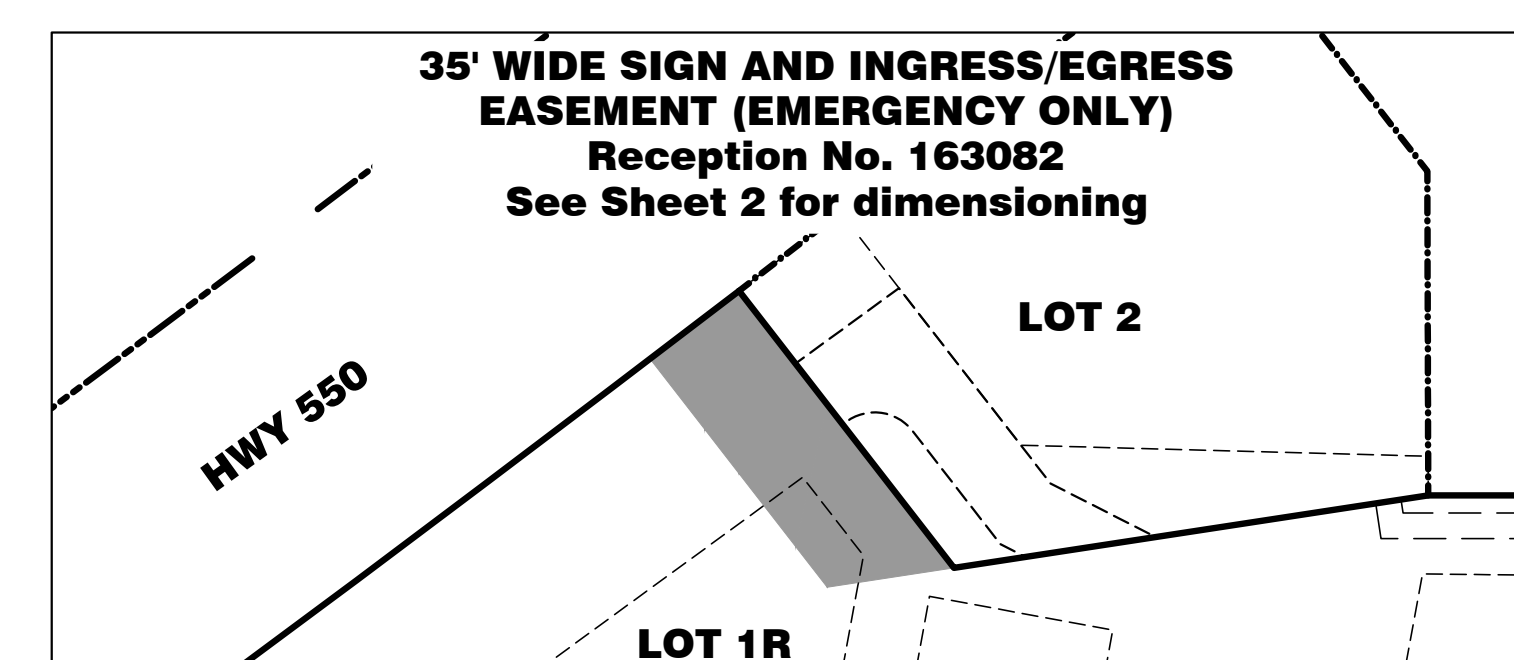
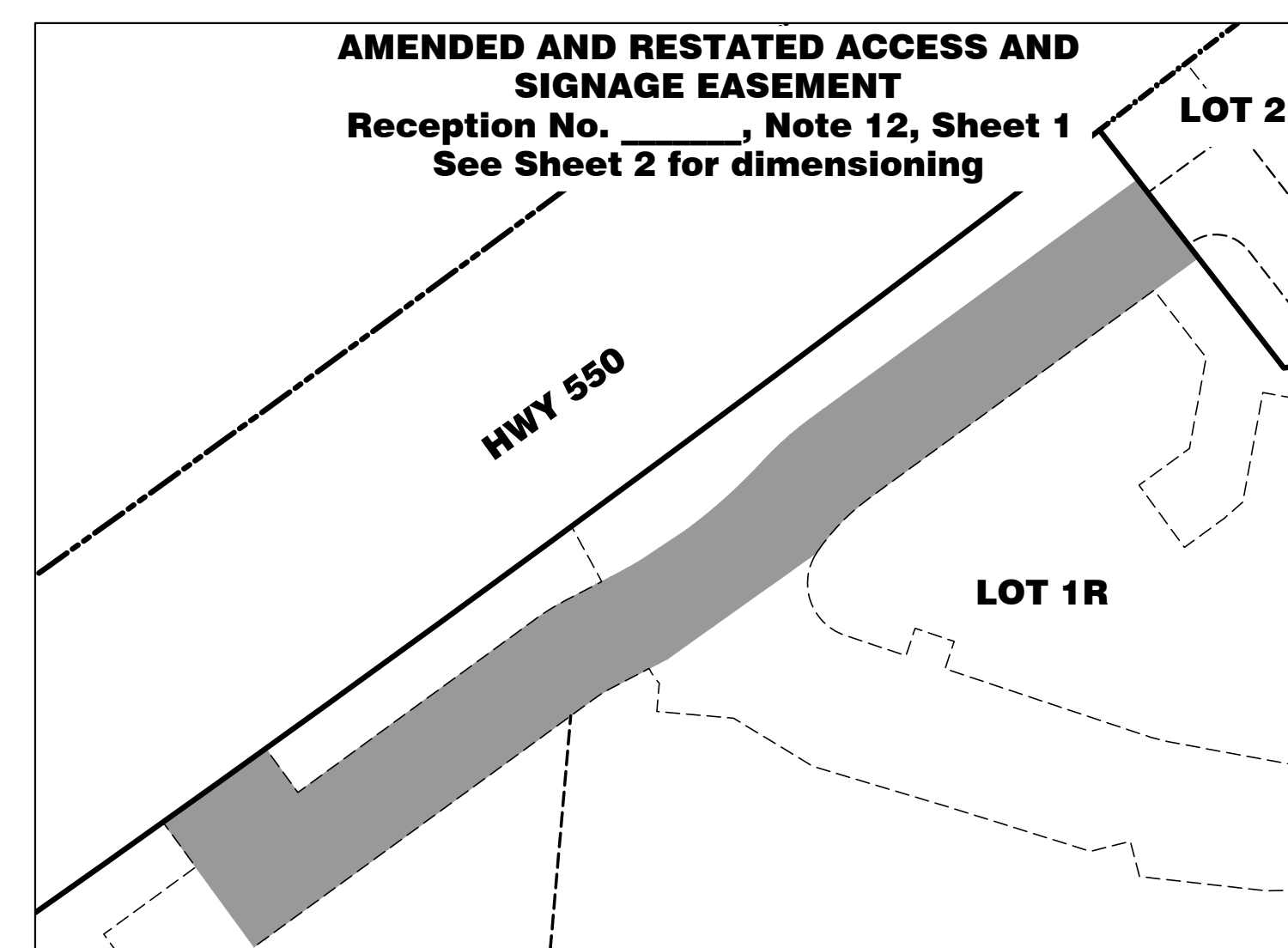
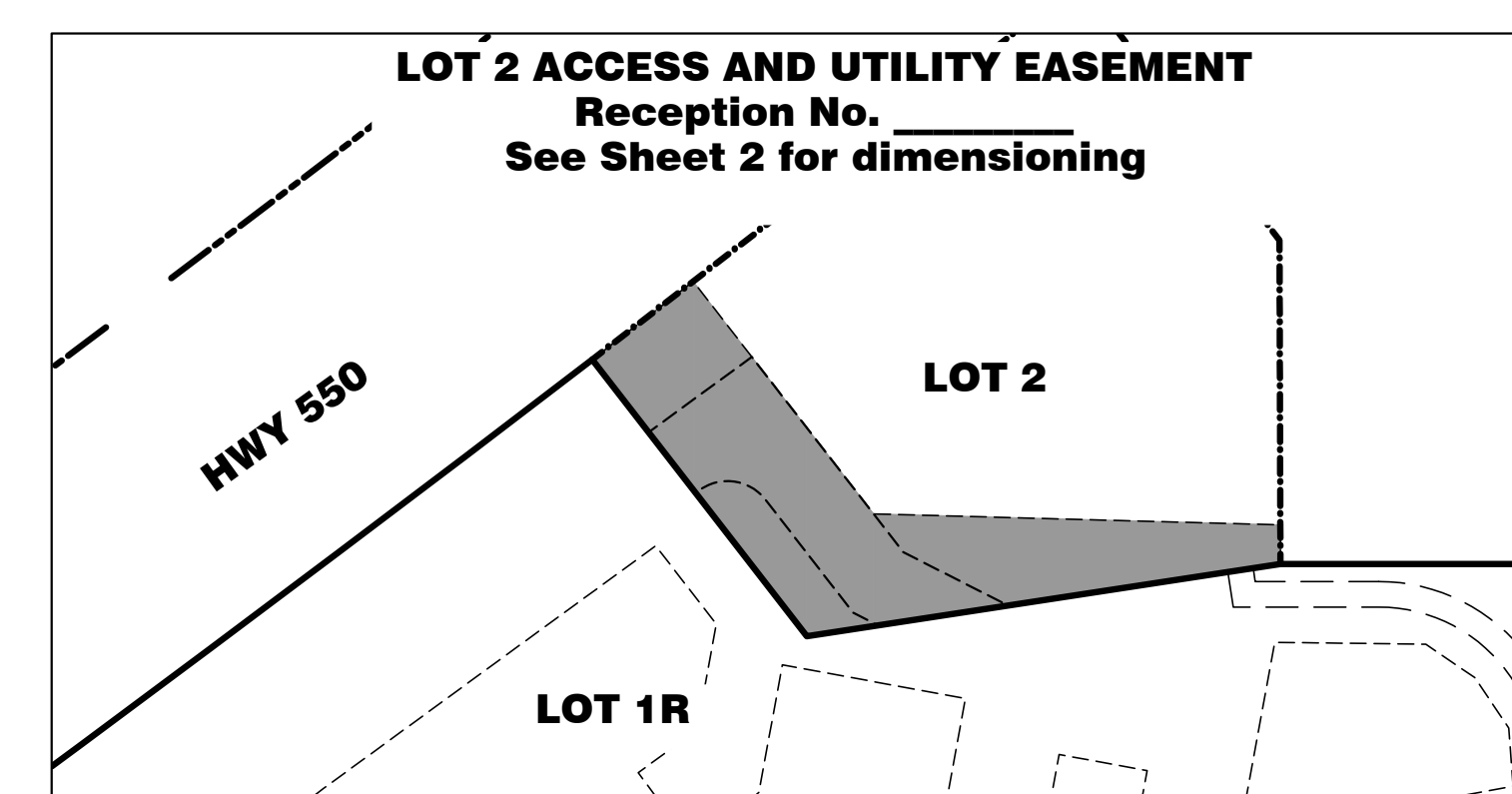
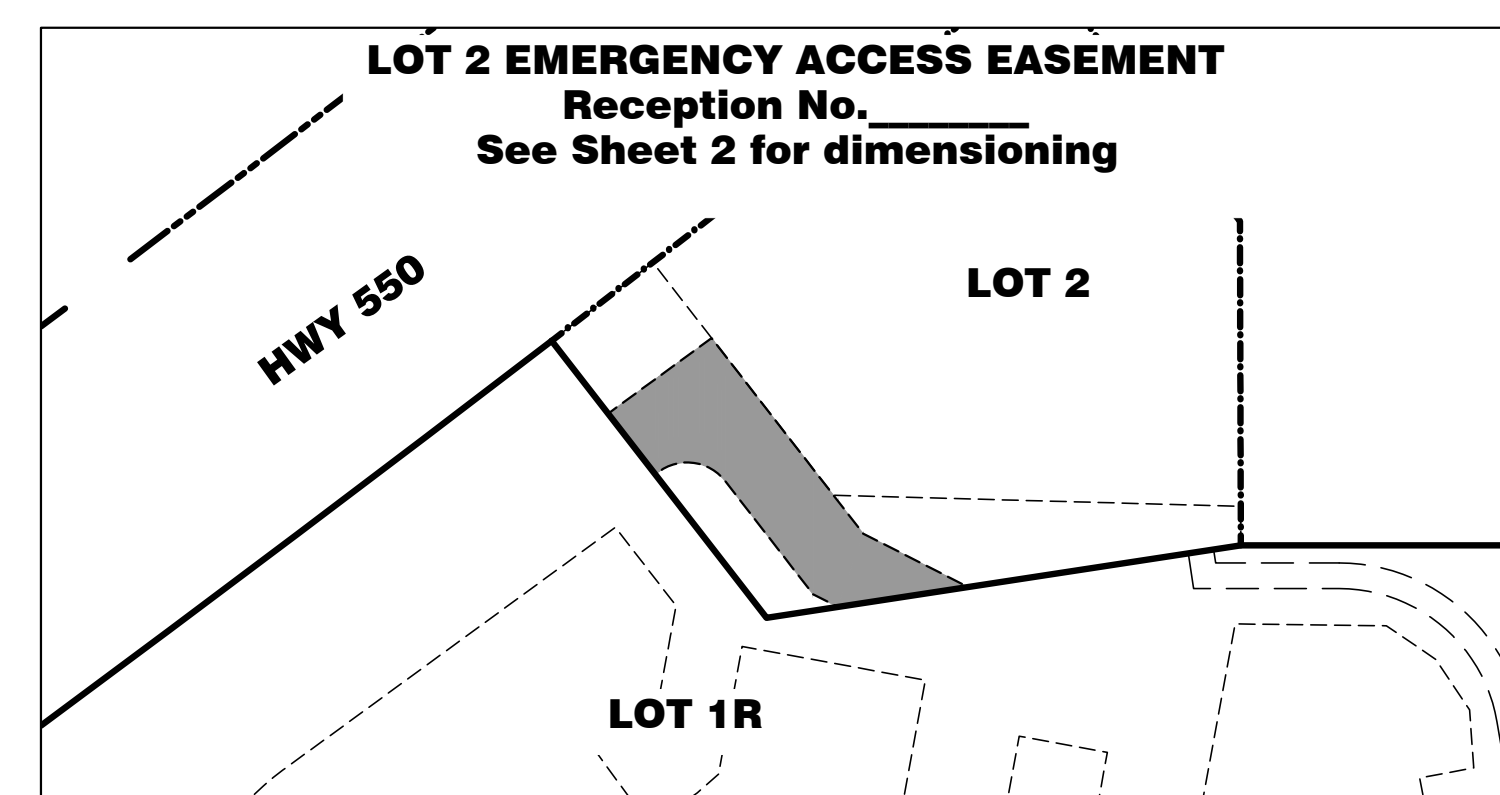
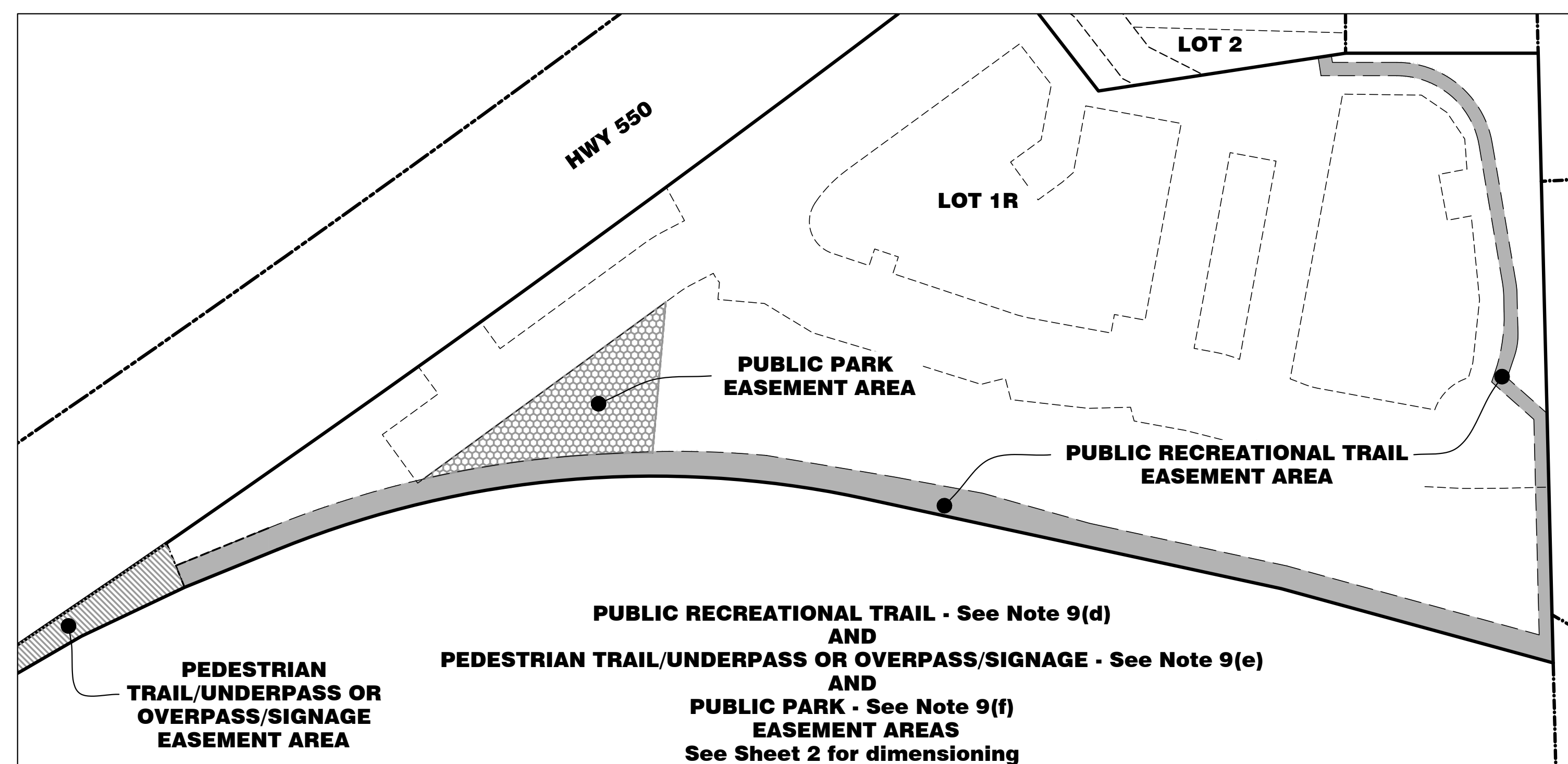
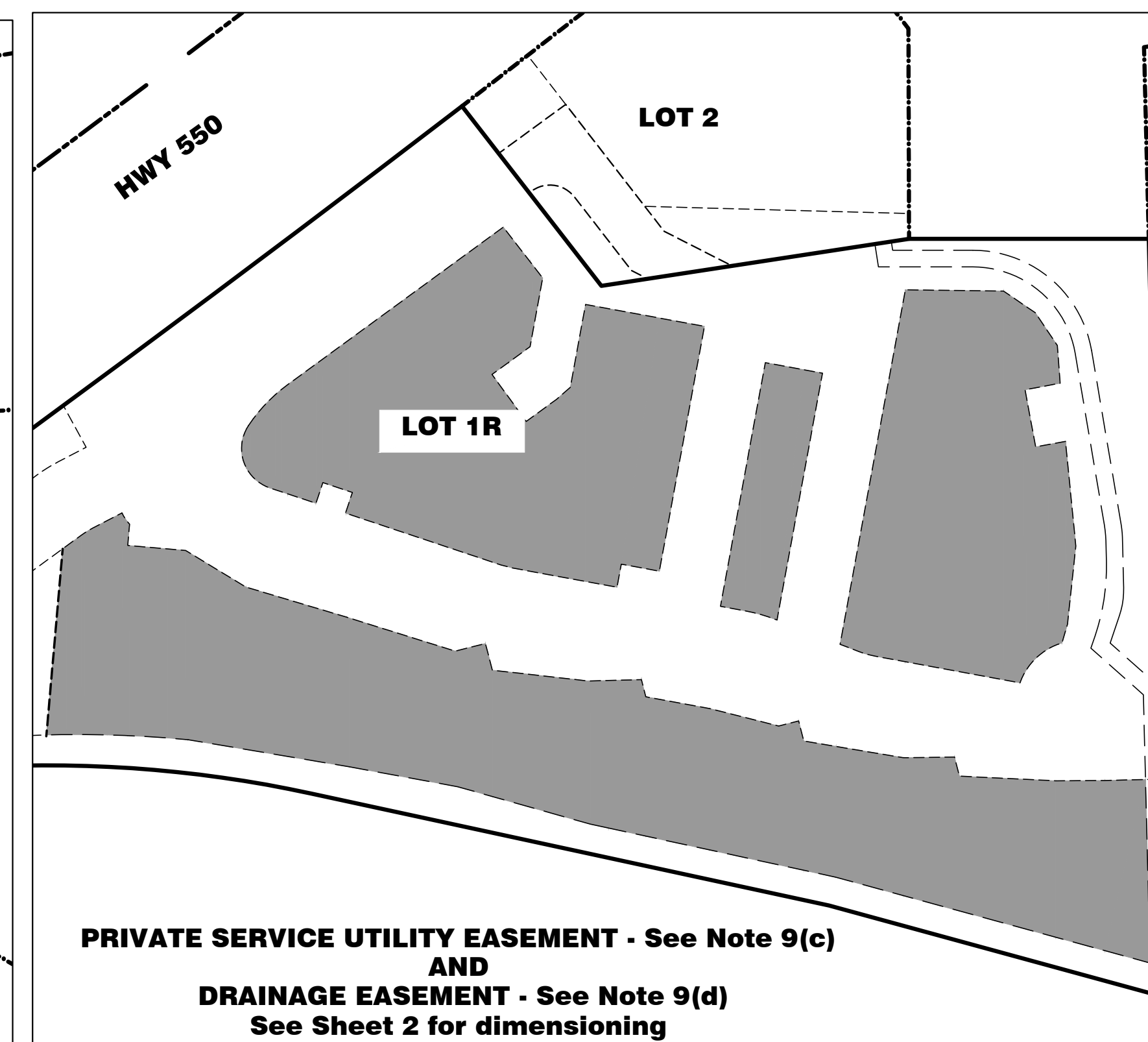
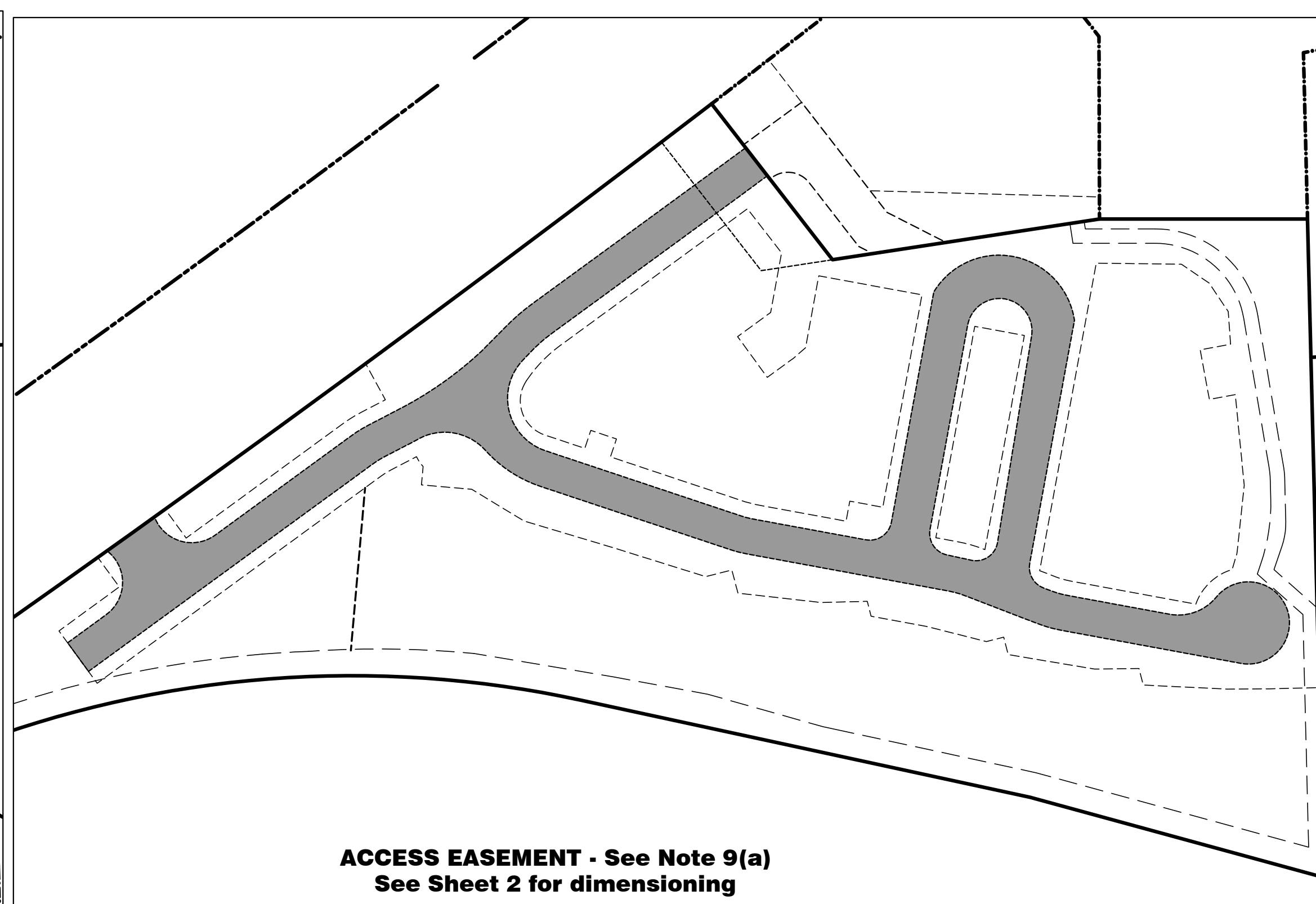
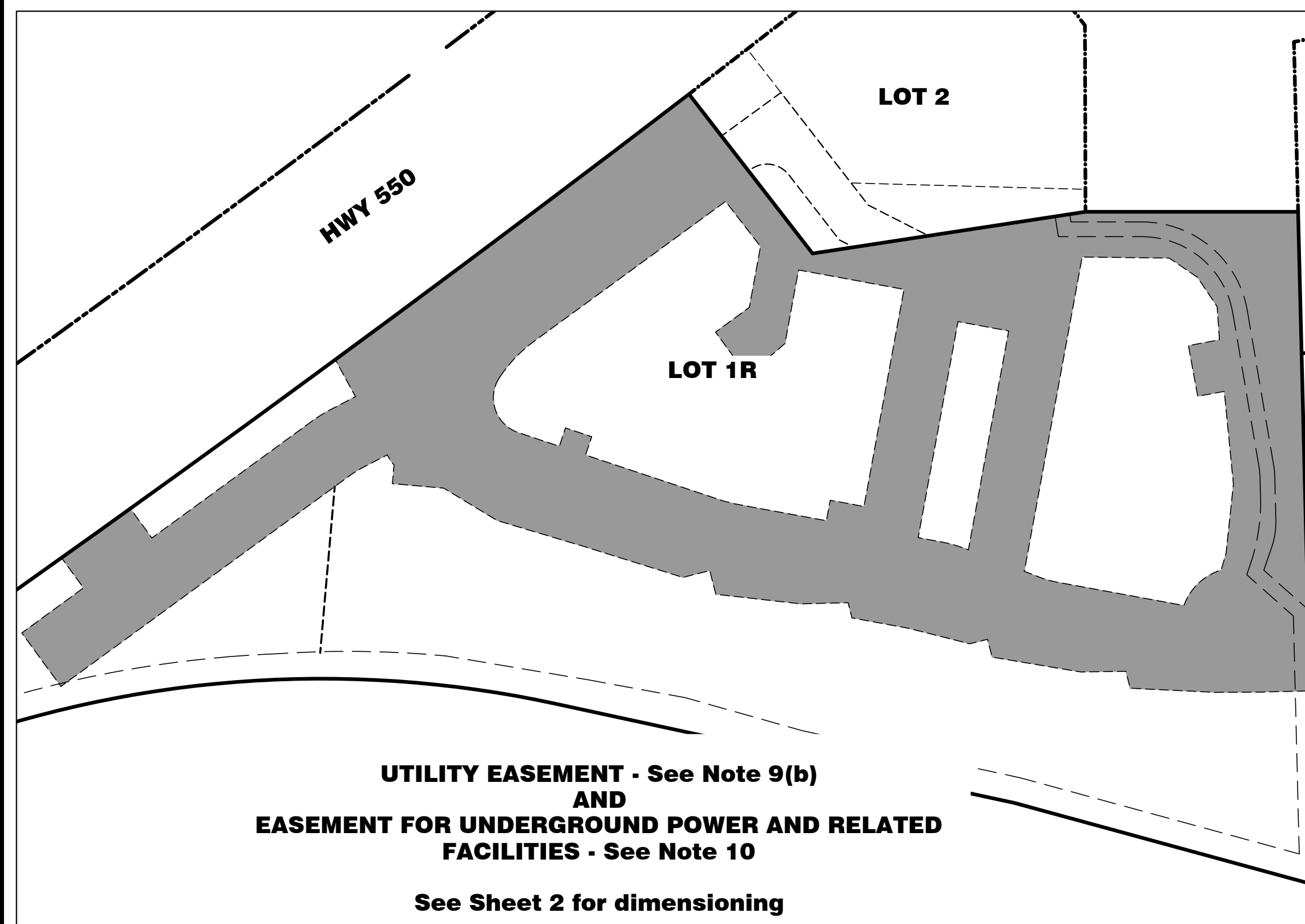


