

RIDGWAY PLANNING COMMISSION

AGENDA

Tuesday, December 22nd, 2020

Regular Meeting; 5:30 pm

ONLINE via Zoom

To join the meeting go to:

<https://us02web.zoom.us/j/84685108417?pwd=L1Z3QW9NdmlrQzVwNTZYY0NxU3Avdz09>

Meeting ID: 846 8510 8417

Passcode: 521291

To call in dial: 253.215.8782 or 669.900.6833 or 346.248.7799

Written comments can be submitted before the meeting to scoburn@town.ridgway.co.us or delivered to Town Hall Attn: Planning Commission

ROLL CALL: Chairperson: Doug Canright, Commissioners: Russ Meyer, John Clark, Thomas Emilson, Larry Falk, Bill Liske, and Jennifer Nelson

PUBLIC HEARINGS:

1. **Application:** Variance for Rear Building Setback, Building Height, and Parking; **Location:** Block 33, South 15 feet of West 50' of Lot 18, Wet 50' of Lots 19 and 20; **Address:** 521, 523, 525 Clinton Street; **Zone:** Historic Business (HB); **Applicant:** Sundra Hines for Greg Young; **Owner:** Banco Building LLC

OTHER BUSINESS:

2. Landscaping Regulations Update, second discussion

APPROVAL OF MINUTES:

3. Minutes from the meeting of October 27, 2020

ADJOURN

STAFF REPORT

Request: Variance for Rear Building Setback, Building Height, and Parking
Legal: Block 33, South 15 feet of the West 50' of Lot 18, West 50' of Lots 19 and 20
Addresses: 521, 523, 525 Clinton Street
Parcel #: 430516208006
Zone: Historic Business (HB)
Applicant: Sundra Hines for Greg Young
Owner: Banco Building LLC
Initiated By: Shay Coburn, Town Planner
Date: December 22, 2020

REQUEST

The subject property is located in the Historic Business (HB) district near the center of town on Clinton Street. The subject property is almost entirely consumed by the existing historic bank building.

The proposed reuse of this property is for a retail space, restaurant, hotel and roof top bar. In order to preserve the historic building, meet building code, and work out financially, the Applicant is requesting the following:

1. Variance for rear building setback,
2. Variance for building height, and
3. Variance for on-site parking.

The Applicant submitted an application, narrative, and building plans. The property and hearing have been noticed and posted pursuant to the Town's regulations.



CODE REQUIREMENTS

RMC §7-3-9 "HB" Historic Business District**(E) Performance Standards****(4) [Parking Requirements]**

(a) Residential uses must provide off-street parking as required by Subsection 7-3-10(C)(1)(a) and Subsection 7-3-10(C)(1)(r). [see below]

(b) All non-residential uses must provide a minimum of one off-street parking space per 1650 square feet of gross floor area. Partial spaces will be rounded up to the next whole number of required parking spaces. If the structure contains both residential and non-residential uses, calculation of the gross floor area shall not include the residential area(s) for purposes of determining off-street parking pursuant to this paragraph. Also excluded from this calculation are enclosed parking and outdoor common areas. Parking spaces will be accessed only from an alley. The first three spaces must be provided on-site.

(c) *In cases where mixed residential and non-residential uses occur within the same property, the residential parking requirements of Subsection (a) shall be in addition to the non-residential parking space requirement set forth in Subsection (b).*

(d) *In lieu of non-residential off-street parking requirements in excess of three spaces and pursuant to Subsection (b) above, a money payment of \$3,000 per space may be paid to the Town, which money shall be used to fund the acquisition or construction of public parking facilities to serve the Historic Business Zoning District.*

RMC §7-3-15 Dimensional & Off-Street Parking Requirements

(A) Dimensional Requirements: Tabulated Requirements for Uses by Right

HB District

Rear setback is 8' min. Per table note (2) *when the rear or side lot line abuts an alley, the setback shall be a minimum of two (2) feet.*

Front and side setbacks shall be determined as follows per table note (3):

(a) *The setback shall be 8 feet, unless snow and drainage from the roof is effectively directed away from the abutting property, in which case the setback can be as little as 4 feet.*

(b) *In those instances where snow and drainage is effectively directed away from the abutting property, and the foundation and wall of the structure are constructed so that a wall and foundation of a building on an abutting lot can be built up to, or abutting the property line, the setback can be eliminated.*