0 60 120 Feet  
SCALE 1"=60'

# FINAL PLAT OF: RIVERFRONT VILLAGE, PLANNED UNIT DEVELOPMENT

LOCATED ON LOT 1R, TRIANGLE SUBDIVISION

SITUATED IN THE E $\frac{1}{2}$ SE $\frac{1}{4}$ NW $\frac{1}{4}$  OF SECTION 16, TOWNSHIP 45 NORTH, RANGE 8 WEST, N.M.P.M.  
TOWN OF RIDGWAY, COUNTY OF OURAY, STATE OF COLORADO



ALPINE HOMES-RIDGWAY, LLC  
TBD Highway 550  
Ridgway, CO, 81432

07/05/2023

PROJECT NUMBER  
21009

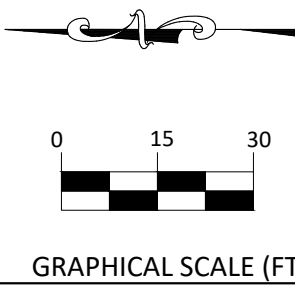
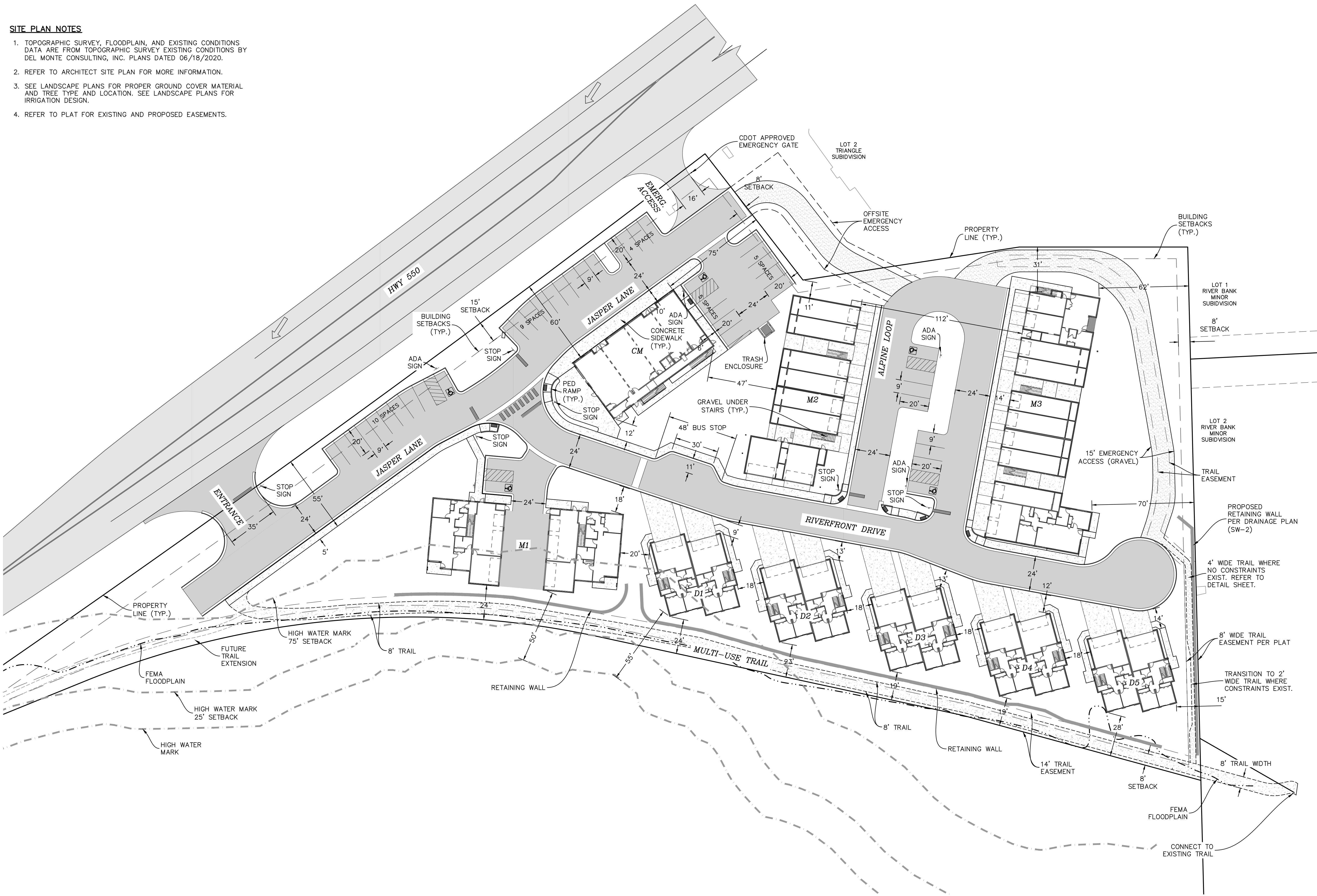
**RIVERFRONT VILLAGE  
PLANNED UNIT  
DEVELOPMENT**

**BULSON  
SURVEYING**



SITE PLAN NOTES

1. TOPOGRAPHIC SURVEY, FLOODPLAIN, AND EXISTING CONDITIONS DATA ARE FROM TOPOGRAPHIC SURVEY EXISTING CONDITIONS BY DEL MONTE CONSULTING, INC. PLANS DATED 06/18/2020.
2. REFER TO ARCHITECT SITE PLAN FOR MORE INFORMATION.
3. SEE LANDSCAPE PLANS FOR PROPER GROUND COVER MATERIAL AND TREE TYPE AND LOCATION. SEE LANDSCAPE PLANS FOR IRRIGATION DESIGN.
4. REFER TO PLAT FOR EXISTING AND PROPOSED EASEMENTS.



Revisions:		DESCRIPTION	
#	DATE		

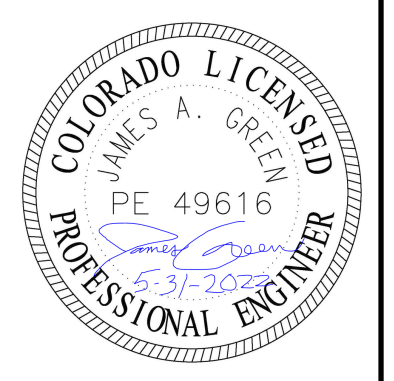
RIVERFRONT VILLAGE  
SITE PLAN  
RIDGWAY, COLORADO



ENGINEERING, LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301  
970-403-5088

PLAN NO.  
SP-1

Sheet 4 of 24  
Project: RIVERFRONT VILLAGE  
Date: 05/31/2022  
Drawn By: CSS  
Checked By: JAG





**RIVERFRONT VILLAGE**  
**LOT 1, TRIANGLE SUBDIVISION**  
**RIDGWAY, COLORADO**

PROJECT NUMBER:	DATE
0139	03.04.2022
DESIGNED: SC	
DRAWN: RM/GW/ST	
CHECKED: SC	

REVISIONS:

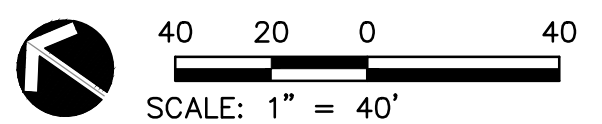
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 MINAL PLAT

SHEET TITLE:

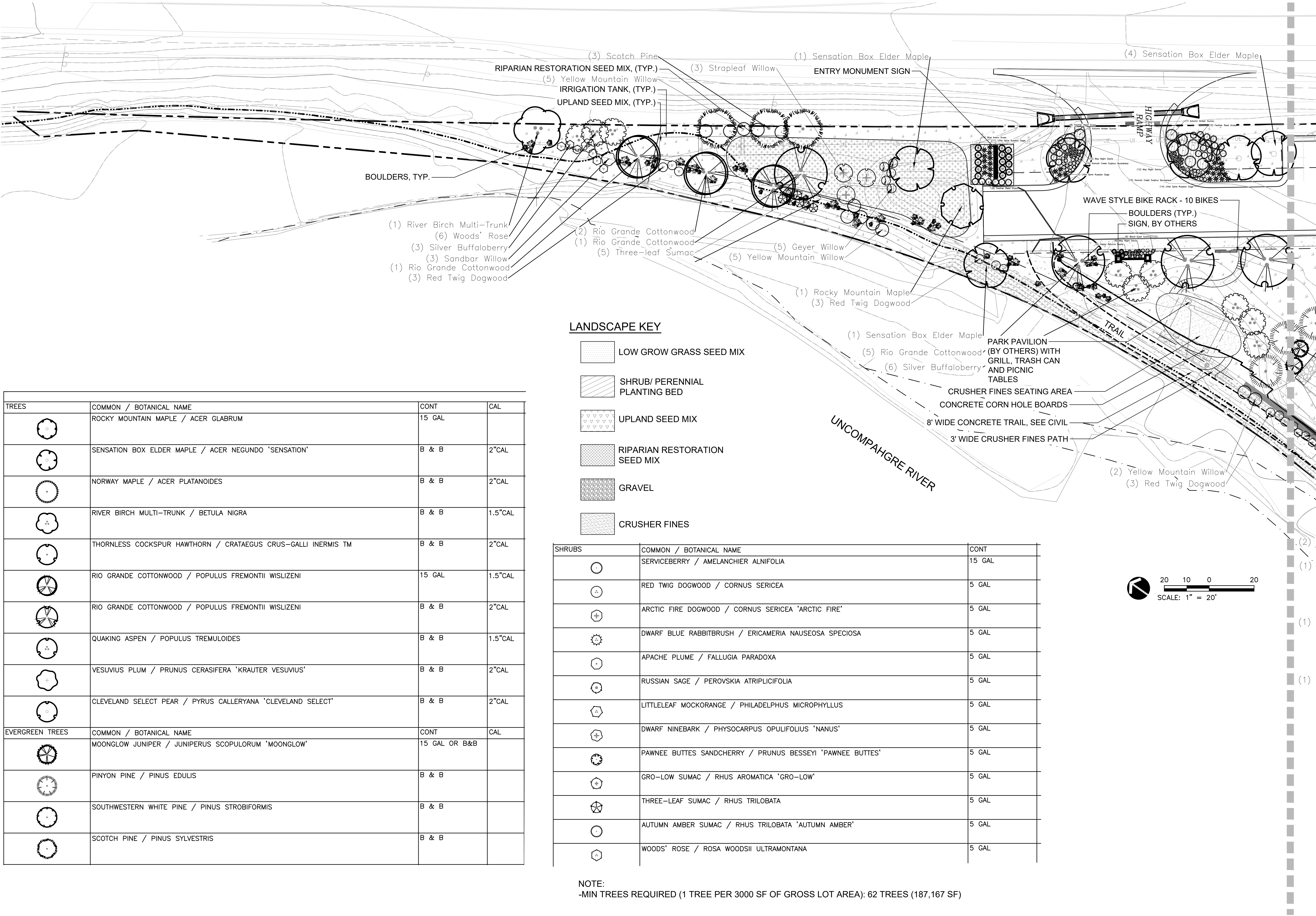
OVERALL  
LANDSCAPE  
PLAN

SHEET NUMBER:

## L1.1







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RIVERFRONT VILLAGE  
LOT 1, TRIANGLE SUBDIVISION  
RIDGWAY, COLORADO

PROJECT NUMBER: 20139  
DESIGNED: SC  
DRAWN: RM/GW/ST  
CHECKED: SC  
DATE: 03.04.2022

JOB DESCRIPTION:  
FINAL PLAT

SHEET TITLE:  
LANDSCAPE  
PLANTING  
PLAN  
SHEET NUMBER:

L1.2







RIVERFRONT VILLAGE  
LOT 1, TRIANGLE SUBDIVISION  
RIDGWAY, COLORADO

PROJECT NUMBER: 20139  
DATE: 03.04.2022

DESIGNED: SC  
DRAWN: RM/GW/ST  
CHECKED: SC

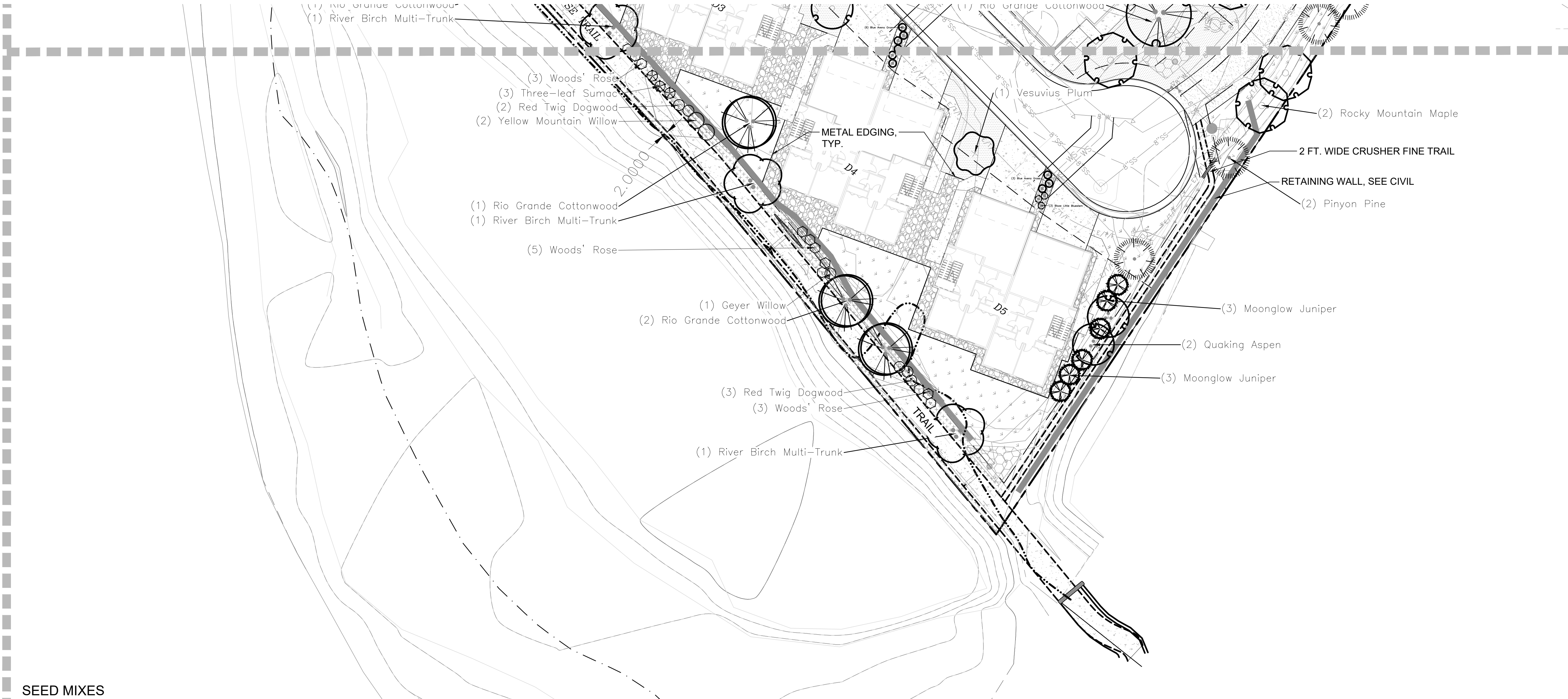
REVISIONS:

JOB DESCRIPTION:  
FINAL PLAT

SHEET TITLE:  
LANDSCAPE  
PLANTING  
PLAN

SHEET NUMBER:

L1.4

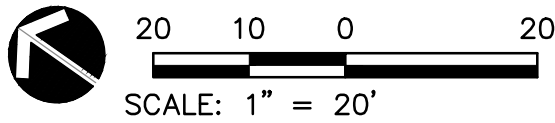


SEED MIXES

Upland Seed Mix			
Scientific Name	Common Name	Percentage	Seeding Rate PLS Lbs./acre
<i>Pascopyrum smithii</i>	Western Wheatgrass	30%	6.6
<i>Pseudoregneria spicata</i>	Bluebunch Wheatgrass ("secar" variety)	20%	4.4
<i>Elymus trachycaulus</i>	Slender Wheatgrass	15%	3.3
<i>Nassella viridula</i>	Green Needlegrass	15%	3.3
<i>Festuca idahoensis</i>	Idaho Fescue	5%	1.1
<i>Oryzopsis hymenoides</i>	Indian Ricegrass	5%	1.1
<i>Andropogon scoparius</i>	Little Bluestem	5%	1.1
<i>Koeleria macrantha</i>	Prairie Junegrass	5%	1.1
TOTAL		100%	22

Riparian Restoration Seed Mix			
Scientific Name	Common Name	Percentage	Seeding Rate PLS Lbs./acre
<i>Deschampsia caespitos</i>	Tufted Hairgrass	30%	10.8
<i>Elymus lanceolatus</i>	Streambank Wheatgrass	20%	7.2
<i>Pascopyron smithii</i>	Western Wheatgrass	20%	7.2
<i>Carex utriculata</i>	Beaked Sedge	10%	3.6
<i>Juncus balticus</i>	Baltic Rush	10%	3.6
<i>Poa palustris</i>	Fowl Bluegrass	10%	3.6
TOTAL		100%	36

Low Grow Grass Seed Mix			
Scientific Name	Common Name	Percentage	Seeding Rate PLS Lbs./acre
<i>Festuca glauca</i>	Blue Fescue	19%	4.2
<i>Poa secimda</i> spp. <i>Sandbergii</i>	Sandberg Blue	18%	3.9
<i>Festuca saximontana</i>	Rocky Mountain Fescue	14%	3.1
<i>Poa secunda</i> spp. <i>canbyi</i>	Canby Bluegrass	14%	3.1
<i>Boueloua gracilis</i>	Blue Grama	12%	2.6
<i>Bouteloua curtipendula</i>	Sideoats Grama	10%	2.2
<i>Oryzopsis hymenoides</i>	Indian Ricegrass	9%	1.9
<i>Poa alpina</i>	Alpine Bluegrass	2%	0.5
<i>Elymus elemoides</i>	Bottlebrush Squirreltail	2%	0.5
TOTAL		100%	22



LANDSCAPE KEY



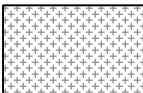
LOW GROW GRASS SEED MIX



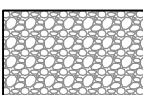
SHRUB/ PERENNIAL  
PLANTING BED



UPLAND SEED MIX

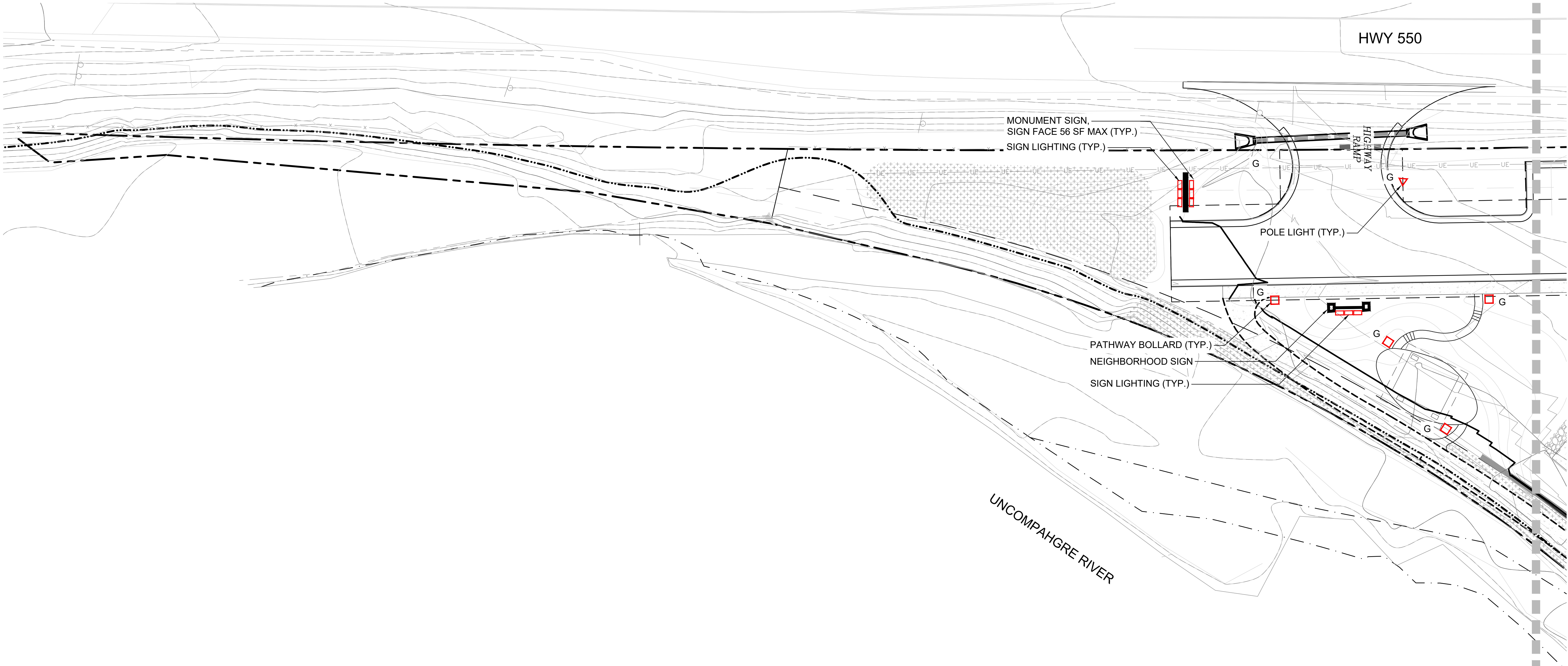


RIPARIAN RESTORATION  
SEED MIX



GRAVEL





KEY			FIXTURE	QTY	LUMENS/UNIT	CCT IN KELVINS/UNIT
G.F.	2nd.F.	3rd.F.				
			STEP LIGHTING -ALL FIXTURES MOUNTED 12" ABOVE WALKING SURFACE	44	68lm	3,000K/EA
			BUILDING ENTRY/EXIT -WALL SCONCE	103	1167lm	3,000K/EA
	NA	NA	COMMERCIAL FACADE LIGHTING -MOUNTED ABOVE 6'-6" -WALL SCONCE	5	800lm	3,000K/EA
	NA	NA	PATHWAY BOLLARD	10	280lm	3,000K/EA
	NA	NA	POLE LIGHT -PEDESTRIAN HEIGHT 11'-6"	6	500lm	3,000K/EA
	NA	NA	SIGN LIGHTING -DOWNLIT/SHIELDED	9	225lm	DUAL CCT 2,700-3,000K/EA

- NOTE:
- TOTAL LUMENS: 135,018 lm
  - LUMENS ALLOWED (25,000lm/acre+2,000lm/unit): 181,500lm (4.3 acres, 38 units)
  - QUANTITIES IN TABLE REFLECT LIGHTING ON ALL FLOORS

- SIGNAGE NOTE:
- ALL BUILDING SIGNAGE SHALL BE PER TOWN OF RIDGWAY CODES AND STANDARDS. TO BE SUBMITTED AND REVIEWED BY TOWN AS OCCUPANCY OCCURS.

DHM DESIGN

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Room 23  
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RIVERFRONT VILLAGE

LOT 1, TRIANGLE SUBDIVISION

RIDGWAY, COLORADO

PROJECT NUMBER: 20139

DATE: 03.04.2022

DESIGNED: SC

DRAWN: RM/GW/ST

CHECKED: SC

REVISIONS:

JOB DESCRIPTION: FINAL PLAT

SHEET TITLE: LIGHTING & SIGNAGE PLAN

SHEET NUMBER: L2.1





KEY			FIXTURE	QTY	LUMENS/UNIT	CCT IN KELVINS/UNIT
G.F.	2nd.F.	3rd.F.				
			STEP LIGHTING -ALL FIXTURES MOUNTED 12" ABOVE WALKING SURFACE	44	68lm	3,000K/EA
			BUILDING ENTRY/EXIT -WALL SCNCE	103	1167lm	3,000K/EA
	NA	NA	COMMERCIAL FACADE LIGHTING -MOUNTED ABOVE 6'-6" -WALL SCNCE	5	800lm	3,000K/EA
	NA	NA	PATHWAY BOLLARD	10	280lm	3,000K/EA
	NA	NA	POLE LIGHT -PEDESTRIAN HEIGHT 11'-6"	6	500lm	3,000K/EA
	NA	NA	SIGN LIGHTING -DOWNLIT/SHIELDED	9	225lm	DUAL CCT 2,700-3,000K/EA

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RIVERFRONT VILLAGE

LOT 1, TRIANGLE SUBDIVISION

RIDGWAY, COLORADO

PROJECT NUMBER: 20139

DATE: 03.04.2022

DESIGNED: SC

DRAWN: RM/GW/ST

CHECKED: SC

REVISIONS:

JOB DESCRIPTION:  
FINAL PLAN

SHEET TITLE:  
LIGHTING &  
SIGNAGE  
PLAN

SHEET NUMBER:  
L2.2



KEY			FIXTURE	QTY	LUMENS/UNIT	CCT IN KELVINS/UNIT
G.F.	2nd.F.	3rd.F.				
			STEP LIGHTING -ALL FIXTURES MOUNTED 12" ABOVE WALKING SURFACE	44	68lm	3,000K/EA
			BUILDING ENTRY/EXIT -WALL SCONCE	103	1167lm	3,000K/EA
	NA	NA	COMMERCIAL FACADE LIGHTING -MOUNTED ABOVE 6'-6" -WALL SCONCE	5	800lm	3,000K/EA
	NA	NA	PATHWAY BOLLARD	10	280lm	3,000K/EA
	NA	NA	POLE LIGHT -PEDESTRIAN HEIGHT 11'-6"	6	500lm	3,000K/EA
	NA	NA	SIGN LIGHTING -DOWNLIT/SHIELDED	9	225lm	DUAL CCT 2,700-3,000K/EA

STEP LIGHTING



WAC LEDme 5"W Black Horizontal 3000K LED Step and Wall Light  
MODEL: WL-LED100FCBK  
3000K

BUILDING ENTRY/EXIT



WAC LIGHTING  
YESSEL  
MODEL: WS-W9101  
BLACK  
DOWN LIGHT ONLY  
3000K

COMMERCIAL FACADE LIGHTING

WAC LIGHTING  
Responsive Lighting



WAC Lighting Tube 5" Tall Single Light LED Outdoor Wall Sconce -  
& 800 Lumens  
Model: WS-W2605-BZ

MODEL: WS-W2605BZ  
3000K

PATHWAY BOLLARD

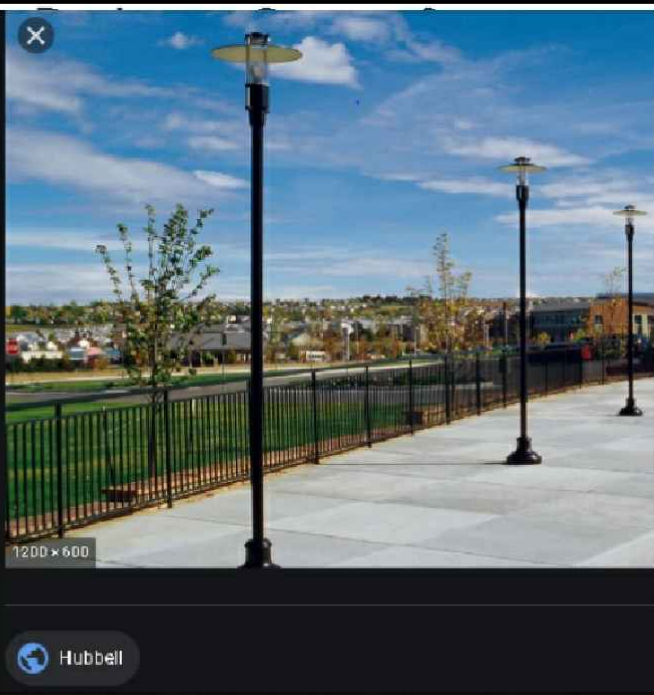


EuroFase 31911-023 Signature 120V 7  
watt Aluminum Bollard  
MODEL: 131911-023  
25 5/8" HEIGHT  
GRAPHITE GREY  
3000K

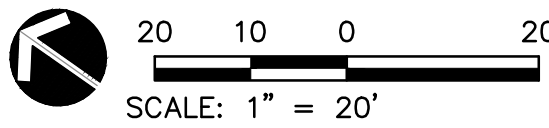
POLE LIGHT



ARCHITECTURAL AREA LIGHTING  
MODEL: PKWS-ANG  
LIGHT ENGINE 3000K CCT  
11'-6" HEIGHT



BLDG ENTRY/  
EXIT SCONCE (TYP.)