(c) *In buildings with three stories above ground, the third story shall be subject to a 15-foot front setback, and an 8-foot side setback for those sides facing a public street, in addition to other applicable setbacks as provided above. The third story setbacks may be reduced or eliminated where design of the third story provides architectural features that are aesthetically attractive to provide visual relief and contrast as an alternative to monolithic three-story facade surfaces. For purposes of this provision, such features include, but are not limited to, integration of third stories into roof lines, multiple roof lines and angles, windows, doors and balconies, and fenestration and facade designs that make a distinction between upper and lower floors, such as horizontal banding and varied building materials.*

(d) *Any reduction of the setbacks as specifically provided in these Subsections (1), (2) and (3) shall be determined by the Town Planning Commission, pursuant to consideration of the criteria as set forth herein and in accordance with the review procedures as set forth in Subsection 7-3-23.*

Structure height is limited to 35 feet.

RMC §7-3-21 Variances and Appeals

Variances are considered under RMC §7-3-16 and reviewed under RMC §7-3-18. Applicable criteria include:

(A) *The Planning Commission may grant a variance from the Dimensional Requirements, Sign Regulations, Design or Performance Standards and other provisions of these regulations not related to "use", and excluding Off-Street Parking Requirements, following the review procedure of Subsection 7-3-18, provided that the criteria of this Subsection will be met. No variance shall be granted from the provisions governing "Uses By Right", and "Conditional Uses" within any zoning district. Variances shall be granted only if all the following criteria are met:*

(1) *There are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of the Zoning Ordinance, and*

(2) *The spirit of the ordinance will be observed, the public health, safety and welfare secured and substantial justice done by granting the variance.*

(B) *The Planning Commission may grant a variance from the Off-Street Parking Requirements for the Historic Business Zoning District, following the review procedure of Subsection 7-3-18, provided that the criteria of this Subsection will be met. Variances shall be granted if the spirit of the ordinance will be observed, the public health, safety and welfare secured and substantial justice done by granting the variance and any one of the following criteria are met:*

(1) *The variance is requested for an addition to an existing building or the construction of a purely accessory structure and these modifications will have a de minimis effect on traffic and parking; or*

(2) *The placement of on-site parking is not congruent with the goals and objectives of the downtown and as such will create an undesirable effect on the downtown streetscape, potentially interrupting, impeding or otherwise adversely affecting existing or future infrastructure such as pedestrian walkways and landscape areas; or*

(3) *There are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of the Off-Street Parking Requirements.*

(C) The burden shall be on the applicant to show that these criteria have been met.

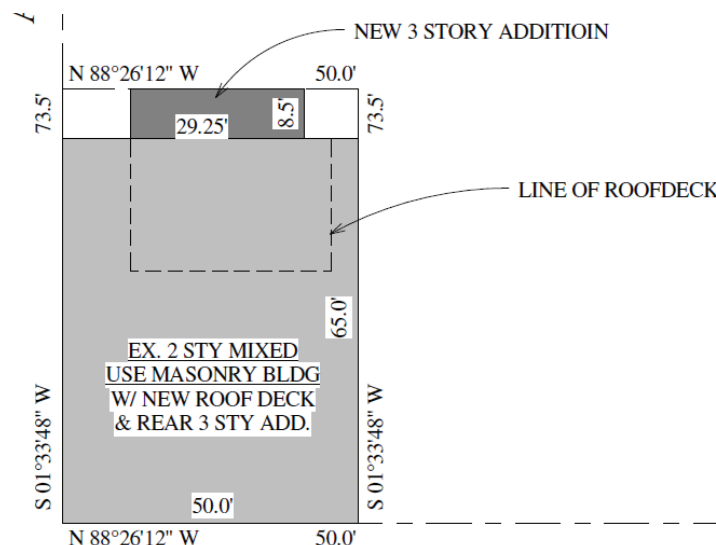
(D) *No variance on appeal shall be granted with less than 4 concurring votes of the Planning Commission.*

ANALYSIS

The criteria for each variance request are all somewhat related to each other and the overall goals of the project. The below analysis will go through each request and offer an explanation of the required criteria.

1. Rear setback: rear setback is 8' min., request is to build up to the lot line with a 0' setback.

As a historic building, the bank building is built right up to three out of the four lot lines with just 8.5' from the rear of the building to the property line. While the applicant may not need to build right at the rear property line, there are a few unknowns about the requirements for the elevator and stair that may require a 0' setback. It should be noted that the building plans do not propose to use all of the vacant area for the three-story stair and elevator, but rather about 29' of the 50', see diagram below that shows the addition in darker gray with the white areas remaining vacant.



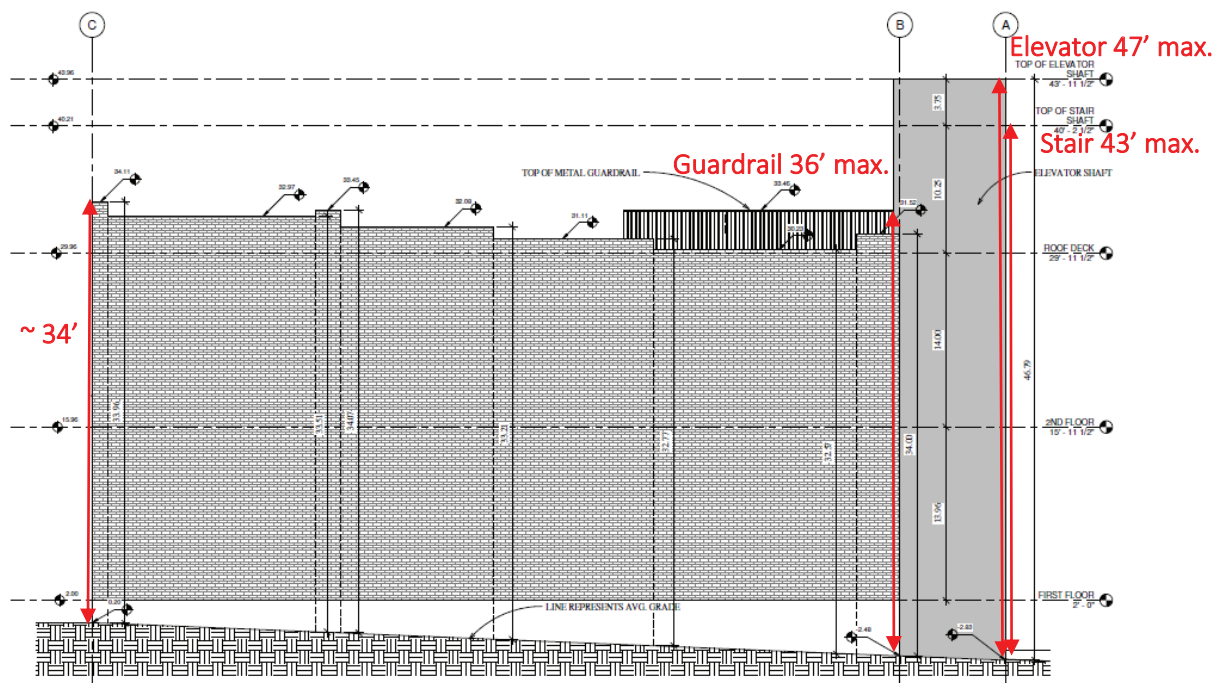
Site plan showing proposed 3-story addition.

Per criteria 1, there are practical difficulties in trying to maintain an 8' rear setback on this lot while trying to preserve the building and bring in to compliance with current building regulations. The stair and elevator are necessary to meet current ADA and egress building code requirements. To assist in preserving the historic qualities of the building, it is best to add this kind of addition on to the building where possible rather than gutting the inside to accommodate it. In addition, rear setbacks in this district are allowed to be as small as 2' when abutting an alley and the way this building was built across multiple lots is a bit unique. Staff does wonder what will happen with the small undeveloped area to the east of the elevator if the neighboring lot is built to the lot line. Did the Applicant consider moving the addition to adjoin the east property line?

Per criteria 2, the spirit of the ordinance will be observed. Staff feels that the major concern for zero lot line development in this district is drainage and potential impacts to neighboring properties. The applicant has noted that they feel they can accommodate this appropriately. Storm drainage will be complicated on this lot and will need to be carefully thought through to meet the regulations. The public health, safety and welfare will be secured and substantial justice will be done in that this valuable historic building will be given new life and the care that it needs to last for generations to come. This addition will also improve the safety and accessibility of the building as well as other likely modifications to the building will improve the overall safety.