SIGN LIGHTING

HARDSCAPE - 12" DUAL CCT  
7121-27/30



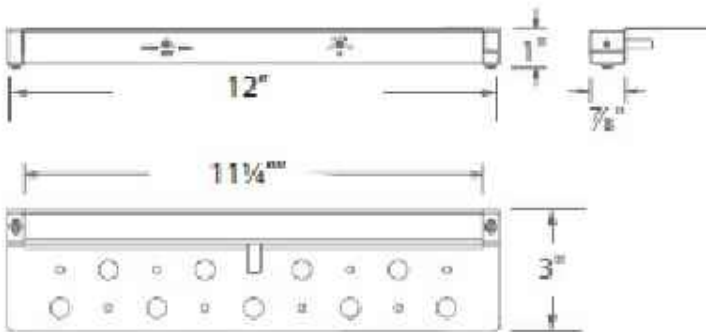
WAC  
LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:



PRODUCT DESCRIPTION

Hardscape luminaire. Multiple mounting options with durable aluminum construction.

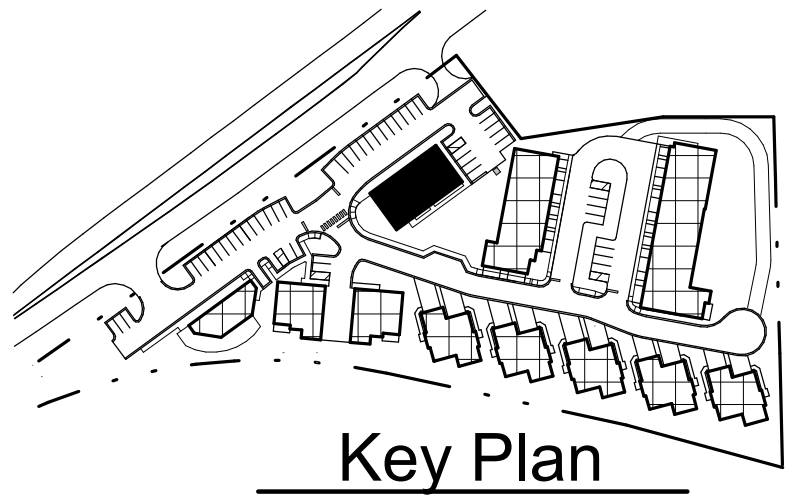
FEATURES

- Integrate brightness control, duo color temperature option
- Conveniently adapts into existing 12V system
- Translucent diffuser eliminates worrisome hotspots for even light projection
- Mounting options included; stainless steel under capstone brackets, clips and hardware
- Simple two screw mounting option into handrails, bench seats, decks, steps and fences
- IP66 rated, protected against high pressure water jets
- Potted electronics and conformal coated LEDs for long term moisture protection
- Maintains constant lumen output against voltage drop
- Includes 6 foot lead wire
- UL 1838 Listed

SPECIFICATIONS

Input: 9 - 15VAC (Transformer is required)  
Power: 7.0W / 7.3VA  
Brightness: 225 lm  
CRI: 90+  
Rated Life: 50,000 hours  
Standards: ULcUL Listed





RIVERFRONT  
VILLAGE

LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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Full Size: 0' 1' 2'  
Date: 1.6.21

Project: 2017

Archive:

Plot Date: 1/6/2021 2:51:40 PM

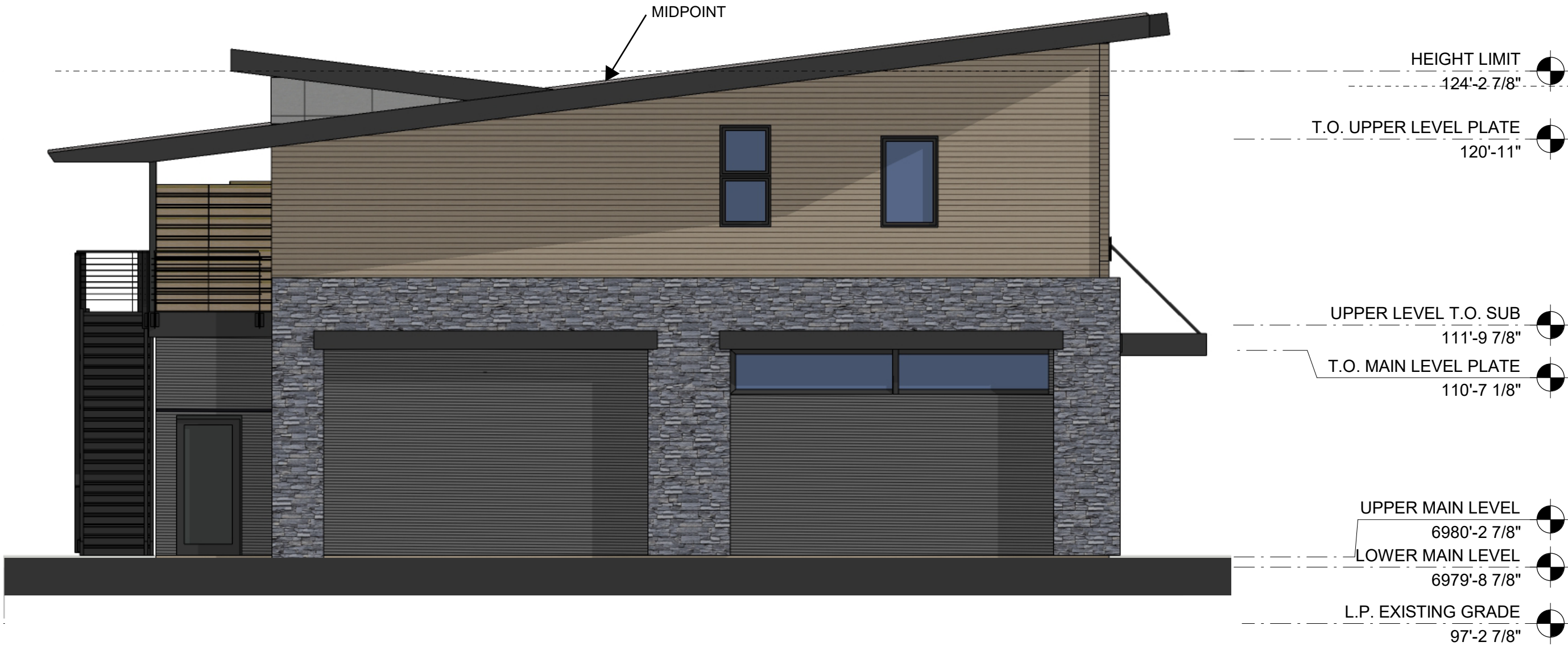
Revisions:

Rev#	Date	Description
6/18/20		PRELIM. PLAT SUB.
L1	11/19/20	PRELIM. PLAT RESUBMISSION

100% DD  
PROGRESS SET

EXTERIOR ELEVATIONS

A201



2 **SOUTHEAST ELEVATION**  
3/16" = 1'-0"



1 **NORTHEAST ELEVATION**  
3/16" = 1'-0"





RIVERFRONT  
VILLAGE

LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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Full Size: 0' 1' 2'  
Date: 1.6.21

Project: 2017

Archive:

Plot Date: 1/6/2021 2:52:08 PM

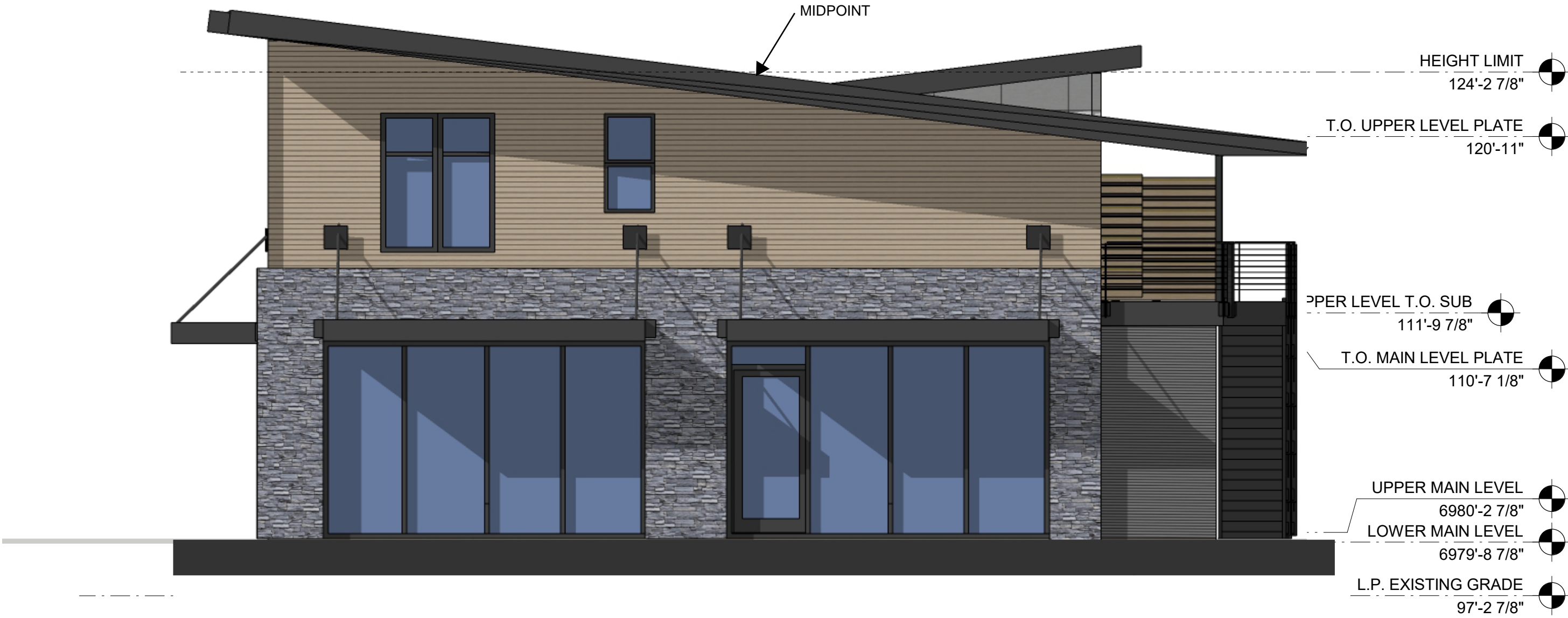
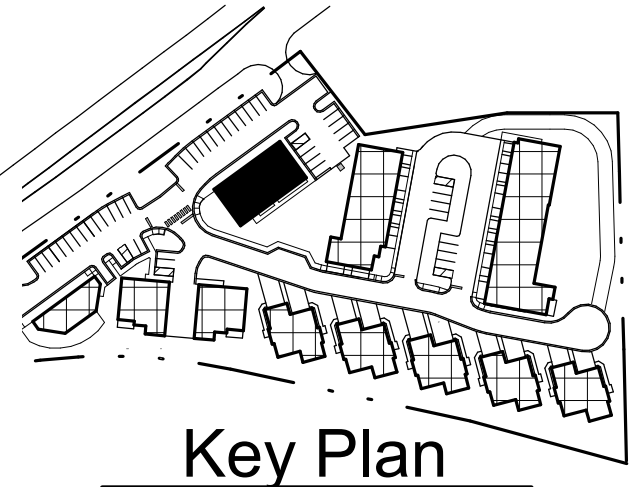
Revisions:

Rev#	Date	Description
6/18/20		PRELIM. PLAT SUB.

100% DD  
PROGRESS SET

EXTERIOR ELEVATIONS

A202



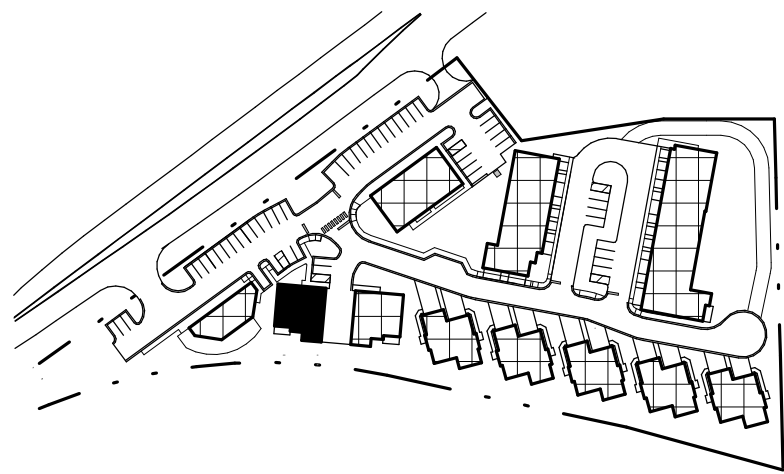
4 NORTHWEST ELEVATION  
3/16" = 1'-0"



3 SOUTHWEST ELEVATION  
3/16" = 1'-0"

0 4' 8' 12'  
↑ 3'-11 3/4" ↓





Key Plan - M1 A

RIVERFRONT  
VILLAGE

LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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Project: 2017

Archive:

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Revisions:

Rev#	Date	Description
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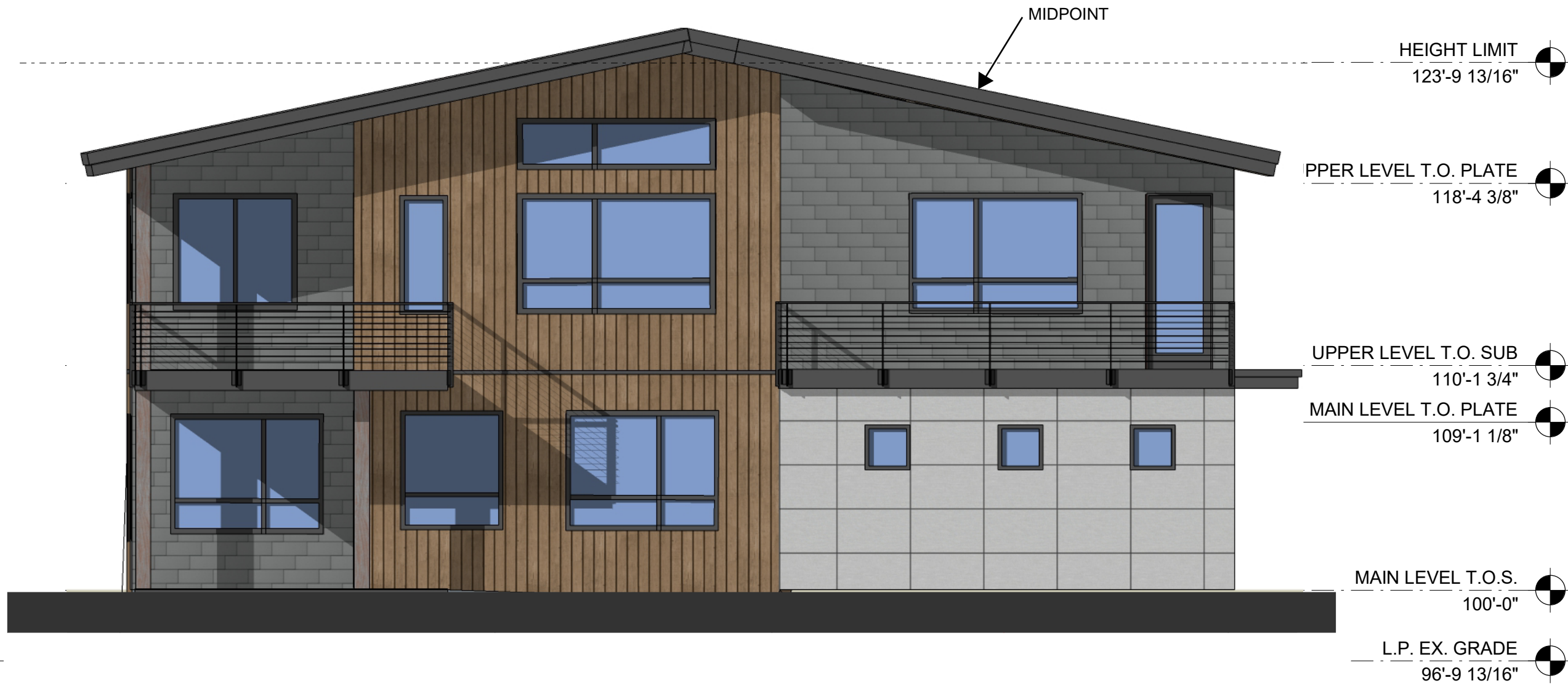
100% DD  
PROGRESS SET

EXTERIOR ELEVATIONS - M1 A

A201A



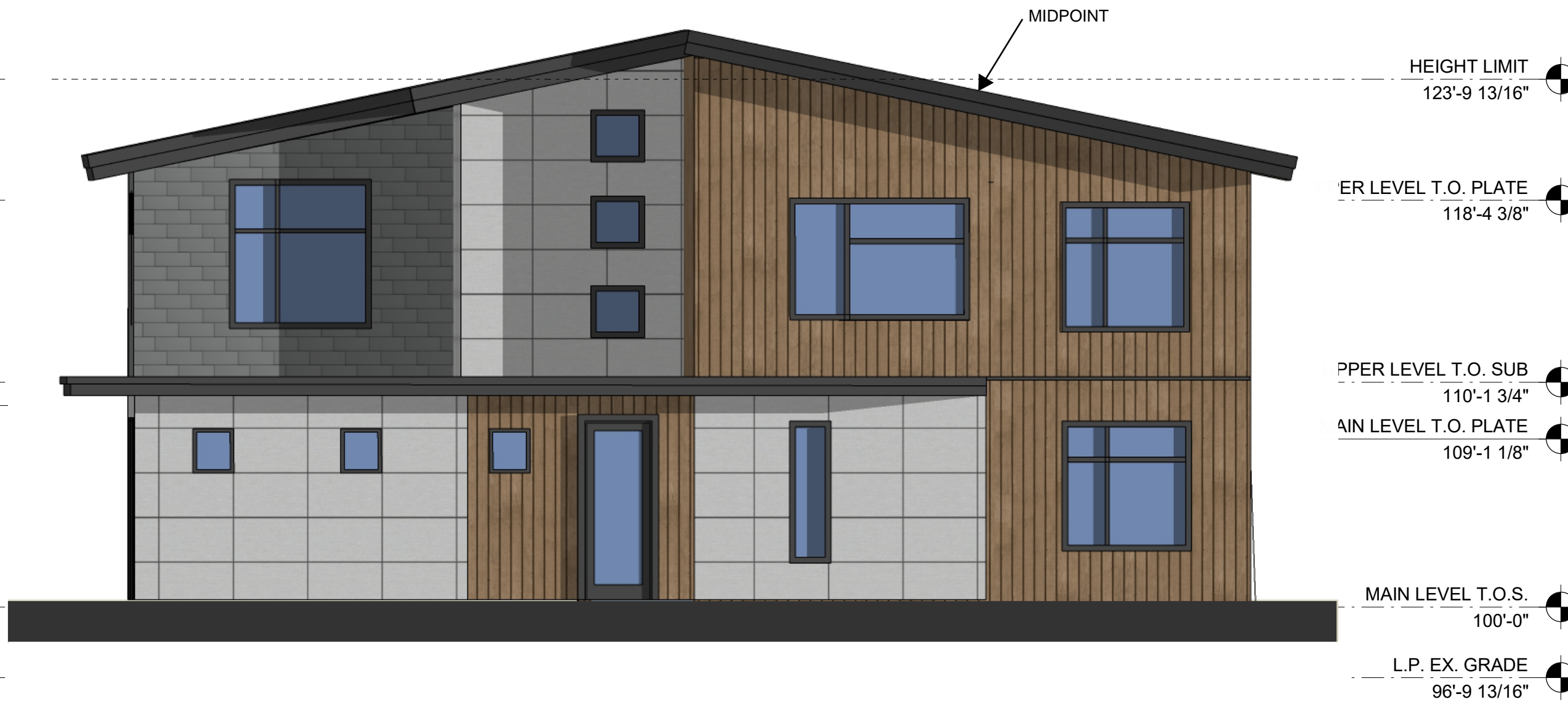
4 SOUTH ELEVATION - M1 A  
3/16" = 1'-0"



2 WEST ELEVATION - M1 A  
3/16" = 1'-0"

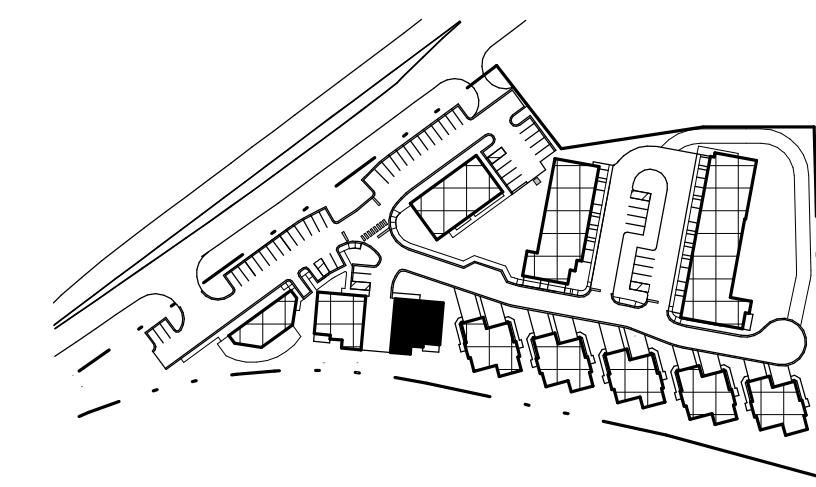


3 NORTH ELEVATION - M1 A  
3/16" = 1'-0"



1 EAST ELEVATION - M1 A  
3/16" = 1'-0"





Key Plan - M1 B

**RIVERFRONT  
VILLAGE**

LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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Date:	16.21		
Project:	2017		
Archive:			
Plot Date:	1/6/2021 3:32:16 PM		
Revisions:			

Rev#	Date	Description
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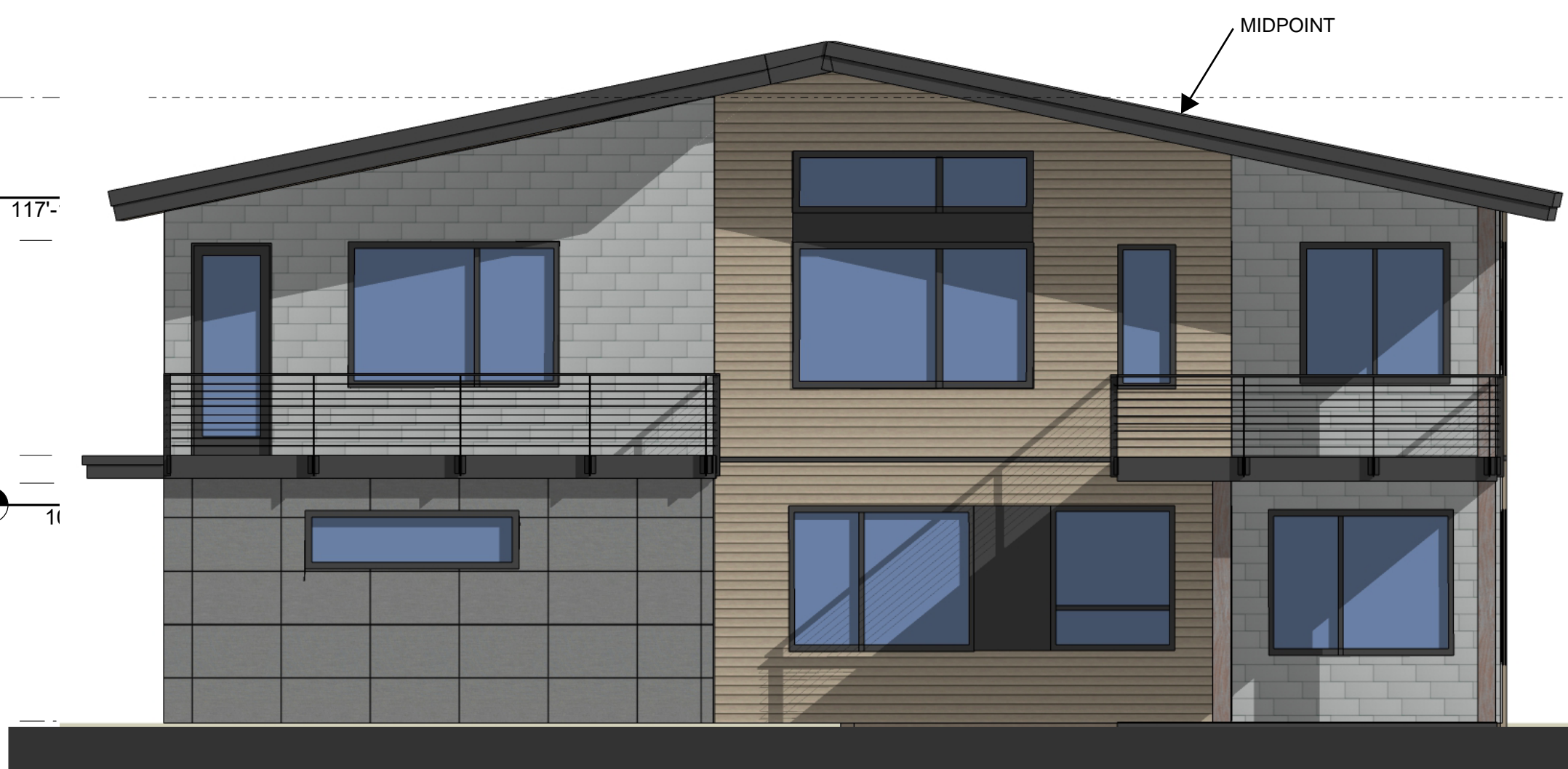
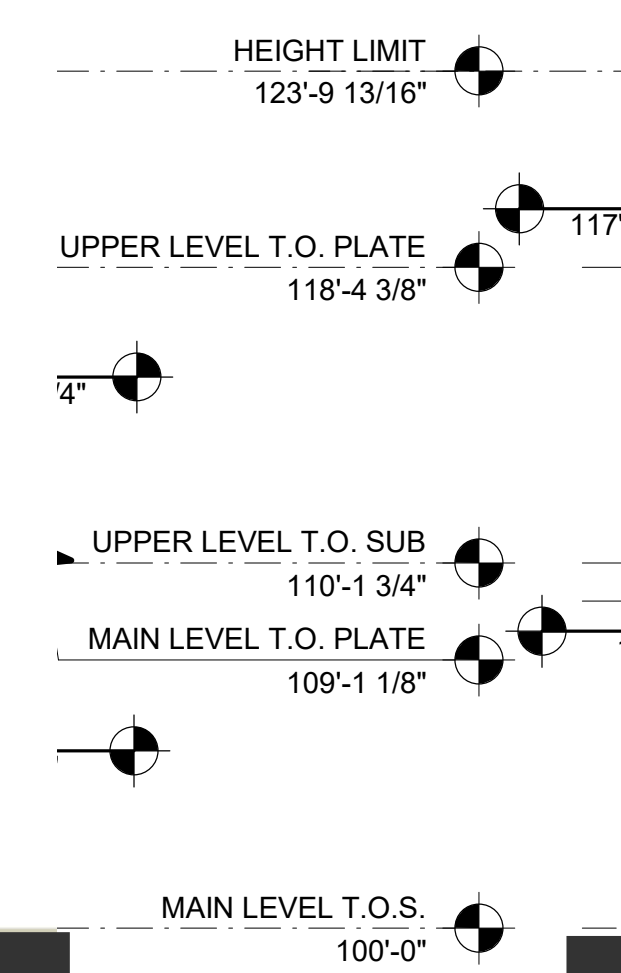
**100% DD  
PROGRESS SET**

EXTERIOR ELEVATIONS - M1 B

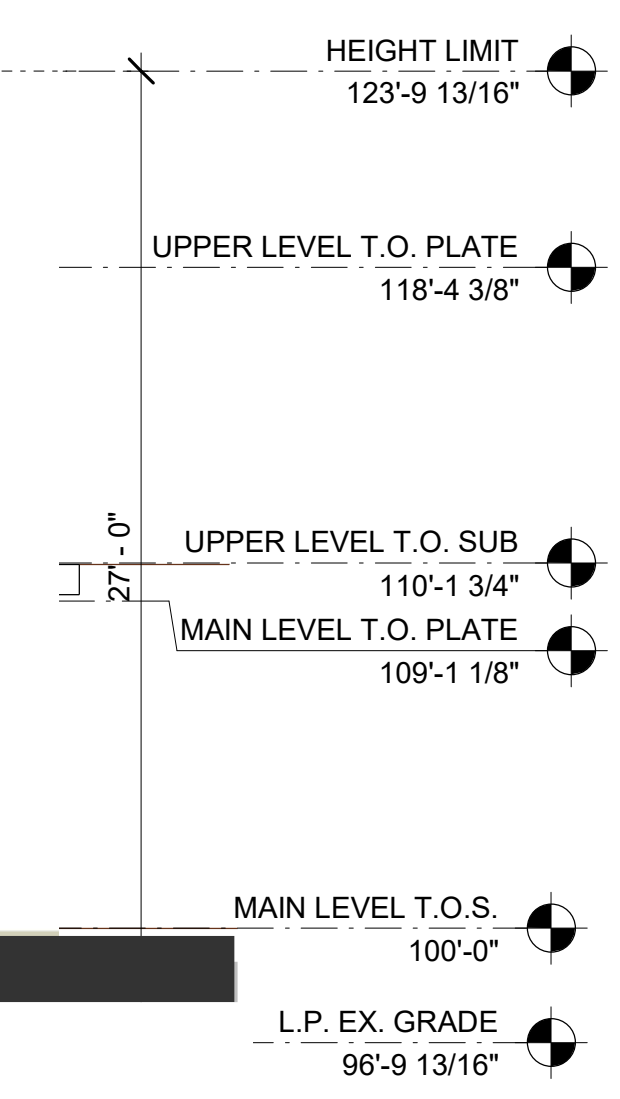
**A201B**



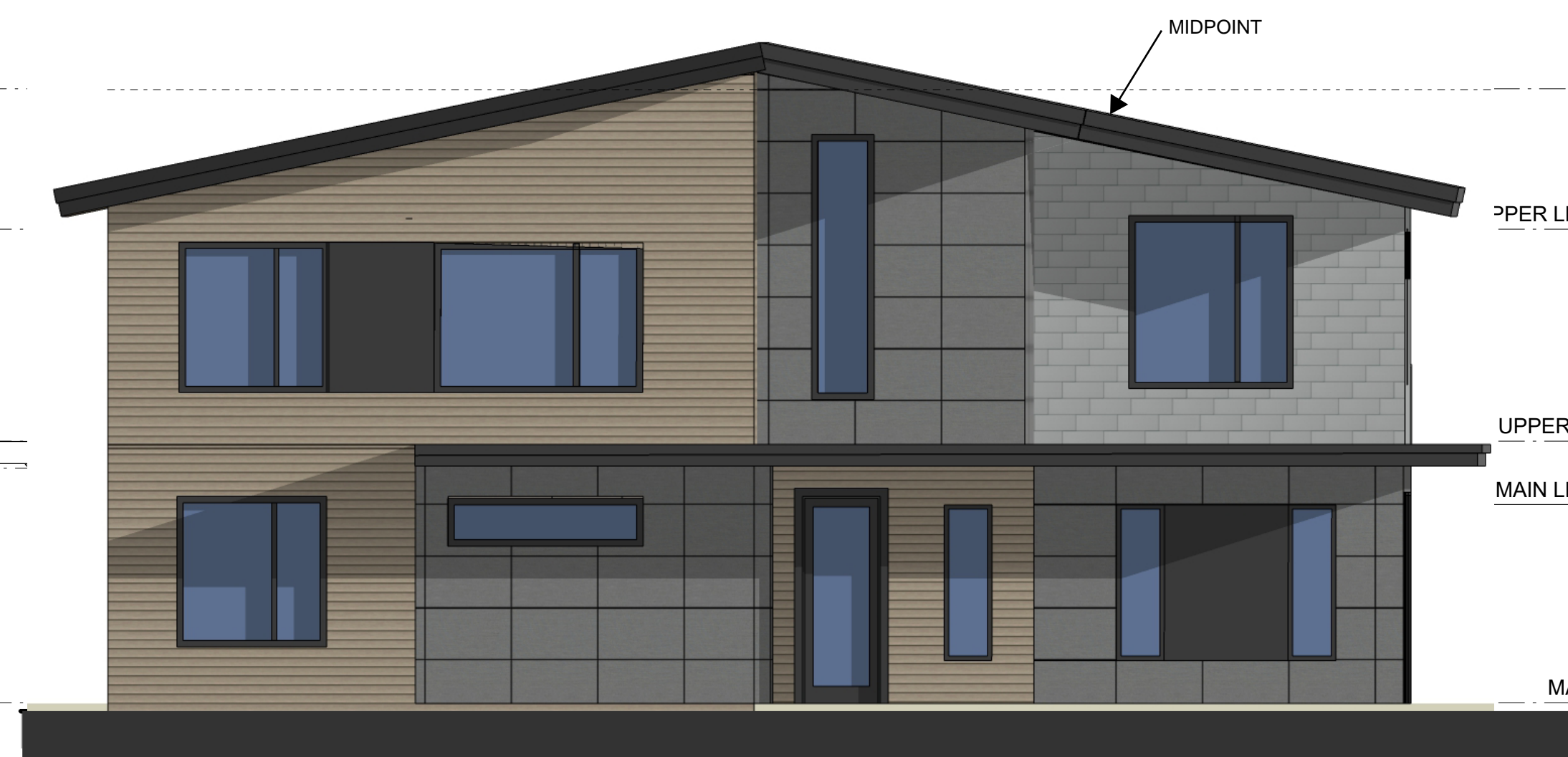
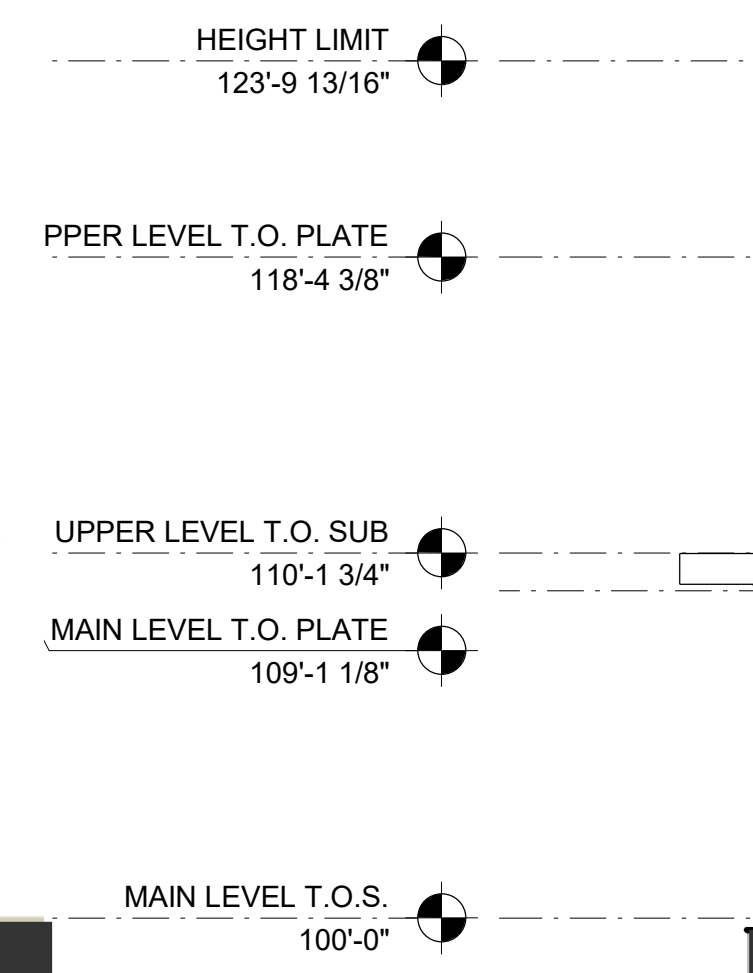
**4 SOUTH ELEVATION - M1 B**  
3/16" = 1'-0"



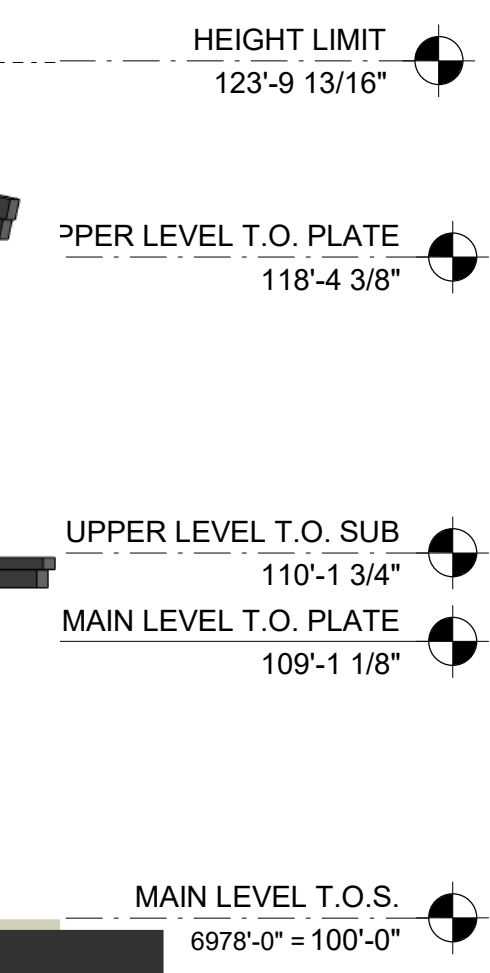
**2 EAST ELEVATION - M1 B**  
3/16" = 1'-0"



**3 NORTH ELEVATION - M1 B**  
3/16" = 1'-0"



**1 WEST ELEVATION - M1 B**  
3/16" = 1'-0"





RIVERFRONT  
VILLAGE  
LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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Full Size: 0' 1' 2'  
Date: 01.06.2021

Project: 2017

Archive:

Plot Date: 1/6/2021 8:00:05 PM

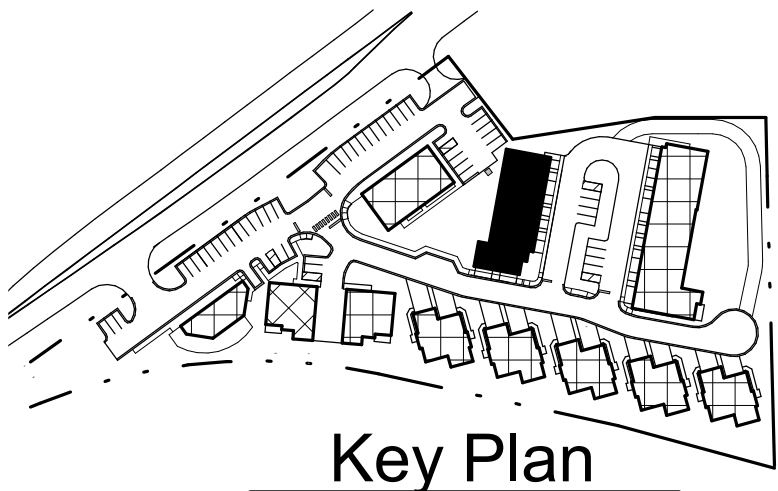
Revisions:

Rev#	Date	Description
6/18/20		PRELIM. PLAT SUB.

100% DD  
PROGRESS SET

EXTERIOR ELEVATIONS

A201

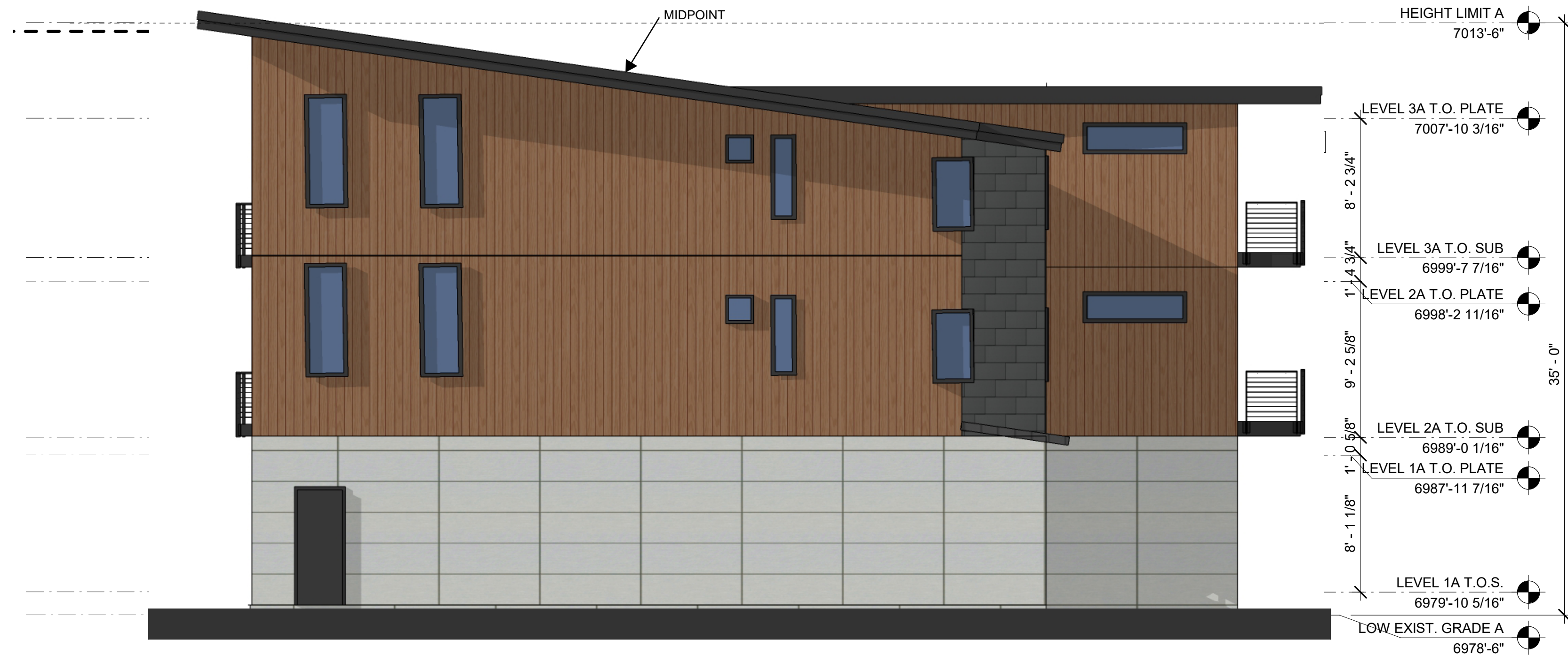
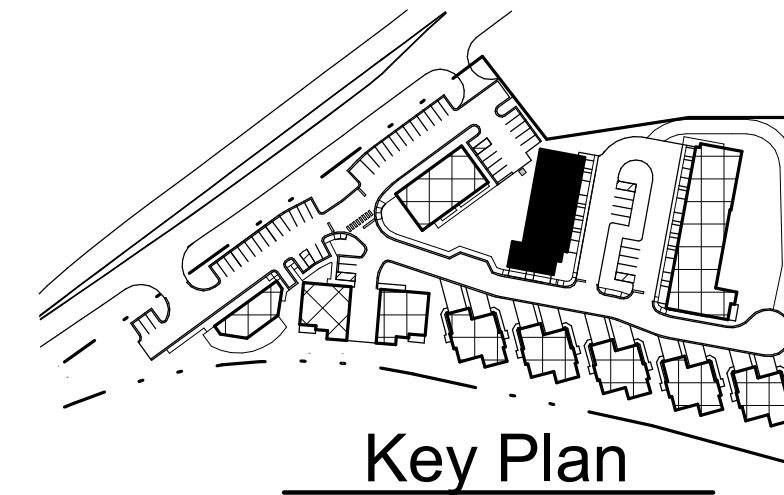


2 WEST ELEVATION  
3/16" = 1'-0"



1 SOUTH ELEVATION  
3/16" = 1'-0"



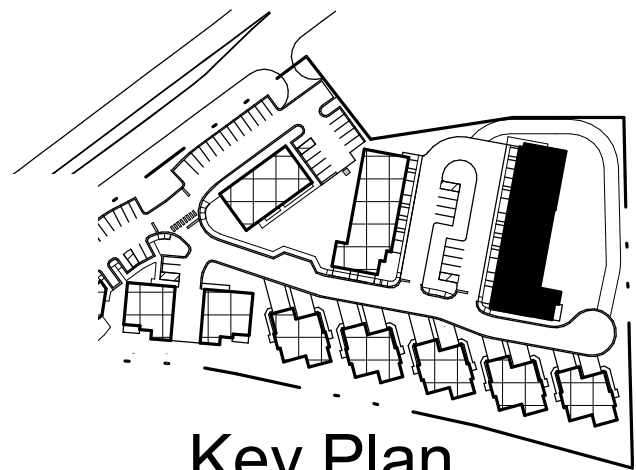


**4 EAST ELEVATION**  
3/16" = 1'-0"



**3 NORTH ELEVATION**  
3/16" = 1'-0"



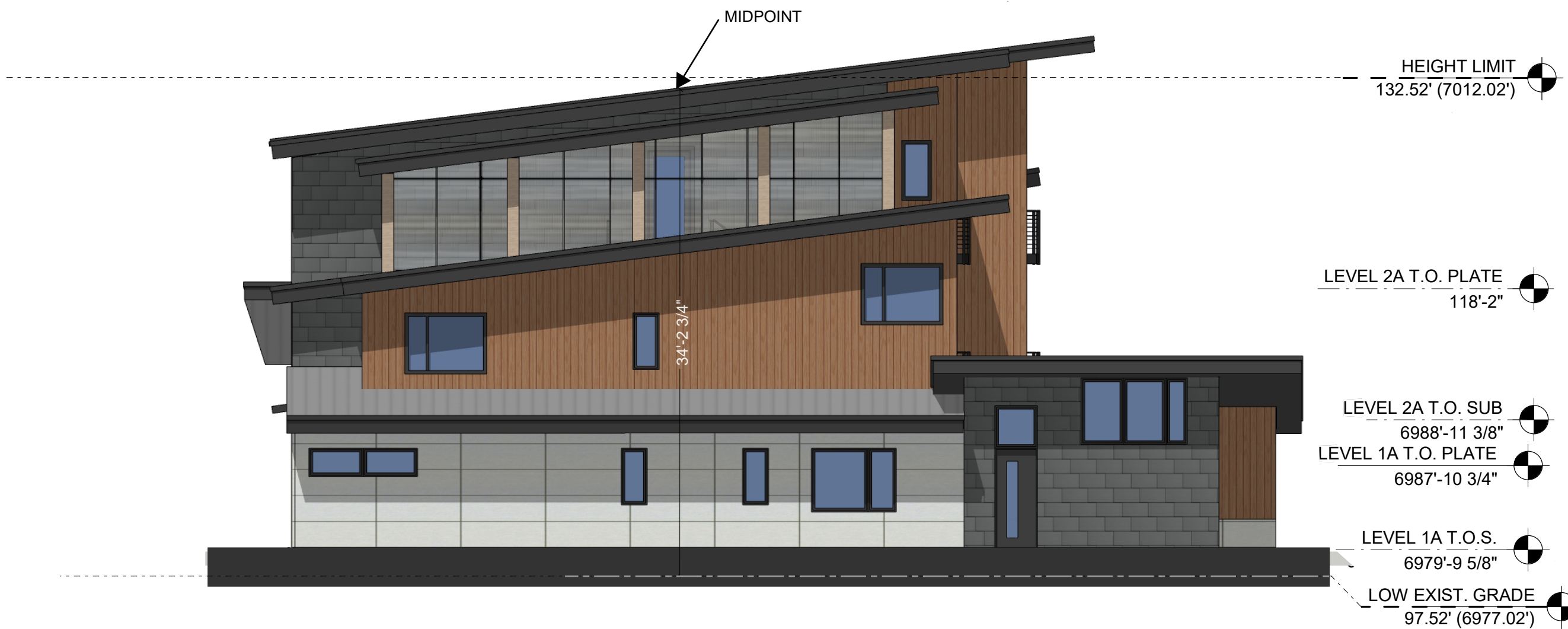


Key Plan

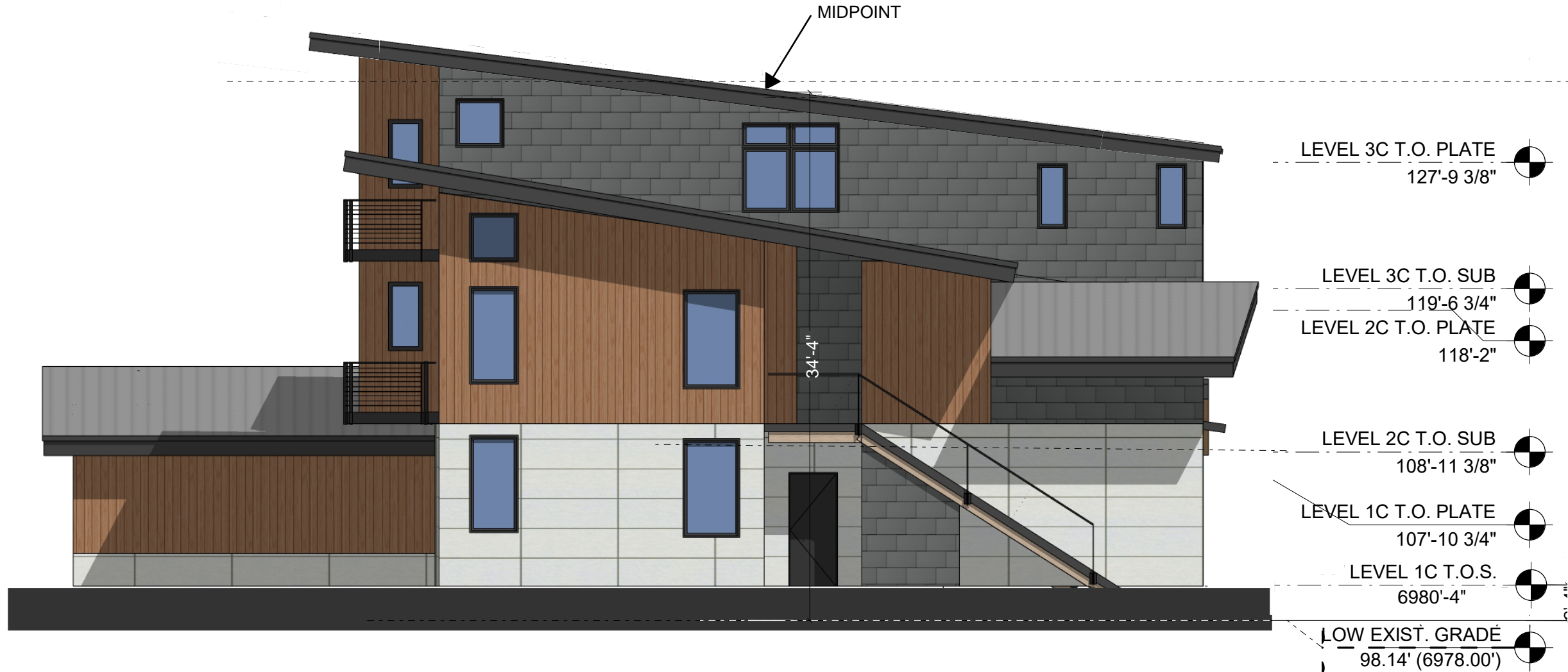
- LEVEL 3C T.O. PLATE  
127'-9 3/8"
- LEVEL 3C T.O. SUB  
119'-6 3/4"
- LEVEL 2C T.O. PLATE  
118'-2"
- LEVEL 2C T.O. SUB  
108'-11 3/8"
- LEVEL 1C T.O. PLATE  
107'-10 3/4"
- LEVEL 1C T.O.S.  
6980'-4"



3 SOUTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

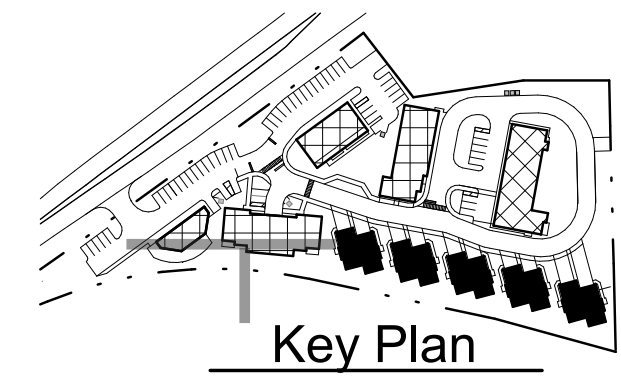


2 EAST ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"





**RIVERFRONT VILLAGE**  
LOT 1, TRIANGLE SUBDIVISION  
RIDGWAY, CO 81432

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Date:	11/06/2020		
Project:	2017		
Archive:			
Plot Date:	10/29/2020 1:50:43 PM		
Revisions:			
Rev#	Date	Description	
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L2	04/09/21	PRELIM. PLAT. RESUBMISSION	



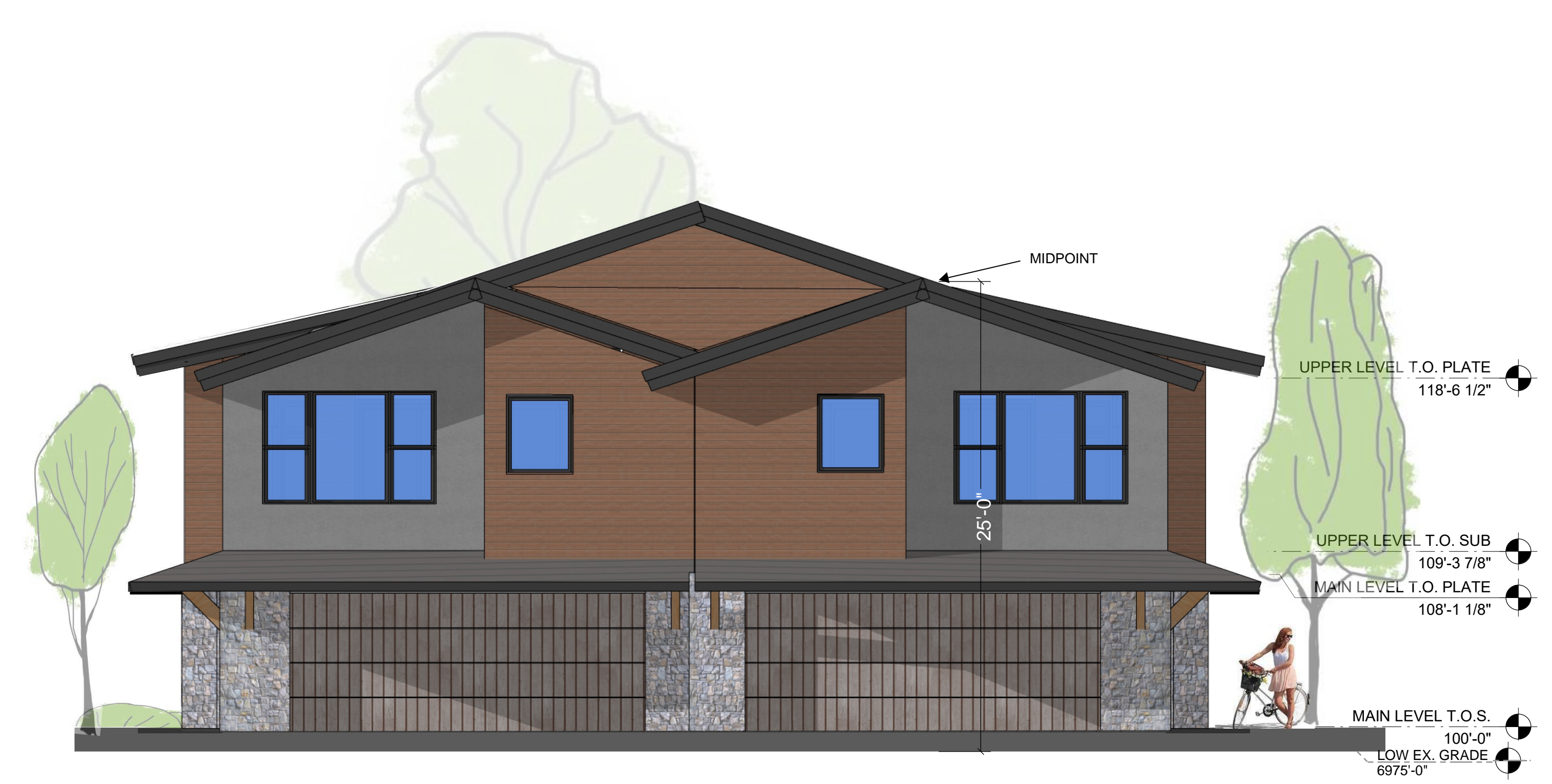
**3 WEST ELEVATION**  
3/16" = 1'-0"



**4 NORTH ELEVATION**  
3/16" = 1'-0"



**2 SOUTH ELEVATION**  
3/16" = 1'-0"



**1 EAST ELEVATION**  
3/16" = 1'-0"

**PRELIMINARY PLAT RESUBMISSION**

TOWNHOME TYPE A  
EXTERIOR ELEVATIONS





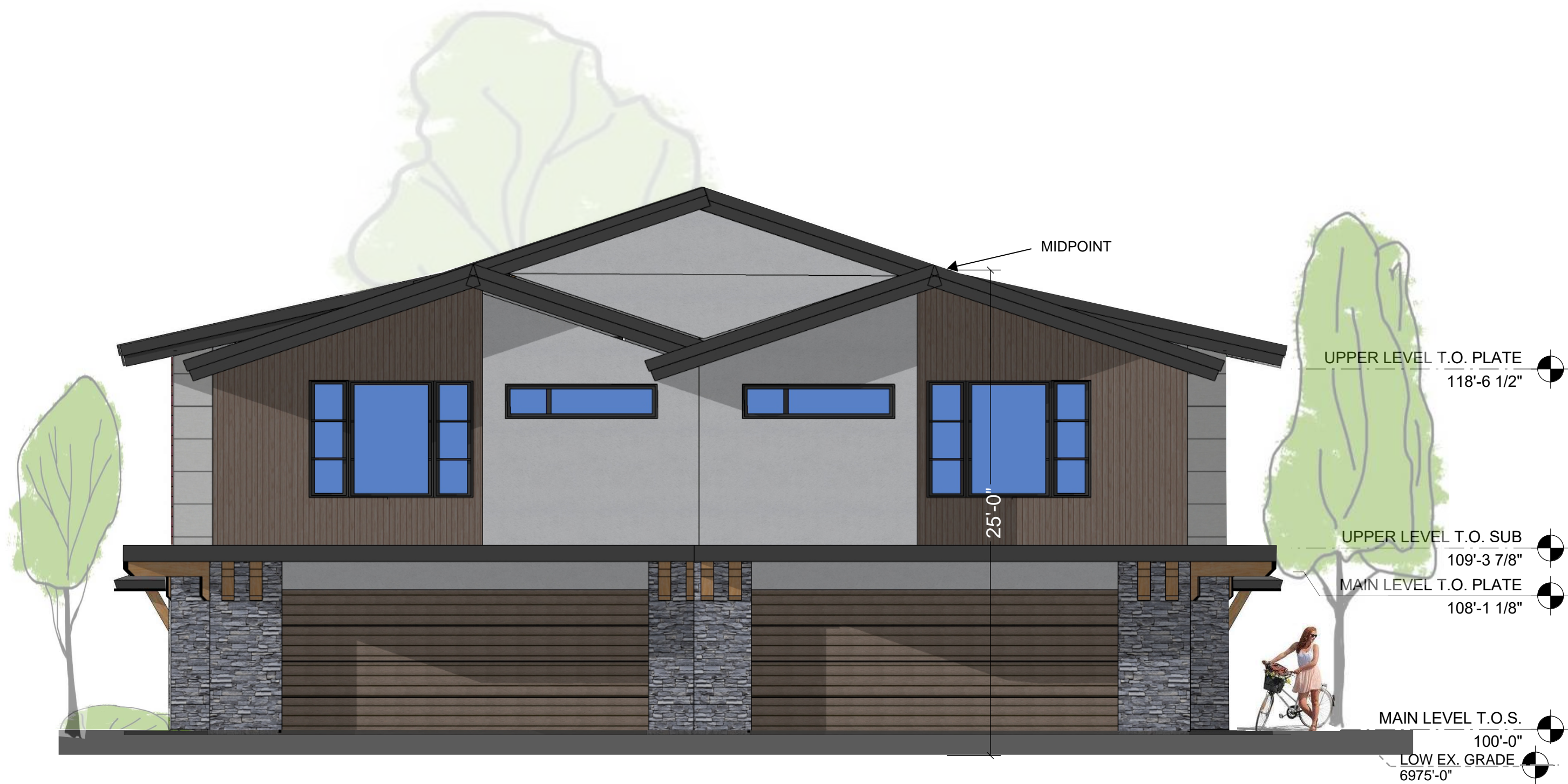
3 WEST ELEVATION  
3/16" = 1'-0"



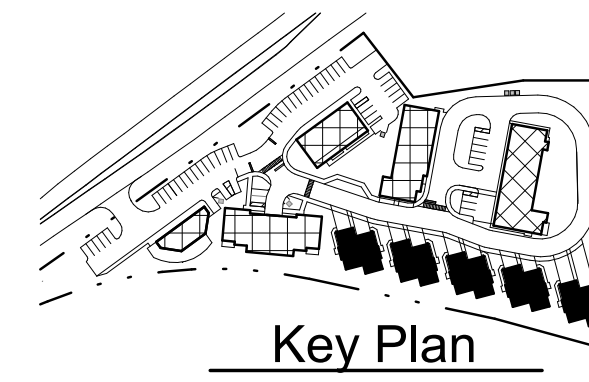
4 NORTH ELEVATION  
3/16" = 1'-0"



2 SOUTH ELEVATION  
3/16" = 1'-0"



1 EAST ELEVATION  
3/16" = 1'-0"



**RIVERFRONT VILLAGE**  
LOT 1, TRIANGLE SUBDIVISION  
RIDGWAY, CO 81432

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Full Size: 0' 1' 2'

Date: 11.06.2020

Project: 2017

Archiver:

Plot Date: 10/29/2020 1:50:44 PM

Revisions:

Rev#	Date	Description
6/18/20		PRELIM. PLAT. SUB.
L2	04/09/21	PRELIM. PLAT. RESUBMISSION

**PRELIMINARY PLAT RESUBMISSION**

TOWNHOME TYPE B  
EXTERIOR ELEVATIONS



RIVERFRONT  
VILLAGE

LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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Date: 11.06.2020

Project: 2017

Archive:

Plot Date: 10/29/2020 1:50:44 PM

Revisions:

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L2	04/09/21	PRELIM. PLAT. RESUBMISSION

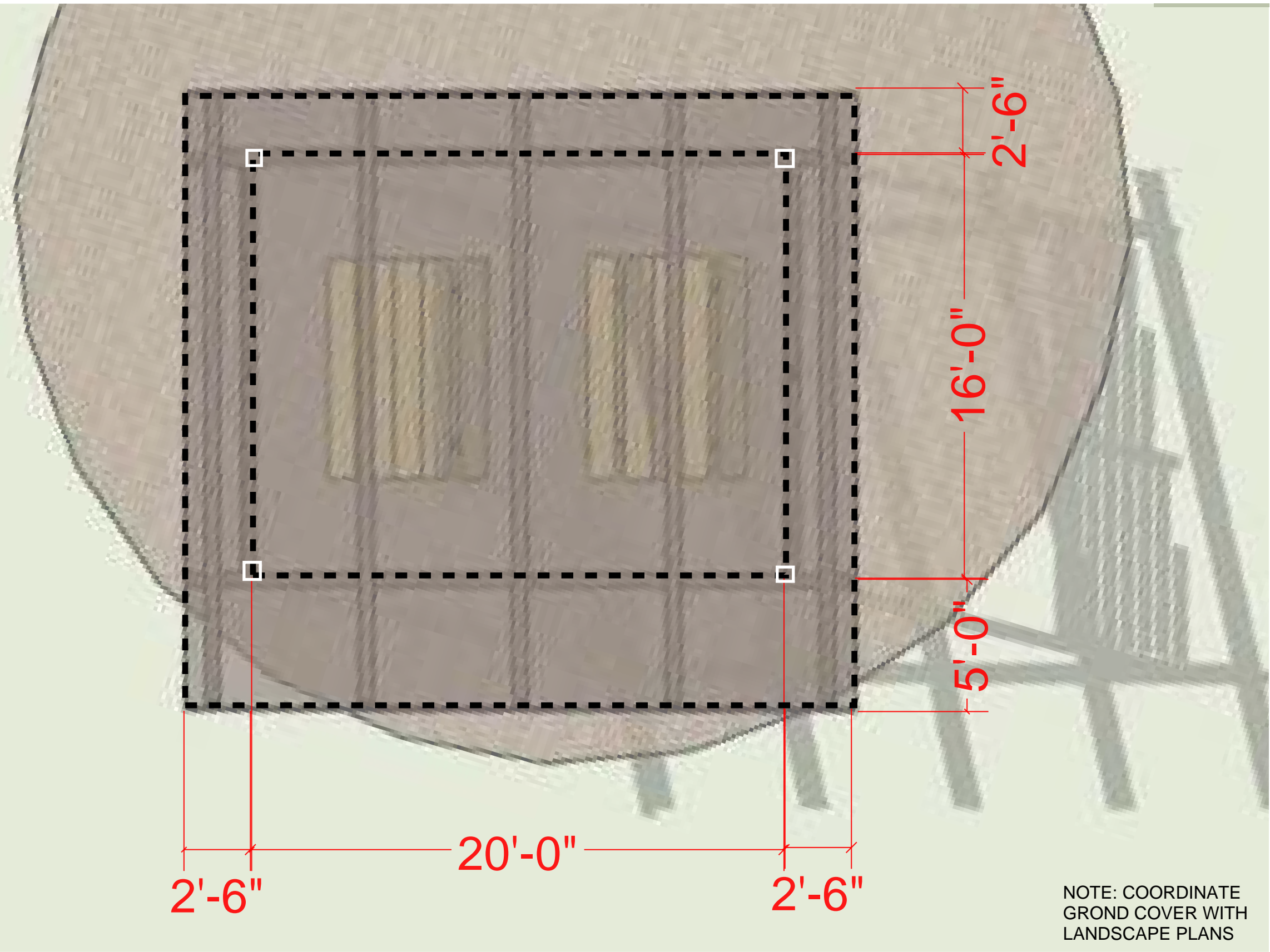
PRELIMINARY  
PLAT  
RESUBMISSION

PARK PAVILION  
PLAN AND ELEVATIONS

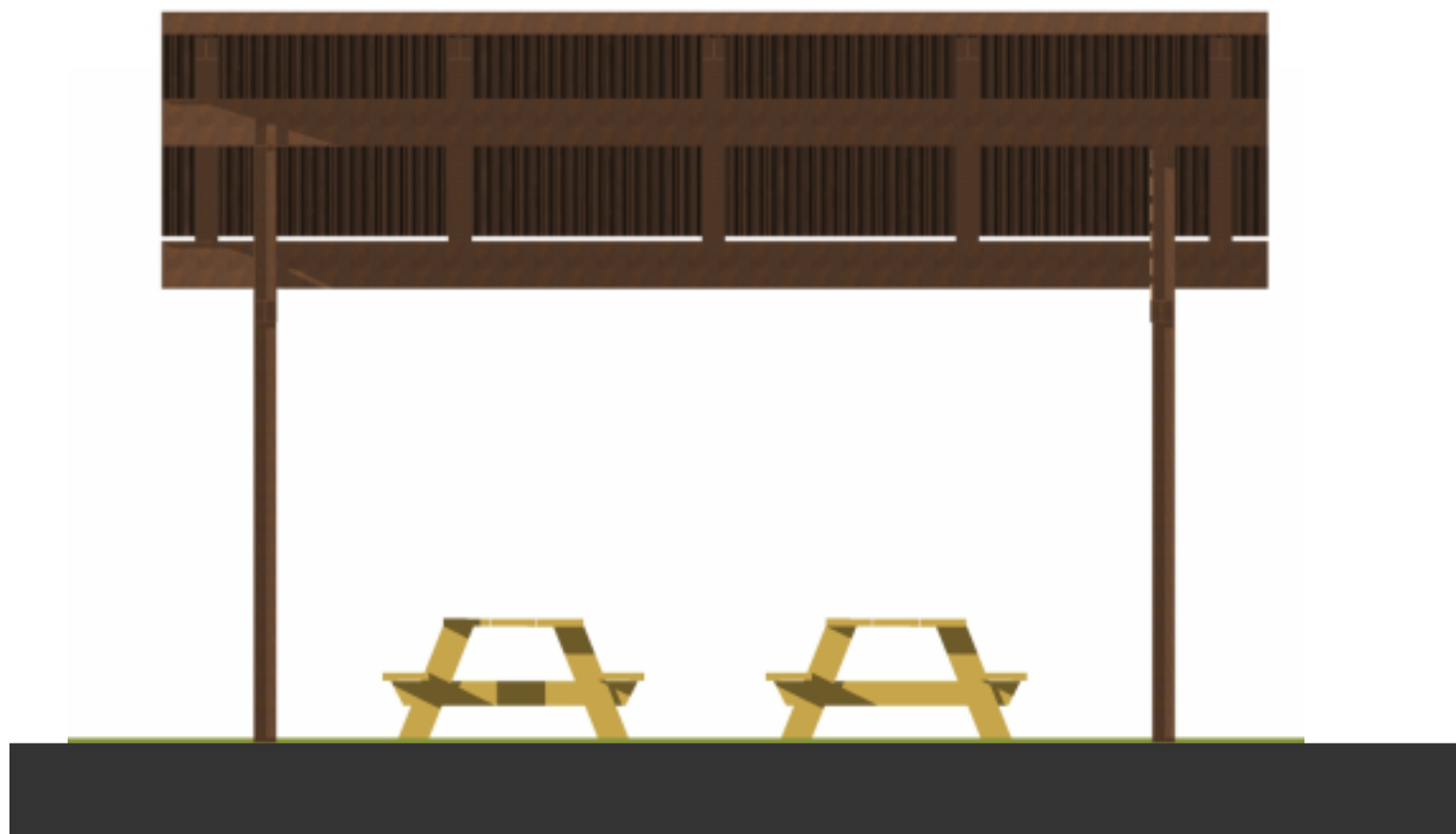
A3.2



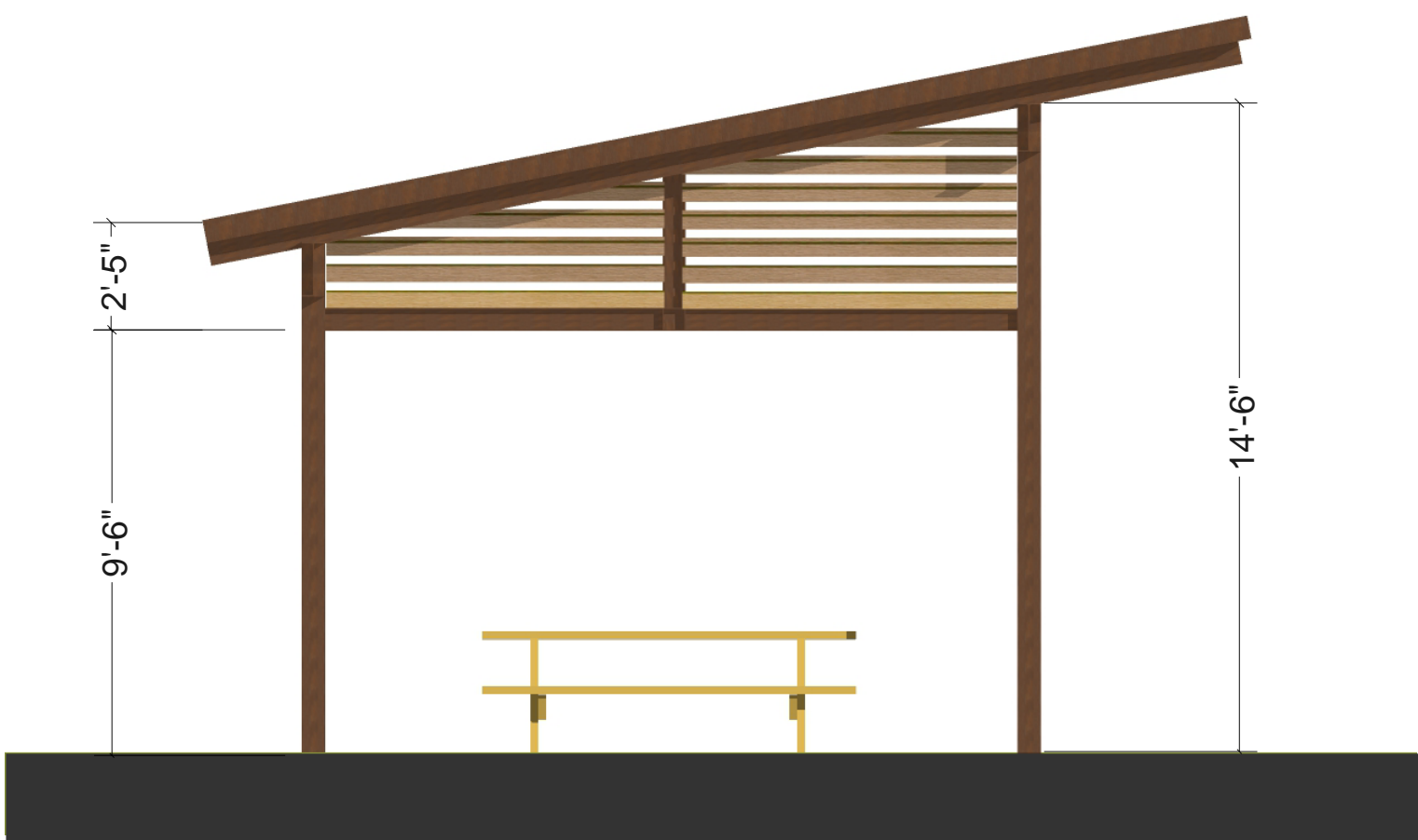
SPECIFICATION: STRUCTURE: STEEL I-BEAM STRUCTURAL SECTION NATURAL FINISH  
ROOFING: CORRUGATED PRE-FINISHED SIMULATED RUST  
INFILL PANELS: 2x CEDAR



1 PLAN - COMPOSITE ROOF AND STRUCTURE  
1/4" = 1'-0"



3 WEST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"





A



**B**



C



**D**

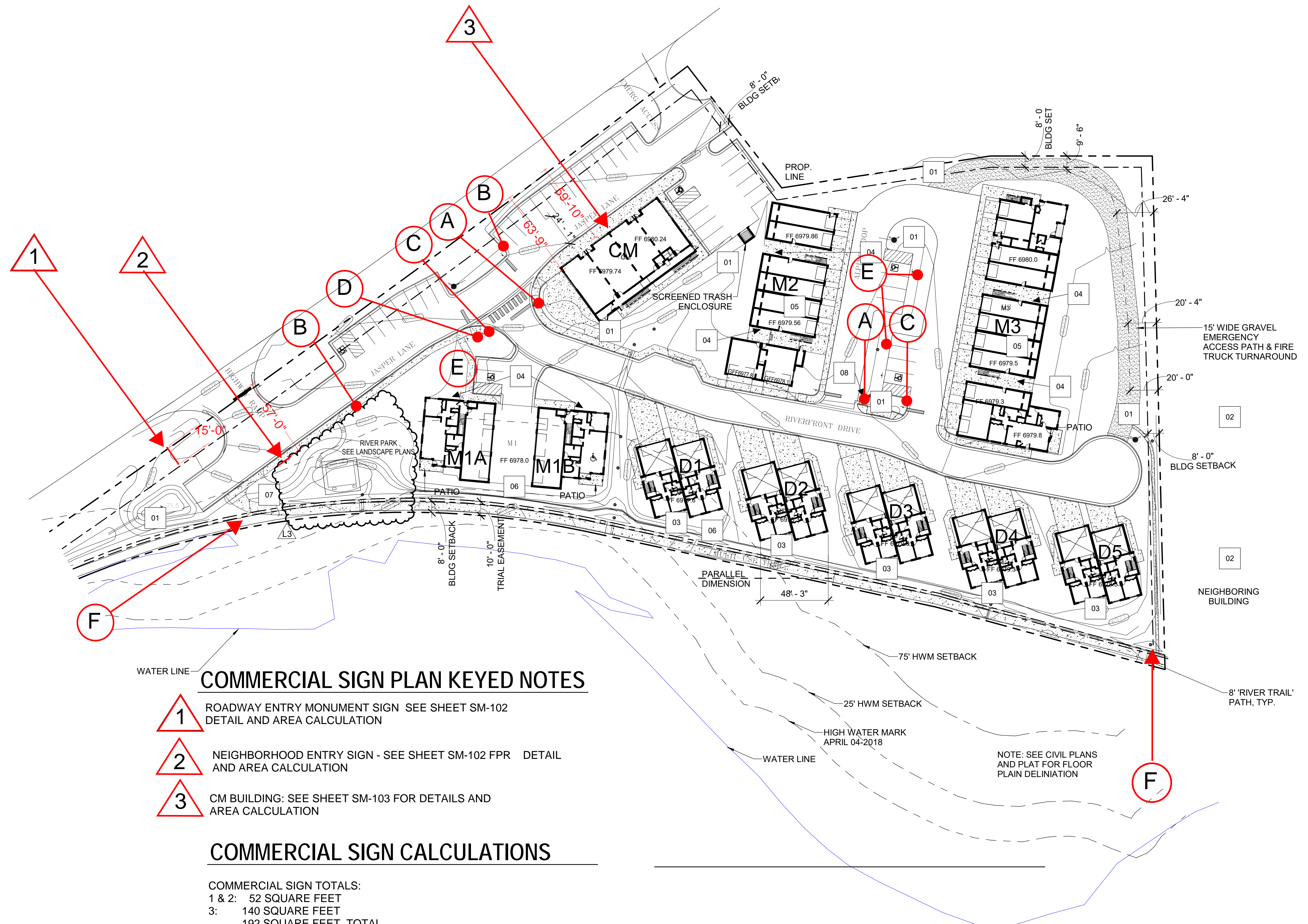


**E**






**F**

TRAIL SIGNS: COORDINATE WITH RIDGWAY  
SIGNAGE & WAYFINDING PLAN



## COMMERCIAL SIGN PLAN KEYED NOTES

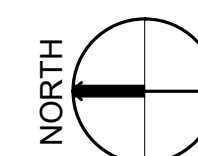
- |   |   |
|---|---|
|  | ROADWAY ENTRY MONUMENT SIGN SEE SHEET SM-102<br>DETAIL AND AREA CALCULATION   |
|  | NEIGHBORHOOD ENTRY SIGN - SEE SHEET SM-102 FOR<br>DETAIL AND AREA CALCULATION |
|  | CM BUILDING: SEE SHEET SM-103 FOR DETAILS AND<br>AREA CALCULATION             |

## COMMERCIAL SIGN CALCULATIONS

COMMERCIAL SIGN TOTALS:  
1 & 2: 52 SQUARE FEET  
3: 140 SQUARE FEET  
192 SQUARE FEET TOTAL

PER 7-3-17 E (3) SIGN LIMITATION IS 150SF.  
WITH MULTI TENANT PROPERTY THE SIGN MASTER PLAN  
SEEKS APPROVAL OF APOX. 30% INCREASE TO BE  
APPROVED THROUGH THE SIGN MASTERPLAN PROCESS.  
( 150 + 30% (45) = 195 sf total)

# 1 OVERALL SITE PLAN

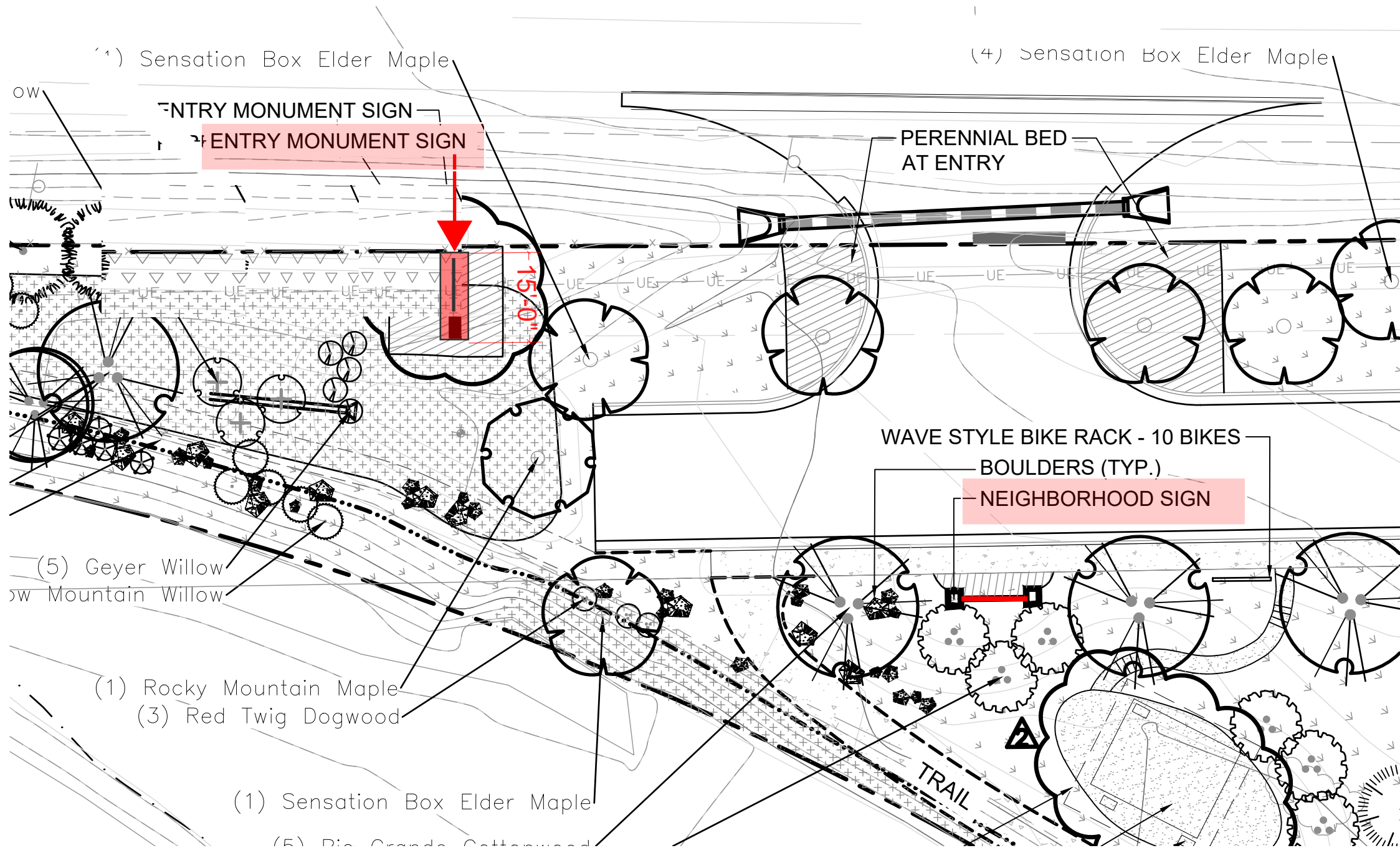




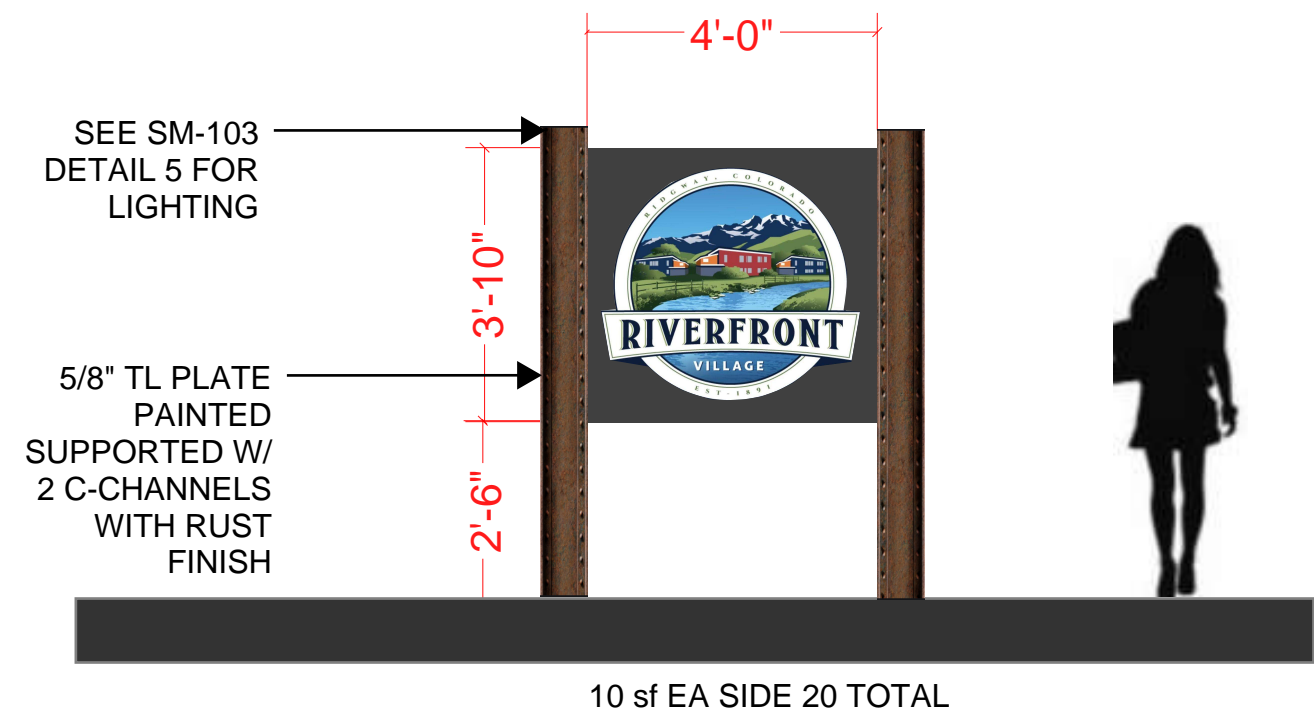
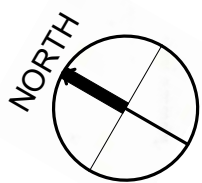
**RIVERFRONT  
VILLAGE**  
  
LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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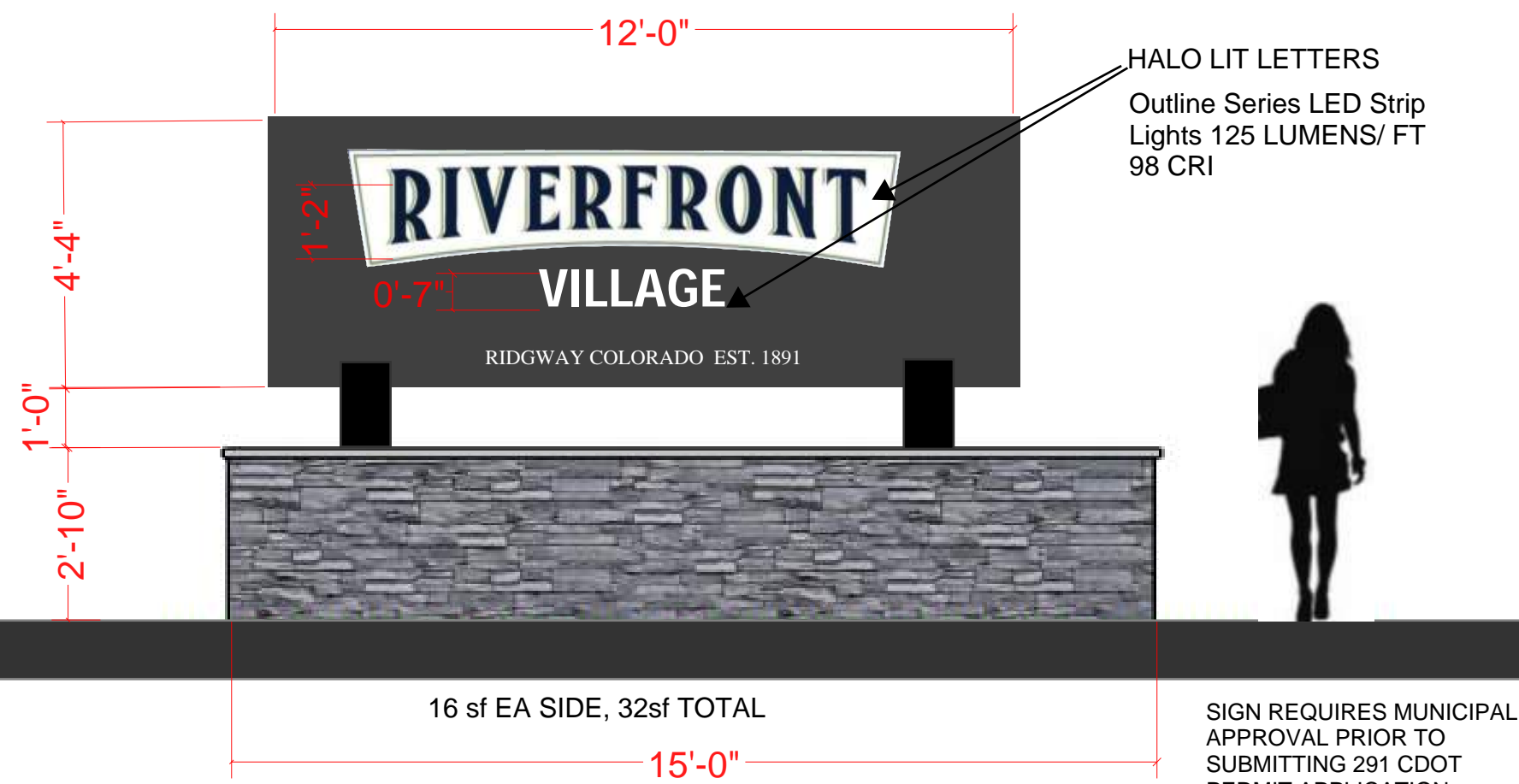
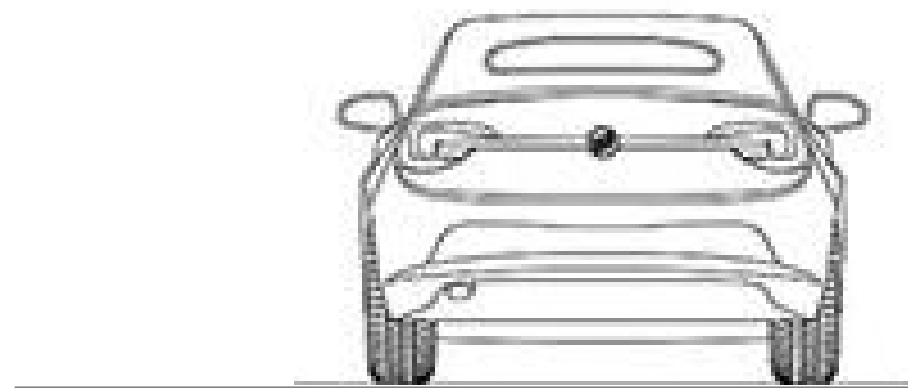
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Date:	01.25.21		
Project:	2017		
Archive:			
Plot Date:	4/8/2021 12:38:27 PM		
Revisions:			
Rev#	Date	Description	
L1	11/19/20	PRELIM. PLAT. RESUBMISSION	
L2	04/09/21	PRELIM. PLAT. RESUBMISSION	



**2 LANDSCAPE ENTRY PLAN**  
1" = 20'-0"



**2 NEIGHBORHOOD SIGN AT PARK**  
3/8" = 1'-0"



**1 ENTRY MONUMENT SIGN**  
3/8" = 1'-0"



**PRELIMINARY  
PLAT  
RESUBMISSION**

MASTER SIGN PLAN

**SM-102**



RIVERFRONT  
VILLAGE

LOT 1, TRIANGLE  
SUBDIVISION  
RIDGWAY, CO 81432

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Full Size: 0' 1' 2'

Date: 01.25.21

Project: 2017

Archive:

Plot Date: 4/8/2021 12:38:27 PM

Revisions:

Rev#	Date	Description
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L2	04/09/21	PRELIM. PLAT. RESUBMISSION

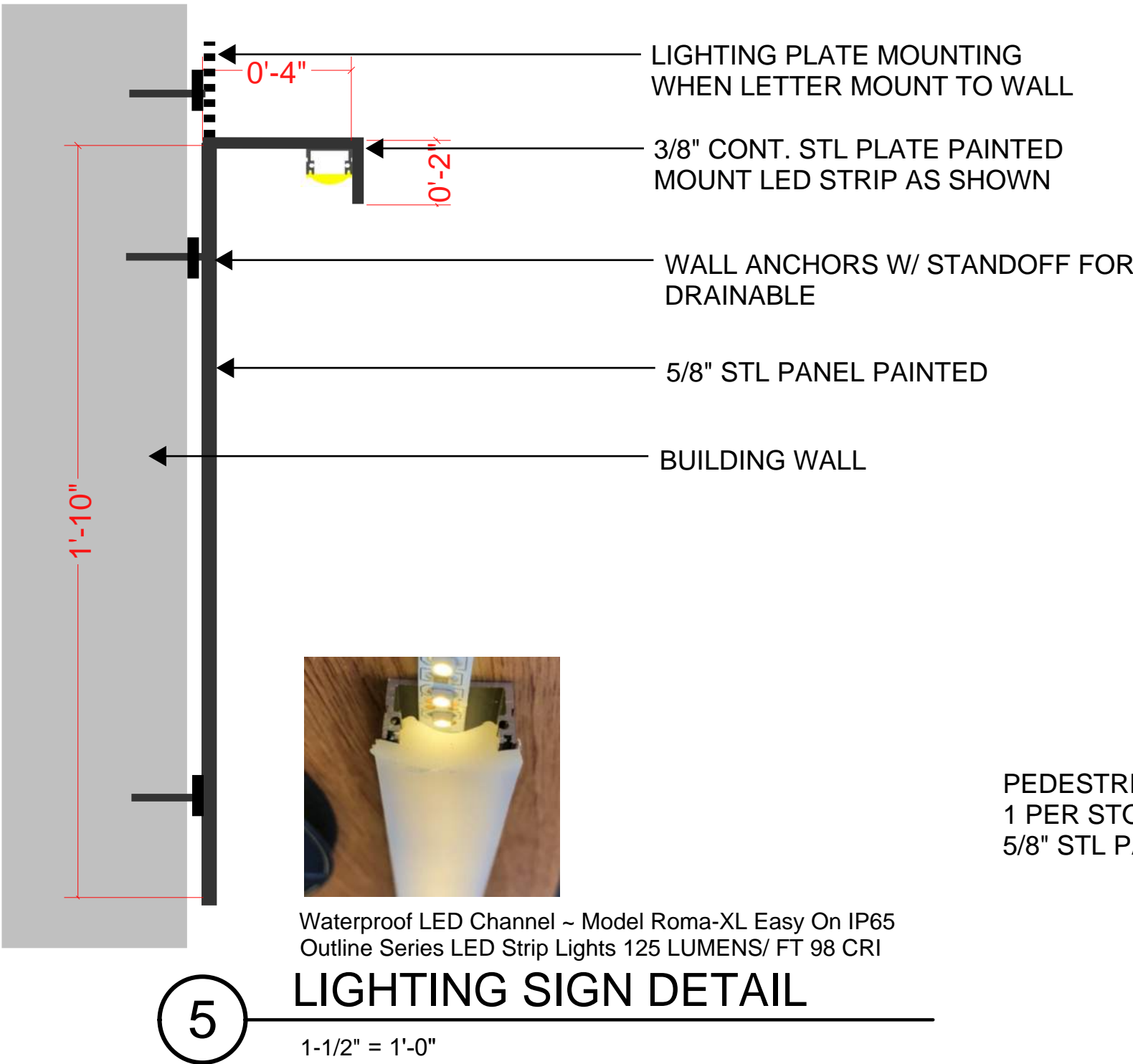
PRELIMINARY  
PLAT  
RESUBMISSION

MASTER SIGN PLAN

SM-103

TENANT COMMERCIAL SIGN GENERAL NOTES:

1. SIGNS TO CONFORM TO SECTION 7-3-17 OF THE RIDGWAY MUNICIPAL CODE
2. ALL SIGNS TO BE MOUNTED ON STEEL PANEL OR CAST/ CUT LETTERS AS NOTED
3. ALL COLORS AND FONTS WILL BE SUBJECT TO HOA APPROVAL



1-1/2" = 1'-0"

11'-2"



A. LETTER OR CUSTOM PANEL OPTION  
PANEL: 5/8" PAINTED STEEL PANEL

SIGN DETAILS

3/8" = 1'-0"



11'-2"



B. MOUNTED LETTER OPTION



NORTH ELEVATION

3/16" = 1'-0"

BUILDING SIGN AREA CALCULATIONS:

1. EAST AND NORTH FACADES BUILDING SIGNS MOUNTED TO WALL  
20sf EA. x 5 = 100sf TOTAL
2. PEDESTRIAN HANGING SIGNS:  
4 x2 FACES = 8 sf EA. x 5 = 40 sf TOTAL

TOTAL COMMERCIAL BUILDING SIGN SF = 140sf

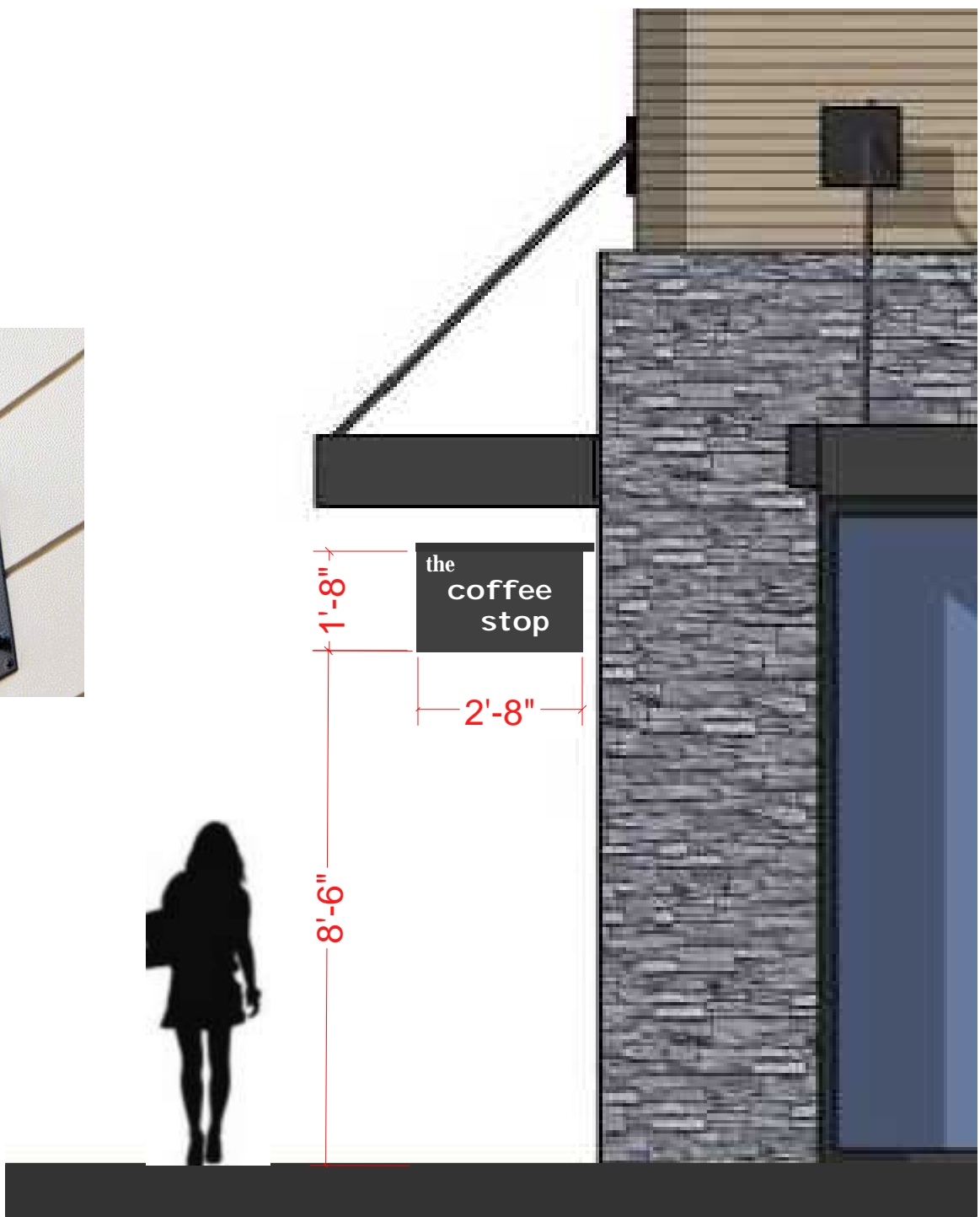


EAST ELEVATION

3/16" = 1'-0"



PEDESTRIAN ORIENTED HANGING SIGN - TYPICAL



PEDESTRIAN SIGN DETAIL

3/8" = 1'-0"





c:\users\chrishawkins\set\_engineering, llc\dropbox\current\_projects\2020-052\_tavaci\_village\cad\plansheets\sw-1\_stormwater and wqcv mitigation plan.dwg

# RIVERFRONT VILLAGE

RIDGWAY, COLORADO

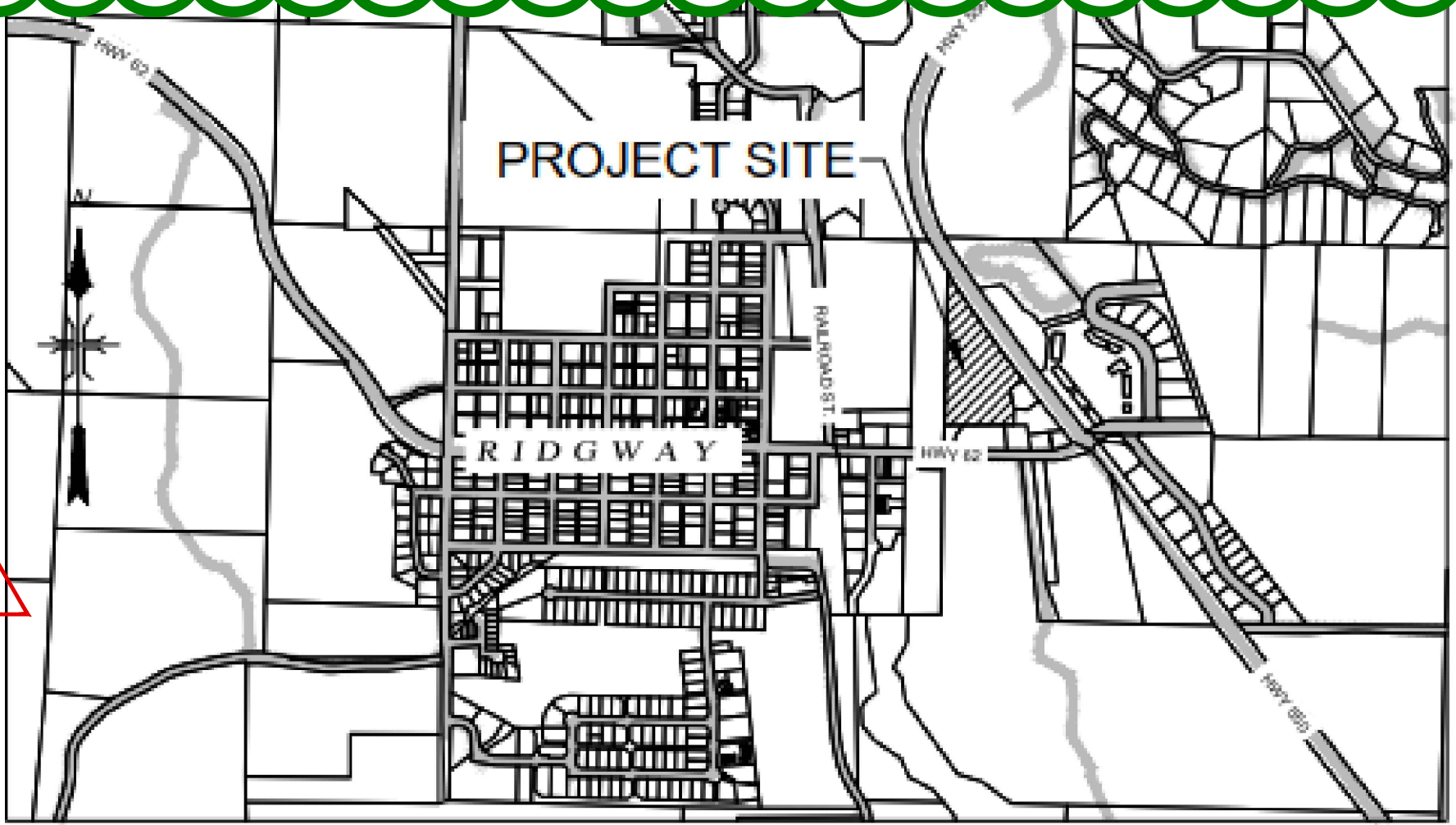
CIVIL CONSTRUCTION PLANS

6/21/2022

SHEET LIST

SHEET #	PLAN #	SHEET TITLE
1	C-1	TITLE SHEET
2	C-2	GENERAL NOTES
3	EO-1	EXISTING CONDITIONS SURVEY
4	SP-1	SITE PLAN
5	UTL-1	UTILITY PLAN
6	GP-1	GRADING PLAN
7	GP-2	POINTS LIST
8	SW-1	STORMWATER AND WQCV MITIGATION PLAN
9	SW-2	STORMWATER DETAILS
10	X-1	CROSS SECTIONS
11	RD-1	JASPER LANE PLAN & PROFILE
12	RD-2	RIVERFRONT DRIVE PLAN & PROFILE
13	RD-3	ALPINE LOOP PLAN & PROFILE
14	RT-1	RIVER TRAIL PLAN & PROFILE
15	SS-1	SEWER RUN A PLAN & PROFILE
16	SS-2	SEWER RUN B & C PLAN & PROFILE
17	SS-3	15-INCH SEWER EXTENSION PLAN & PROFILE
18	W-1	WATER RUN A PLAN & PROFILE
19	W-2	WATER RUN B PLAN & PROFILE
20	HC-1	HORIZONTAL CONTROL PLAN
21	HC-2	HORIZONTAL CONTROL INTERSECTIONS
22	HC-3	UTILITY HORIZONTAL CONTROL PLAN
23	HC-1	UTILITY HORIZONTAL CONTROL PLAN TABLES
24	CD-1	CONSTRUCTION DETAILS

## UTILITY AS-BUILT DRAWINGS



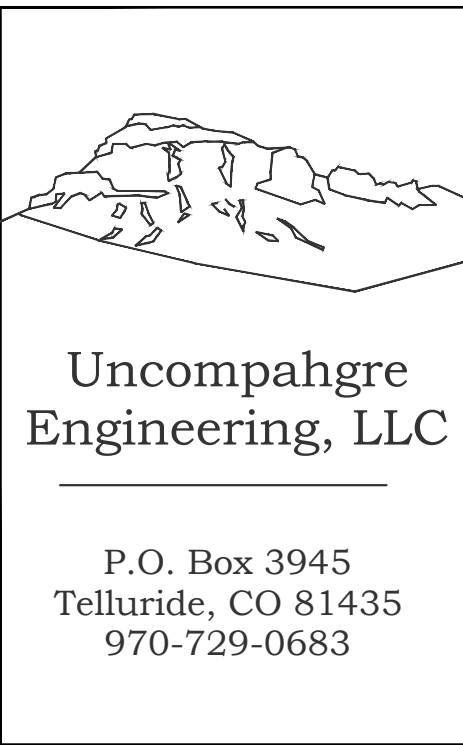
VICINITY MAP  
NTS

ASSESSOR'S PARCEL #:  
430516215001

OWNER:  
ALPINE HOMES -- RIDGEWAY, LLC  
PO BOX 81435  
TELLURIDE, CO 81432

CIVIL ENGINEER:  
SET ENGINEERING, LLC  
1309 EAST 3RD AVENUE, SUITE 206  
DURANGO, CO 81301  
JAMES GREEN, P.E.  
970-403-5088

CIVIL OVERSIGHT AND  
DRAINAGE ENGINEER:  
UNCOMPAGHRE ENGINEERING, LLC  
P.O. BOX 3945  
TELLURIDE, CO 81435  
DAVID BALLODE, P.E.  
970-729-0683



GRAPHICAL SCALE (FT)

Revisions:	#	DATE	DESCRIPTION
	1	7/28/22	REVISED PROFILE AND CLARIFIED ELEVATIONS INFO
	2	8/19/22	ADDED ELEVATIONS TO PROFILES
	3	11/8/22	REVISED SS MH01E & MH01D7, WATER MAIN RUN B
	4	11/29/22	REV. MH 0-1'-F, CULV./GATE INFO, TABLES SH <b>HC-4</b>

RIVERFRONT VILLAGE  
TITLE SHEET  
RIDGWAY, COLORADO



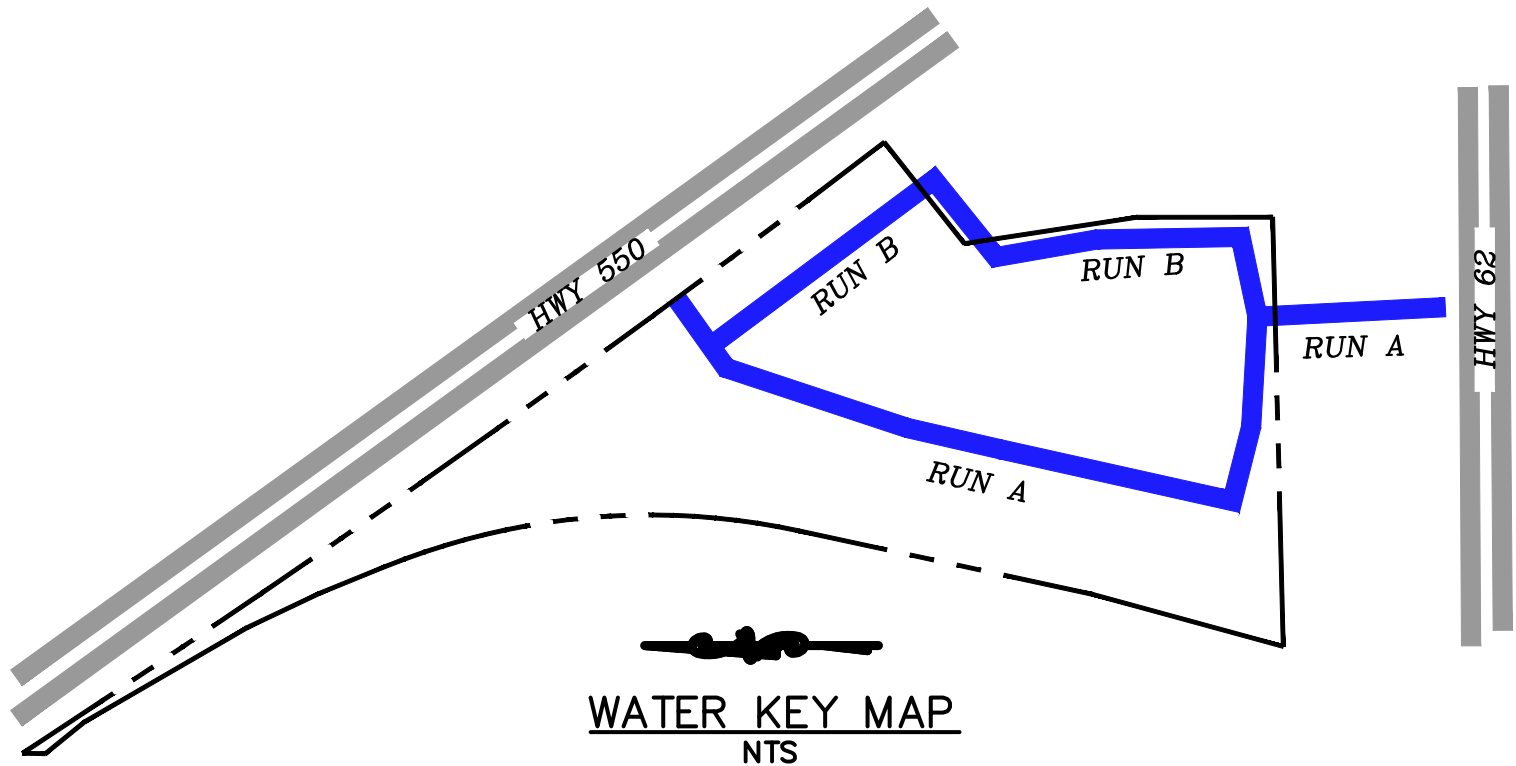
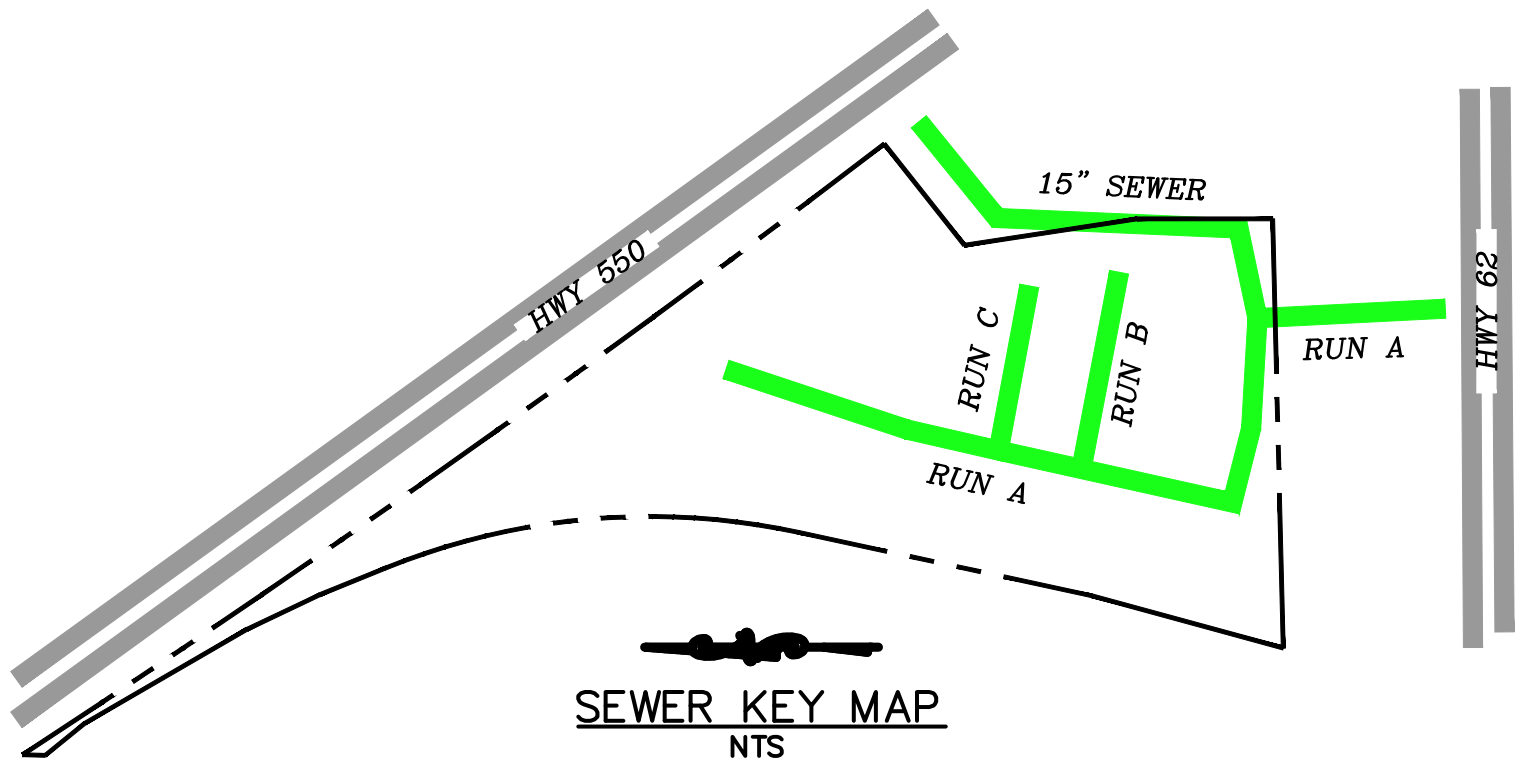
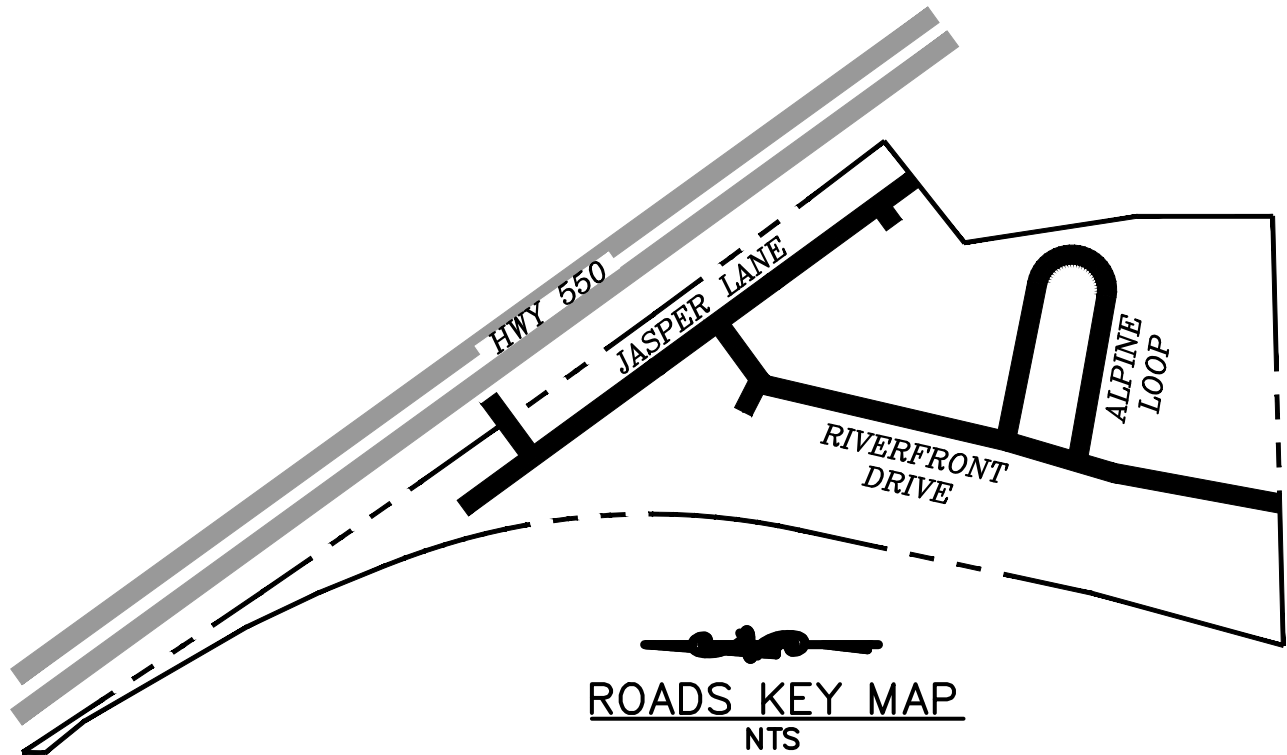
PLAN NO.  
**C-1**  
Sheet 1 of 24  
Project: RIVERFRONT VILLAGE  
Date: 6/21/2022  
Drawn By: SRH  
Checked By: JAG



c:\users\stefhenorwith\dropbox (set engineering, llc)\\_\_set business\\_\_set projects current\2020-052 tavoci village\cad\plansheets\sw-1 stormwater and wqcv mitigation plan.dwg

THE PROJECT SHALL BE AS-BUILT PER TOWN STANDARDS.

LINK TO TOWN STANDARDS AND SPECIFICATIONS:  
HTTPS://TOWNOFRIDGWAY.COLORADO.GOV/RESOURCES/PLANS--DOCUMENTS--AND--STUDIES



# RIVERFRONT VILLAGE

## WORK TO BE DONE:

ALL WORK SHALL BE CONSTRUCTED ACCORDING TO TOWN OF RIDGWAY, SAN MIGUEL POWER ASSOCIATION, BLACK HILLS ENERGY, PROJECT GEOTECHNICAL ENGINEER, AND PROJECT CIVIL ENGINEER, THEIR CURRENT STANDARDS AND SPECIFICATIONS. IF CONFLICTS EXIST, CONTACT THE ENGINEER OF WORK AND TOWN REPRESENTATIVE.

## LEGEND:

SYMBOL	DESCRIPTION
---	EXISTING POWER LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING GAS LINE
---	EXISTING FIBER OPTIC LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
[ ]	EXISTING CULVERT
⊗	EXISTING WATER VALVE
⊙	EXISTING SEWER MANHOLE
8"W	PROPOSED WATER MAIN
WS WS	PROPOSED WATER SERVICE
FW FW	PROPOSED FIRE WATER SERVICE
⊗	PROPOSED WATER GATE-VALVE
▷	PROPOSED THRUST BLOCK
⊗	PROPOSED FIRE HYDRANT
8"SS	PROPOSED SEWER MAIN
SS SS	PROPOSED SEWER SERVICE
⊙	PROPOSED SEWER MANHOLE
[ ]	PROPOSED CULVERT
UE UE	PROPOSED UNDERGROUND ELECTRIC PER SMPA
E/T/F	PROPOSED ELECTRIC/TELE/COMM COMMON TRENCH PER SMPA
⊗	PROPOSED ELECTRIC TRANSFORMER
⊗	PROPOSED ELECTRIC METER
⊗	PROPOSED STORMWATER DRYWELL
⊗	PROPOSED ADA OR COMBO STOP AND STREET NAME SIGN PER MUTCD
⊗	PROPOSED STOP BAR PER MUTCD

## ABBREVIATIONS:

(###) = EXISTING ELEVATION  
BC = BEGINNING OF CURVE  
BOB = BOTTOM OF BOX  
BOP = BOTTOM OF PIPE  
BOW = BACK OF WALK  
BTM = BOTTOM  
BW = BOTTOM OF WALL  
CL = CENTERLINE  
CO = CLEANOUT  
EC = END OF CURVE  
EG = EXISTING GRADE  
EL = ELEVATION  
EP = EDGE OF PAVEMENT  
EX = EXISTING  
FES = FLARED END SECTION  
FG = FINISH GRADE  
FS = FINISH SURFACE  
FL = FLOWLINE ELEVATION  
GB = GRADE BREAK  
GV = GATE VALVE  
HMA = HOT MIX ASPHALT  
HP = HIGH POINT  
IE = INVERT ELEVATION  
IR = IRRIGATION  
LIP = LIP OF GUTTER  
NOI = NOTICE OF INTENT  
OHE = OVERHEAD ELECTRIC  
PC = POINT OF CURVATURE  
PCC = POINT OF COMPOUND CURVE  
PCR = POINT OF CURVE RETURN  
PL = PROPERTY LINE  
PROP = PROPOSED  
PT = POINT OF TANGENCY  
ROW = RIGHT OF WAY  
SD = STORM DRAIN  
SMH = SEWER MANHOLE  
SWPPP = STORM WATER POLLUTION PREVENTION PLAN  
TB = TOP OF BOX  
TBC = TOP BACK OF CURB  
TC = TOP OF CURB  
TG = TOP OF GRATE  
TOE = TOE OF SLOPE  
TOP = TOP OF PIPE OR SLOPE  
TW = TOP OF WALL  
WM = WATER METER  
WS = WATER SERVICE

GRAPHICAL SCALE (FT)

Revisions:  
# DATE DESCRIPTION

## RIVERFRONT VILLAGE GENERAL NOTES RIDGWAY, COLORADO



ENGINEERING LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301  
970-403-5088

## PLAN NO.

C-2

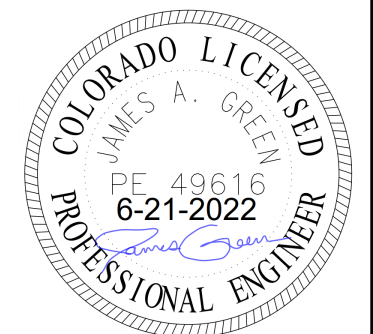
Shee2 of 24

ProjectRIVERFRONT VILLAGE

Date06/21/2022

Drawn ByBRH

Checked ByAG





1. TOPOGRAPHIC SURVEY, FLOODPLAIN, AND EXISTING CONDITIONS DATA ARE FROM TOPOGRAPHIC SURVEY EXISTING CONDITIONS BY DEL MONTE CONSULTING, INC. PLANS DATED 06/18/2020.
2. FRANCHISE UTILITIES SHALL BE COORDINATED INDIVIDUALLY WITH PRIVATE UTILITY PROVIDERS.
3. ALL WATER SERVICES SHALL HAVE A CURB STOP INSTALLED PRIOR TO THE METER PIT PER THE TOWN'S RECONNECT SERVICE DETAIL.
4. SEE LANDSCAPE PLANS FOR PROPER GROUND COVER MATERIAL AND TREE TYPE AND LOCATION. SEE LANDSCAPE PLANS FOR IRRIGATION DESIGN.
5. WATER MAIN DEPTH OF COVER: ALL WATER MAINS SHALL HAVE 5 FEET OF COVER PER THE TOWN OF RIDGWAY STANDARDS (UNO).
6. THE REQUIRED MINIMUM SEPARATION FOR ELECTRICAL AND COMMUNICATION IS 1 FOOT.
7. ALL OTHER UTILITIES BESIDES WATER AND SEWER REQUIRE ENCASEMENT PER TOWN DETAIL WITHIN THE LIMITS OF THE ROAD.

UTILITY EASEMENT  
PROPERTY LINE (TYP.)

HWY 550

BORING FOR A 6" ELECTRICAL CONDUIT

FIRE HYDRANT (TYP.)

ISOLATION VALVES (TYP.)

JASPER LANE

ENTRANCE

BANK OF ELECTRICAL METERS & TELE/COMM EQUIPMENT FOR EACH GROUP OF UNITS, TYPICAL

M1

SEWER SERVICE (TYP.)

WATER SERVICE METER (TYP.)

D1

FIRE SERVICE (TYP.)

D2

D3

D4

RIVERFRONT DRIVE

CM

FIRE SERVICE (TYP.)

WATER METER MANHOLE (TYP.)

SEE SEWER RUN A PLAN & PROFILE SHEET SS-1

UTILITY EASEMENT

ALPINE LOOP

SEE SEWER RUN B & C PLAN & PROFILE SHEET SS-2

UTILITY EASEMENT

M2

M3

SEE WATER RUN A PLAN & PROFILE SHEET W-1

ISOLATION VALVES (TYP.)

EXISTING OVERHEAD ELECTRICAL TO REMAIN

UTILITY EASEMENT

SEE SEWER RUN A PLAN & PROFILE SHEET SS-1

FIRE HYDRANT

PROTECT EXISTING UTILITIES IN PLACE

EXISTING POWER TRANSFORMER TO BE RECONFIGURED

EXISTING POWER POLE, PULL BOX, FIBER OPTIC VAULT & PEDESTAL TO REMAIN

LOT 1 RIVER BANK MINOR SUBDIVISION

15" SHARED ACCESS EASEMENT FOR RIVERBANK SUB. LOTS 1 & 2 RECEPTION NO. 199853

EXISTING SEWER LINES TO REMAIN CONNECT TO EXISTING SEWER MANHOLE SEE SHEET SS-1

EXISTING UTILITY POLE TO REMAIN

CONNECT TO EXISTING 8" DIA. WATER MAIN

20" ACCESS & UTILITY EASEMENT FOR RIVERBANK SUB. LOTS 1 & 2 RECEPTION NO. 199853

LOT 2 RIVER BANK MINOR SUBDIVISION

CONTRACTOR SHALL MAINTAIN PROPER CONSTRUCTION LIMITS WITHIN THE EASEMENT OR OBTAIN TEMPORARY CONSTRUCTION PERMISSION FORM NEIGHBOR.

REMOVE EXISTING UTILITY POLE

45'x3/4'

39'x3/4'

REFER TO THE STORMWATER MITIGATION PLAN FOR STORMWATER PIPE AND BASIN DETAILS.

ELECTRICAL POWER FOR WELL & IRRIGATION PUMPS SEE LANDSCAPE PLANS

**RIVERFRONT VILLAGE UTILITY SIZING**  
**PER BIGHORN CONSULTING ENGINEERS**

- COMMERCIAL + RESIDENTIAL
- SANITARY SEWER SHALL BE 4" Ø (FOR THE BUILDING)
- FIRE WATER SHALL BE 4" Ø
- DOMESTIC WATER SHALL BE 1" Ø TAP WITH 1 1/2" Ø DISTRIBUTION PIPE
- ELECTRICAL SERVICE SHALL BE A 600 AMP THREE PHASE 208 VOLT METERSTACK

- RESIDENTIAL TOWNHOMES (FOLLOWING INFORMATION IS PER UNIT)
- SANITARY SEWER SHALL BE 4" Ø (FOR EACH UNIT)
- FIRE WATER SHALL BE 1.5" Ø
- DOMESTIC WATER SHALL BE 3/4" Ø METER AND 1" Ø DISTRIBUTION PIPE
- ELECTRICAL SERVICE SHALL BE A 400 AMP SINGLE PHASE 240 VOLT 2 METERSTACK

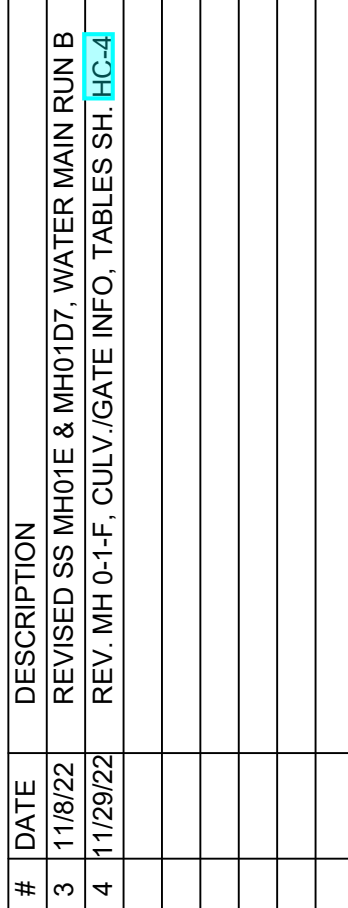
- APARTMENTS AND PARKING GARAGE
- SANITARY SEWER SHALL BE 4" Ø (FOR THE BUILDING)
- FIRE WATER SHALL BE 2 ½" Ø
- DOMESTIC WATER SHALL BE 1" Ø TAP WITH 1 ½" Ø DISTRIBUTION PIPE
- ELECTRICAL SERVICE SHALL BE A 400 AMP THREE PHASE 208 VOLT METERSTACK

- APARTMENTS AND PARKING GARAGE
- SANITARY SEWER SHALL BE 4" Ø (FOR THE BUILDING)
- FIRE WATER SHALL BE 2 ½" Ø
- DOMESTIC WATER SHALL BE 1" Ø TAP WITH 1 ½" Ø DISTRIBUTION PIPE
- ELECTRICAL SERVICE SHALL BE A 400 AMP THREE PHASE 208 VOLT METERSTACK

- CONDOS WITH PRIVATE GARAGES ON THE FIRST FLOOR.
- SANITARY SEWER SHALL BE 4" Ø (FOR EACH UNIT)
- FIRE WATER SHALL BE 4" Ø
- DOMESTIC WATER SHALL BE 1.5" Ø TAP WITH 1.5" Ø DISTRIBUTION PIPE
- ELECTRICAL SERVICE SHALL BE A 600 AMP THREE PHASE 208 VOLT METERSTACK

- CONDOS WITH PRIVATE GARAGES ON THE FIRST FLOOR.
- SANITARY SEWER SHALL BE 4" Ø (FOR EACH UNIT)
- FIRE WATER SHALL BE 4" Ø
- DOMESTIC WATER SHALL BE 1.5" Ø TAP WITH 1.5" Ø DISTRIBUTION PIPE
- ELECTRICAL SERVICE SHALL BE A 600 AMP THREE PHASE 208 VOLT METERSTACK

ESTIMATIONS BASED ON INFORMATION AVAILABLE PRIOR TO 4/21/2022. DOMESTIC WATER TAP AND DISTRIBUTION SIZES BASED ON TABLE E201.1 OF THE I.P.C. USING A PRESSURE RANGE ABOVE 60 PSI



# RIVERFRONT VILLAGE UTILITY PLAN RIDGWAY, COLORADO



ENGINEERING LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301  
970-403-5088

**PLAN NO.**  
**UTL-1**

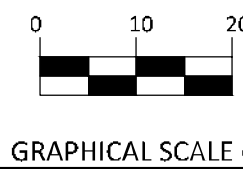
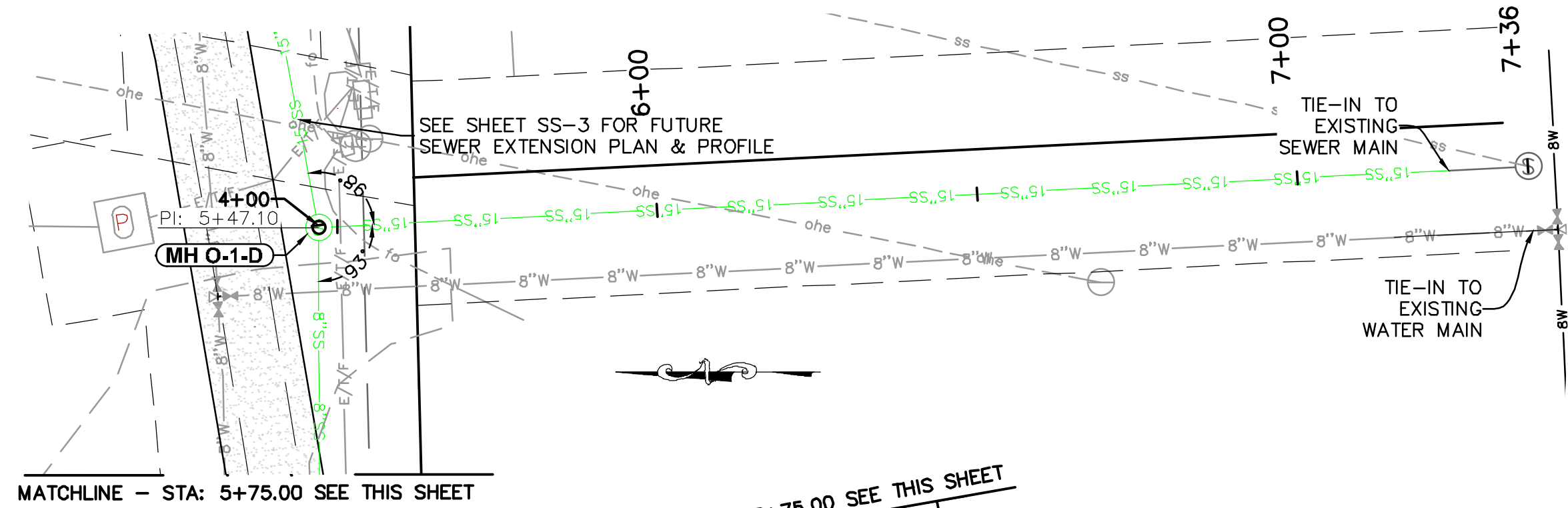
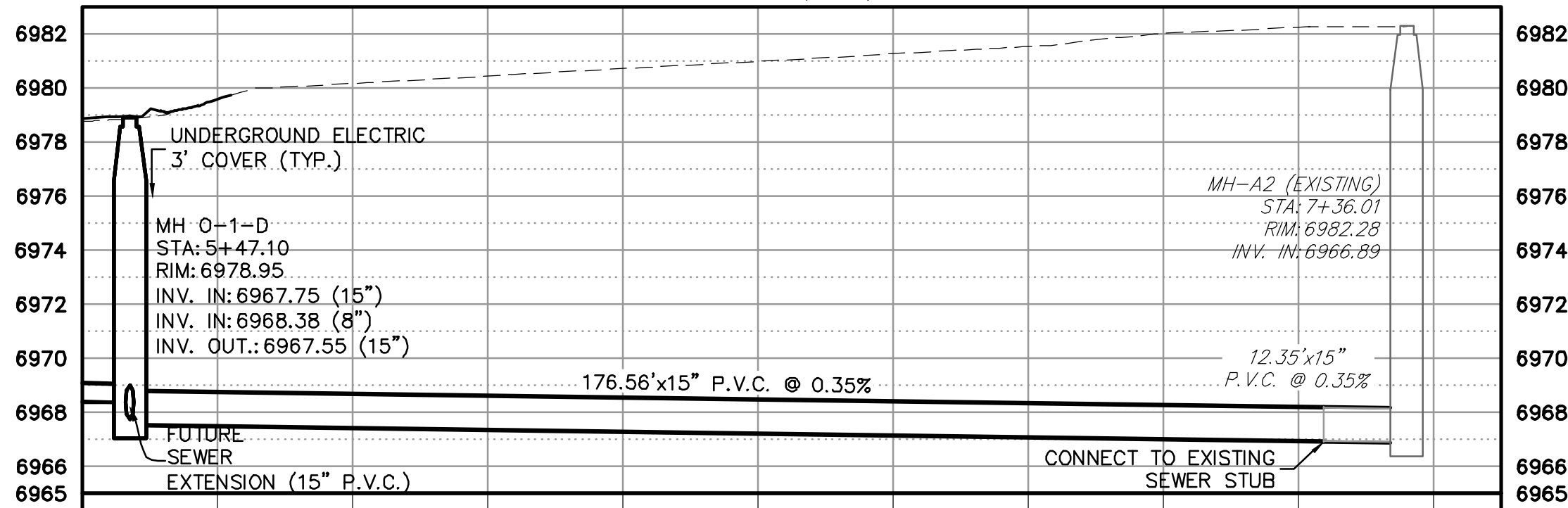
Sheet 5 of 24
Project: RIVERFRONT VILLAGE
Date: 6/21/2022
Drawn By: SRH
Checked By: JAG





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RIVERFRONT VILLAGE SEWER RUN A PROFILE  
1" = 20' (HORIZ.)  
1" = 5' (VERT.)



Revisions:  
# DATE DESCRIPTION

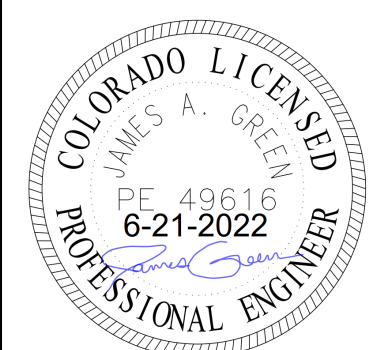
RIVERFRONT VILLAGE  
SEWER RUN A PLAN & PROFILE  
RIDGWAY, COLORADO



ENGINEERING, LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301  
970-403-5088

PLAN NO.  
SS-1

Sheet 15 of 24  
Project: RIVERFRONT VILLAGE  
Date: 11/08/2022  
Drawn By: SRH  
Checked By: JAG

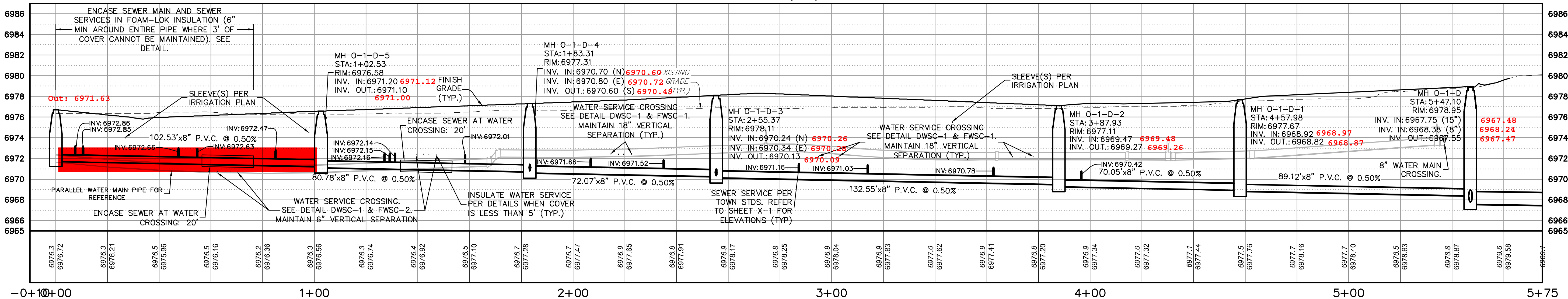


NOTES

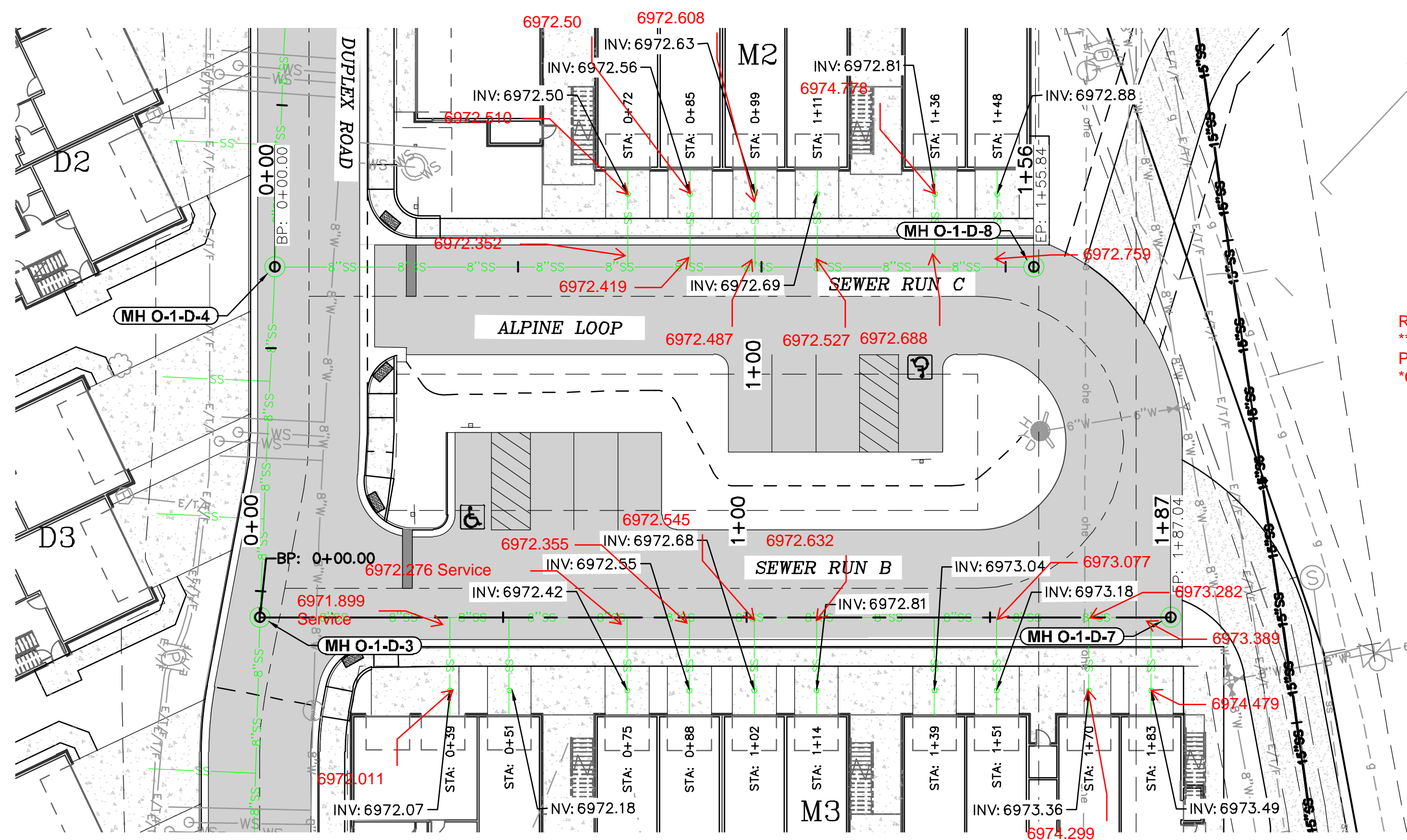
1. UTILITY DESIGNS CAN BE FOUND IN SHEET SERIES U, SS, AND W.
2. SEE LANDSCAPE ARCH PLANS FOR PROPER GROUND COVER MATERIAL AND TREE TYPE/LOCATION.
3. PIPE LENGTHS SHOWN ARE 2D LENGTHS FROM CENTER OF MANHOLE TO CENTER OF MANHOLE.
4. SEE CROSS SECTIONS AND DETAILS (SHEET X-1) FOR WATER & SEWER SERVICE CROSSING

8" passed pressure 4/6/2023 in red

RIVERFRONT VILLAGE SEWER RUN A PROFILE  
1" = 20' (HORIZ.)  
1" = 5' (VERT.)

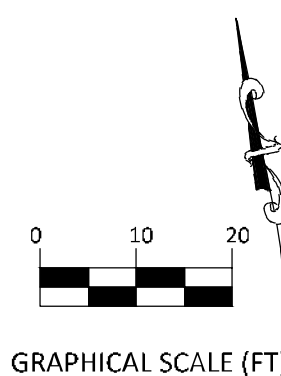
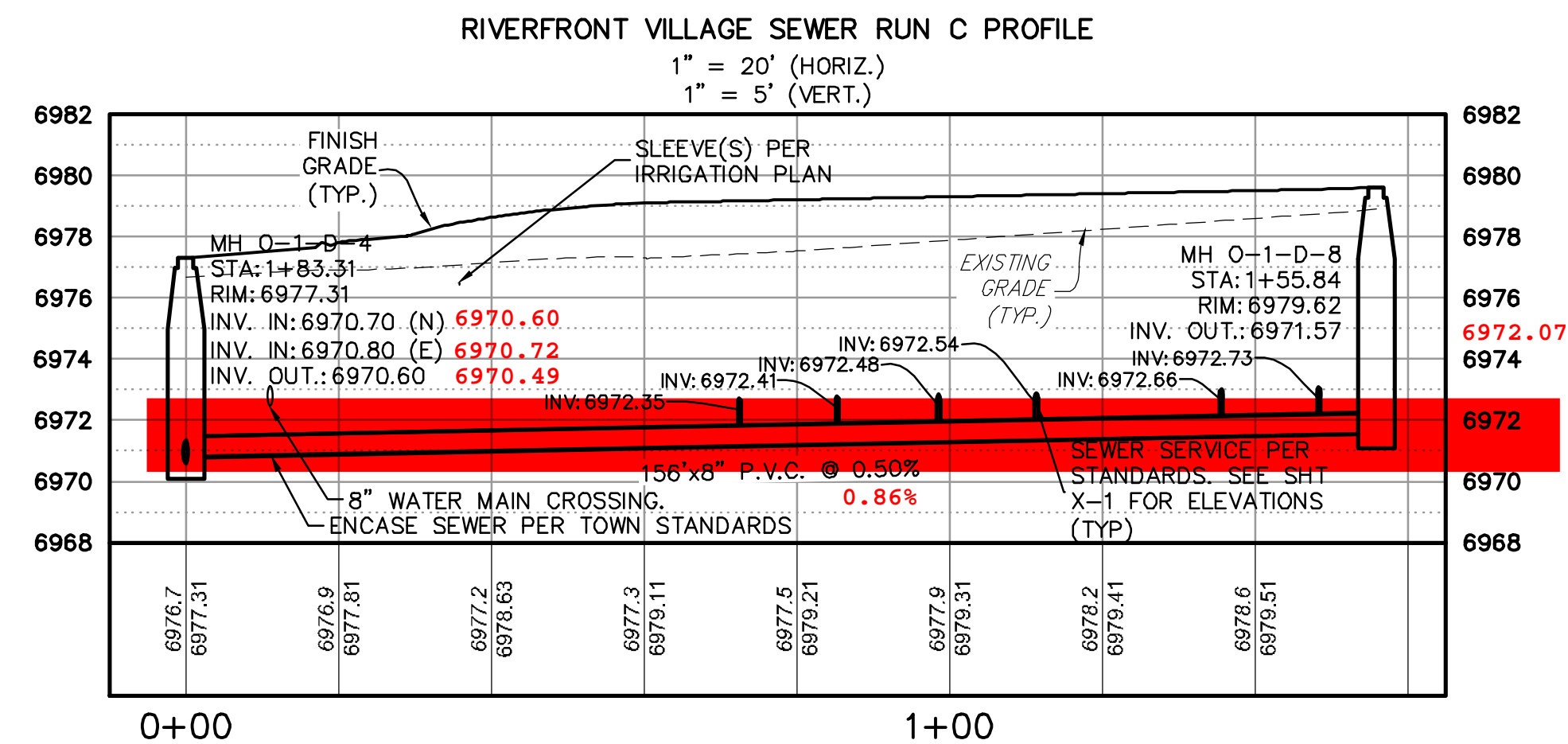
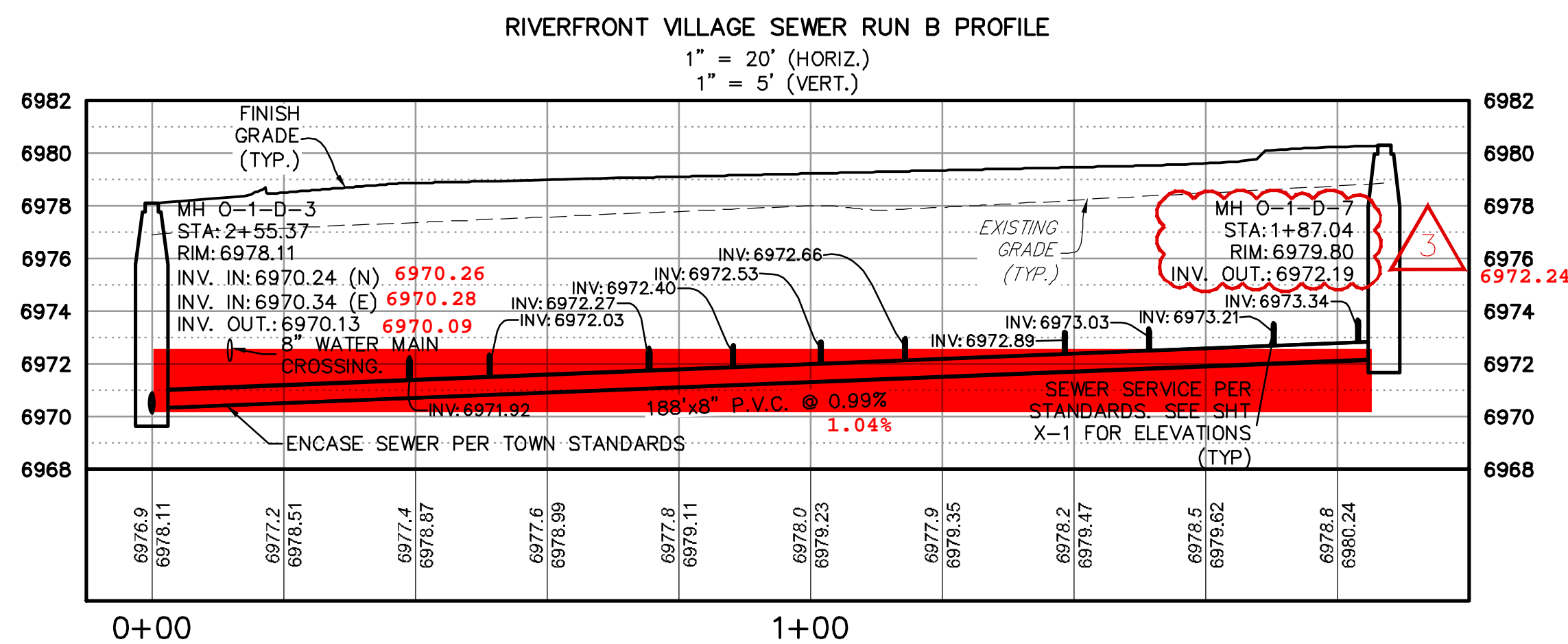






## NOTES

1. UTILITY DESIGNS CAN BE FOUND IN SHEET SERIES U, SS.
2. SEE LANDSCAPE ARCH PLANS FOR PROPER GROUND COVER MATERIAL AND TREE TYPE/LOCATION.
3. SEE LANDSCAPE ARCH PLANS FOR REQUIRED IRRIGATION PIPING SLEEVE UNDER CONCRETE/ ASPHALT.
4. SEE CROSS SECTIONS AND DETAILS (SHEET X-1) FOR WATER & SEWER SERVICE CROSSING

[illegible]

**RIVERFRONT VILLAGE  
SEWER RUN B & C PLAN & PROFILE  
RIDGWAY, COLORADO**

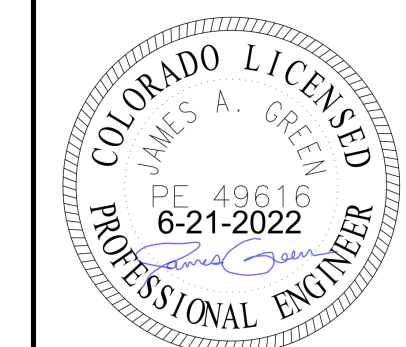


ENGINEERING, LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301

**PLAN NO.**

SS-2

Sheet 16 of 24
Project: RIVERFRONT VILLAGE
Date: 11/08/2022
Drawn By: SRH
Checked By: JAG

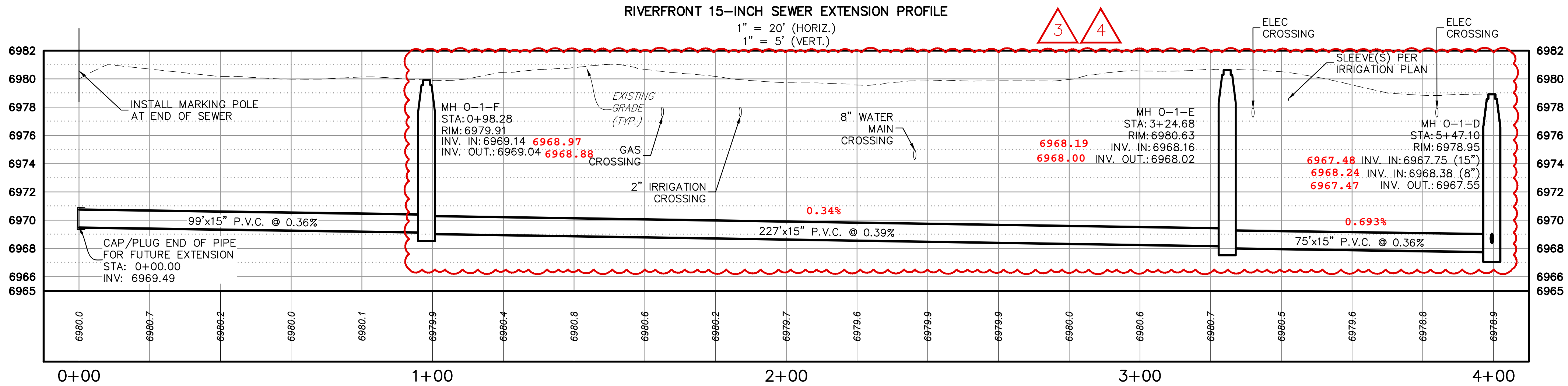
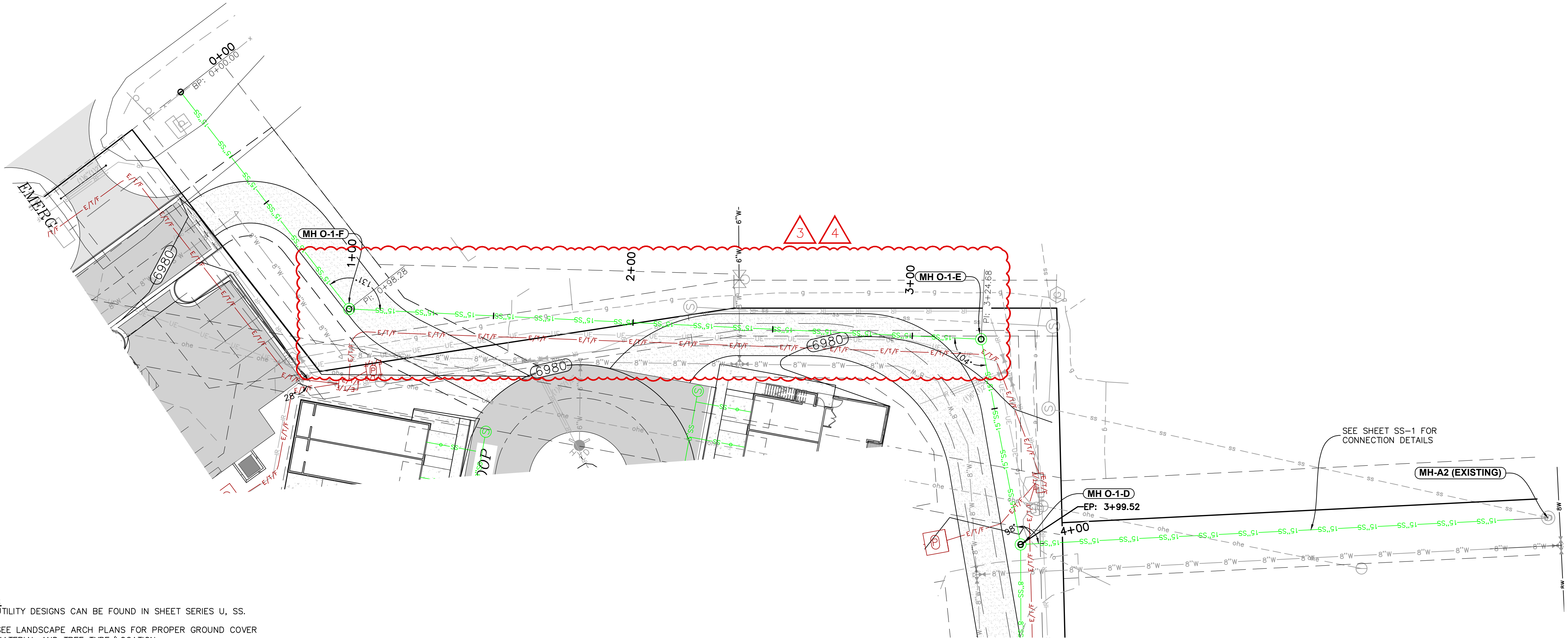




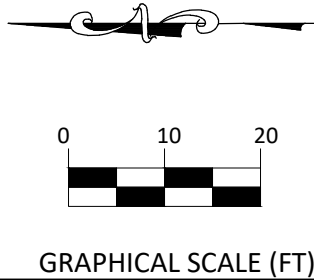
c:\users\chrishawkins\set engineering, llc dropbox\current projects\2020-052\_tavaci village\cad\plansheets\ss-3 future sewer extension plan & profile.dwg

NOTES

1. UTILITY DESIGNS CAN BE FOUND IN SHEET SERIES U, SS.
2. SEE LANDSCAPE ARCH PLANS FOR PROPER GROUND COVER MATERIAL AND TREE TYPE/LOCATION.
3. SEE LANDSCAPE ARCH PLANS FOR REQUIRED IRRIGATION PIPING SLEEVE UNDER CONCRETE/ ASPHALT.
4. SEE CROSS SECTIONS AND DETAILS (SHEET X-1) FOR WATER & SEWER SERVICE CROSSING



All 15" passed pressure 4/4/2023



Revisions:		DESCRIPTION
#	DATE	
3	11/8/22	REVISED SS MH01E & MH01D, WATER MAIN RUN B
4	11/29/22	REV. MH O-1-F, CULV/GATE INFO, TABLES SH. HC-4

**RIVERFRONT VILLAGE**  
**15-INCH SEWER EXTENSION PLAN & PROFILE**  
**RIDGWAY, COLORADO**



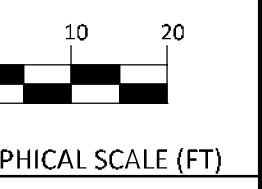
ENGINEERING, LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301  
970-403-5088

**PLAN NO.**  
**SS-3**

Sheet 17 of 24  
Project: RIVERFRONT VILLAGE  
Date: 6/21/2022  
Drawn By: SRH  
Checked By: JAG







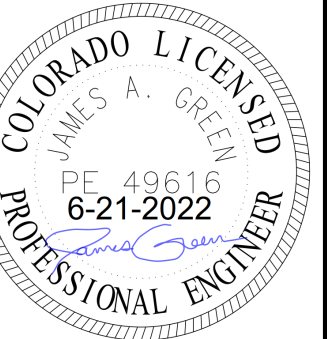
- NOTES**
1. UTILITY DESIGNS CAN BE FOUND IN SHEET SERIES U, SS, & W.
  2. SEE LANDSCAPE ARCH PLANS FOR PROPER GROUND COVER MATERIAL AND TREE TYPE/LOCATION.
  3. SEE LANDSCAPE ARCH PLANS FOR REQUIRED IRRIGATION PIPING SLEEVE UNDER CONCRETE/ ASPHALT.
  4. SEE CROSS SECTION AND DETAILS (SHEET X-1) FOR WATER AND SEWER SERVICE CROSSING.
  5. REFER TO HC-3 AND HC-4 FOR FITTING DATA AND LOCATION INFORMATION.



ENGINEERING, LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301  
970-403-5088

<b>PLAN NO.</b>
<b>W-1</b>

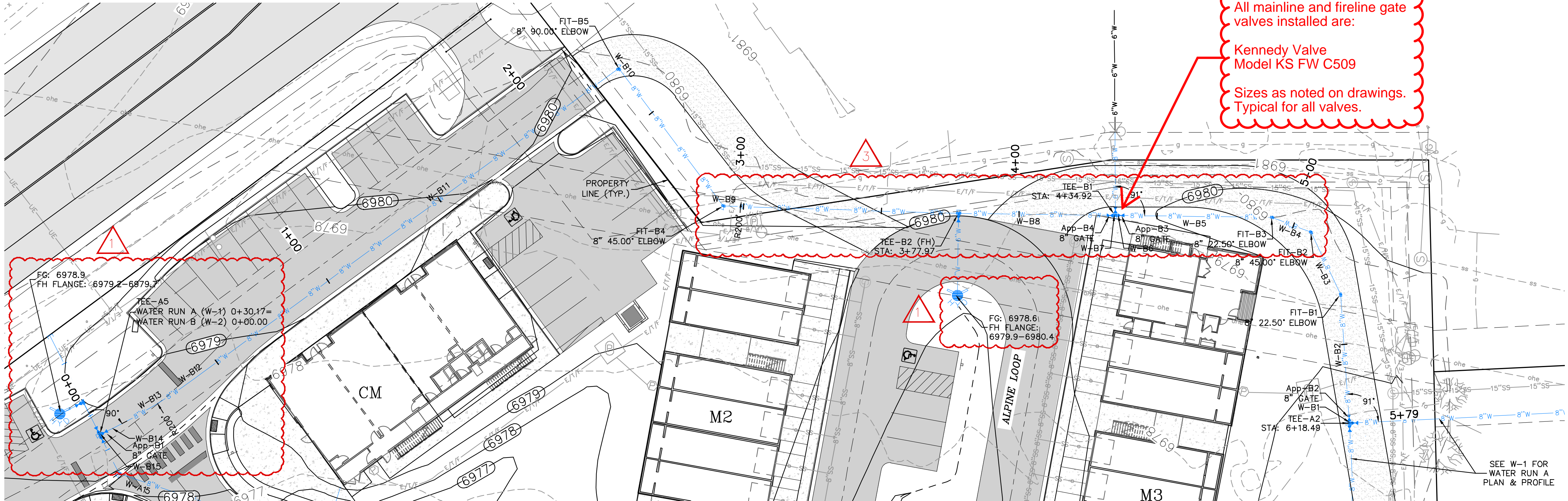
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ect: RIVERFRONT VILLAGE  
e: 11/08/2022  
wn By: SRH  
cked By: JAG



c:\users\chrisshawkins\set engineering, llc dropbox\current projects\2020-052 tavaci village\cad\plansheets\w-1 water run a plan & profile.dwg

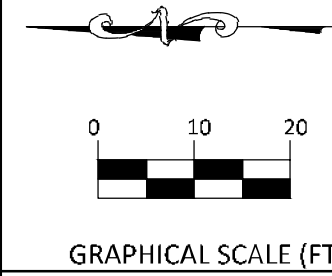
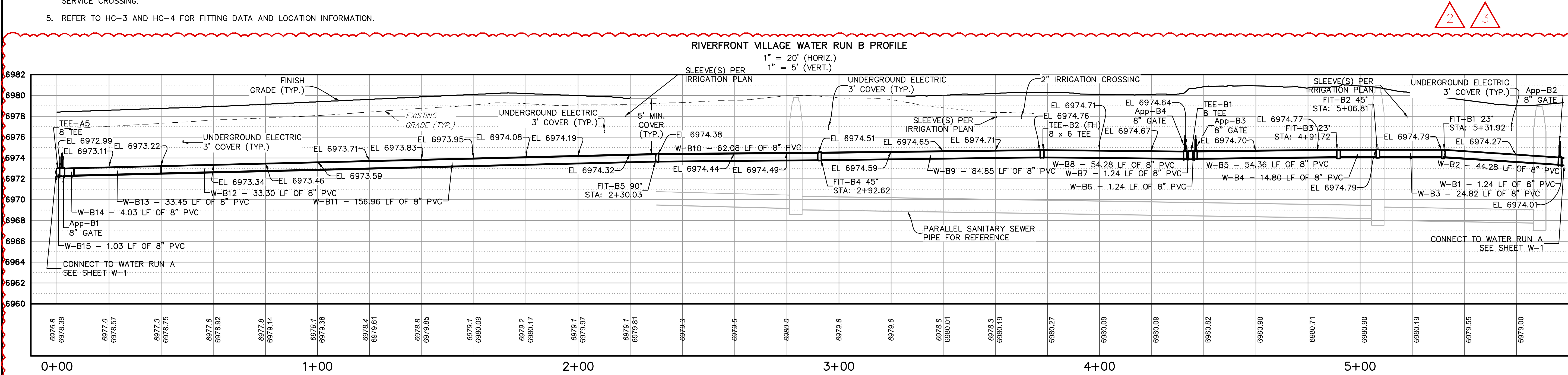


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All mainline and fireline gate valves installed are:  
  
Kennedy Valve  
Model KS FW C509  
  
Sizes as noted on drawings.  
Typical for all valves.

- NOTES
1. UTILITY DESIGNS CAN BE FOUND IN SHEET SERIES U, SS, & W.
  2. SEE LANDSCAPE ARCH PLANS FOR PROPER GROUND COVER MATERIAL AND TREE TYPE/LOCATION.
  3. SEE LANDSCAPE ARCH PLANS FOR REQUIRED IRRIGATION PIPING SLEEVE UNDER CONCRETE/ ASPHALT.
  4. SEE CROSS SECTION AND DETAILS (SHEET X-1) FOR WATER AND SEWER SERVICE CROSSING.
  5. REFER TO HC-3 AND HC-4 FOR FITTING DATA AND LOCATION INFORMATION.



Revisions:		DESCRIPTION
#	DATE	REVISED PROFILE AND CLARIFIED ELEVATIONS INFO
1	7/28/22	REVISED ELEVATIONS TO PROFILES
2	8/19/22	ADDED ELEVATIONS TO PROFILES
3	11/18/22	REVISED SS MH01E & MH01D7, WATER MAIN RUN B
		RFI 8

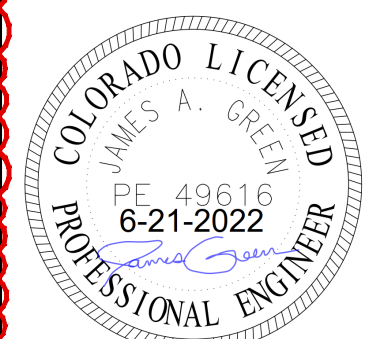
RIVERFRONT VILLAGE  
WATER RUN B PLAN & PROFILE  
RIDGWAY, COLORADO



ENGINEERING, LLC  
1309 E. 3rd Ave., #206  
Durango, CO 81301  
970-403-5088

PLAN NO.  
W-2

Sheet 19 of 24  
Project: RIVERFRONT VILLAGE  
Date: 11/08/2022  
Drawn By: SRH  
Checked By: JAG





## AGENDA ITEM #2

PLANNING COMMISSION  
MINUTES OF THE REGULAR MEETING

AUGUST 29, 2023

CALL TO ORDER

The Planning Commission convened both in-person at 201 N. Railroad Street, Ridgway, Colorado and via Zoom Meeting, a virtual meeting platform, pursuant to the Town's Electronic Participation Policy.

The Chairperson called the meeting to order at 5:35 p.m. Commissioners Foyster, Liske, Nelson, Petruccelli, and Chairperson Montague were in attendance. Mayor Pro Tem Meyer was not present for roll call , and Mayor Clark was absent.

WORK SESSION

1. Informal Discussion-Proposed Lot Consolidation for Solar Ranches #2D; Lots 68-70

Property Owner Pat Willits explained his house is situated on Lot 69 in between vacant Lots 68 and 70 and he may plan to construct homes on the vacant lots in the distant future. He explained the vacant lots have previously received a residential status for property tax assessments. However, the State of Colorado changed the guidelines for those assessments. The new assessment deemed the vacant lots as an accessory to Lot 69, and that dramatically increased the property taxes. Mr. Willits further explained the County Assessor advised him to construct a fence surrounding all 3 lots, and remove the interior fencing, to provide the appearance that all the lots are being utilized as one, which would avoid the "accessory to" tax assessment. Willits said fencing the 3 lots as one lot has an undesirable visual impact to the neighborhood, disturbs the wildlife corridor running through one of the vacant lots, the fence could be costly to construct, and for those reasons he would prefer to legally consolidate Lots 68-70. He asked the Commissioners if they might be inclined to approve the lot consolidation before paying hearing and surveyor fees. Willits also acknowledged the vacant lots would need to go through another hearing process to split the lots if another structure were to be built on either lot in the future.

The Commissioners discussed the proposal with Mr. Willits and Planner TJ Dlubac. They agreed they would be inclined to approve the lot consolidation request when presented for their consideration, based on the criteria discussed.

PUBLIC HEARING

2. Application for Final Plat & Planned Unit Development (PUD); Location: Town of Ridgway, Block 30, Lots 1-12; Zone: Historic Residential; Applicant: Ridgway Homes, LLC; Owner: Ridgway Homes LLC

Staff Report dated August 25, 2023, presenting background, analysis and staff recommendation prepared by TJ Dlubac AICP of Community Planning Strategies.

TJ Dlubac presented the application for Final Plat noting the Sketch Plan and Preliminary Plat process were concurrent for this project and the project will continue to be managed under the old



municipal code until completion. He noted the project will provide a variety of affordable housing types on fourteen residential lots and explained the deviations authorized with the PUD have remained as originally approved. He further noted that public improvements have not been accepted by the Town of Ridgway. Rather, to expedite move-in dates for qualifying tenants the Town has allowed all the public improvements for this project to be addressed with the Subdivisions Improvement Agreement. Dlubac recommended approval of the application with the 3 conditions noted in the Staff Report.

Chairperson Montague noted the many exceptions and deviations not normally granted to contractors, approved with this project, were made to provide affordable housing for the community.

Property Owner, Paul Major said to date 13 of the 14 homes will be occupied by qualified buyers. The sidewalks, curb and gutter are being constructed with other infrastructure improvements, and the landscaping is scheduled to be completed by October 15. The Commissioners discussed the timeline for completion and other details related to affordable housing with Mr. Major.

The Chairperson opened the hearing for public comment.

Pat Willits asked about the resale restrictions and found the homes will have a 3% annual appreciation cap for the home value, and improvements of not more than 10% of the home's value will be allowed.

The Chairperson closed the hearing for public comment.

#### ACTION:

Commissioner Nelson moved to approve the Final Plat and Planned Unit Development for the Wetterhorn Homes Subdivision finding that the criteria set forth in Section 7-4-5(C)(8)(b)1-3 of the Ridgway Municipal Code have been met and with the following conditions: 1.) The Subdivision Improvement Agreement be approved by the Town Council. 2.) An executed mylar of the final plat be submitted by the applicant to the Town for final execution and recording with the Ouray County Clerk and Recorder. 3.) All comments in the Staff Review Letter dated August 25, 2023, be adequately addressed prior to recording of the final plat with the Ouray County Clerk and Recorder. Commissioner Liske seconded the motion and it carried unanimously.

#### 3. Approval of the Minutes from the Meeting of April 4, 2023

#### ACTION:

Commissioner Foyster moved to approve the Minutes from April 4, 2023. Commissioner Nelson seconded the motion, and it was carried unanimously.

#### 4. Approval of the Minutes from the Meeting of April 25, 2023

#### ACTION:

Commissioner Liske moved to approve the Minutes from April 25, 2023. Commissioner Nelson seconded the motion, which carried unanimously.

5. Approval of the Minutes from the Meeting of June 27, 2003.

ACTION:

Commissioner Foyster moved to approve the Minutes from June 27, 2023. Commissioner Liske seconded the motion, and it carried with Commissioner Nelson abstaining.

ADJOURNMENT

The meeting was adjourned at 6:35 p.m.

Respectfully submitted,

Karen Christian  
Deputy Clerk