2. Building height: variance for building height up to 47'.

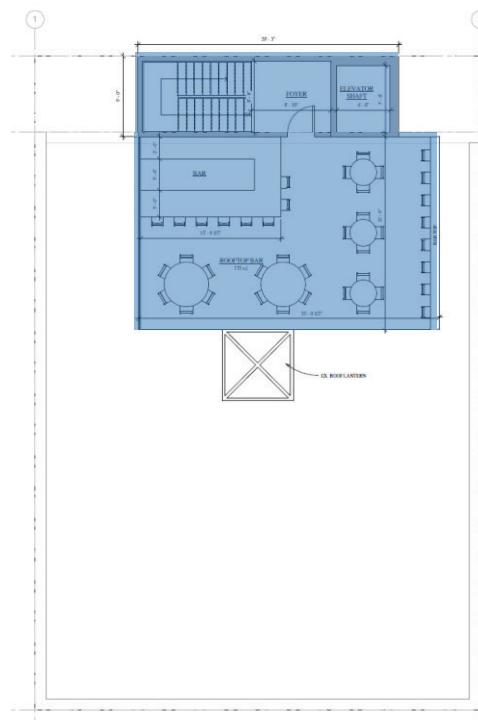
The front of the building, along Clinton Street is just under 34' and considering the terraced parapets that step down in accordance with the natural grade, the rear of the building (the north east corner) appears to be exactly 34' tall. After discussion with the Applicant about the height request detailed in the narrative, the request for a height variance is actually for the top of elevator to be up to 47', the stair to be just over 43', and the guardrail on the roof deck to be up to 36'. It is important to note that the code allows for terraced structures to be measured independently and that by measuring exactly where the addition will meet natural grade, the heights requested herein will likely be a bit less. See the diagram below for measurements.



East building elevation showing height measurements.

To address criterion 1, there may be practical difficulty due to working with an established historic building and that the topography of the site appears to drop about 2.5' from the front of the building to the rear. It is understood that a stair and elevator need to be added to meet building code but it is not clear why a roof bar has to be added resulting in a stair and elevator much taller than the code allows. Perhaps the full project cannot pencil out financially without the addition of the roof top bar. It will be helpful for the Applicant to better explain how this variance request meets the practical difficulty or unnecessary hardship criteria.

To address criterion 2, this spirit of ordinance will be observed as the stair and elevator addition is designed to only include what is necessary to make the building safe and accessible but also to make use of the roof for a bar. The roof top bar is only inclusive of a small area of the roof top and is setback from the sides of the building which will make the 36' tall guardrails almost blend in with the current parapet. The plans proposed do not include any structures on the roof top like for shelter/shade. The third-floor plan is shown below with the additions highlighted in blue. As you can tell, the additions only make up a small portion of the site and existing building.



Floor plan of third floor.

The public health, safety and welfare could be considered to be secured and substantial justice could be considered to be done by granting this variance given this project includes community benefits such as preservation of a historic building that may not otherwise be able to pencil out financially. In addition, this variance will allow for improved accessibility within the building with provides for safer spaces.

The Silver San Juan Building at the corner of South Cora and Sherman Streets received a variance for building height. In 2005, the Redcliff Two building received a variance to building height. The three-story structure on the northwest corner of Clinton and North Cora Streets was built in 1990 and is estimated to be approximately 35' in height. Recently, the Space to Create building received a variance for building height up to 39' for a few portions of the building and the Firehouse project received a variance for building height to be up to 41 feet in some locations. In addition, the communication tower that is just across the street is believed to be about 40 feet tall which is the maximum height allowed for communication towers.

3. **Parking:** variance to parking – to provide no parking spaces on-site.

In the HB district all non-residential uses must provide a minimum of one parking space per 1,650 sf of gross floor area and the first three spaces must be provide on-site (the others can be satisfied by paying a fee-in-lieu). Per this regulation six parking spaces are required for this project based on proposed new uses. See the following table for the breakdown:

Use	Square Footage	# of Spaces Req'd.
Retail	850	1
Restaurant	1962	2
Hotel	2939	2
Roof deck	949	1

The Applicant is asking for a variance to provide zero of the six required parking spaces on-site. While the applicant has stated they would pay the fee-in-lieu for all required spaces, they would like the Town to consider working with them on this as it is already an expensive project to keep this historic building and would appreciate any assistance from the Town.

The Planning Commission may grant a variance from the parking requirements in the Historic Business district per 7-3-16(B), copied in above, if the spirit of the ordinance will be observed, the public health, safety and welfare secured and substantial justice done by granting the variance and one of the three criteria are met. The spirit of the ordinance may be considered to be observed because the building is existing and not adding much in terms of usable area except the small rooftop bar. The public health, safety and welfare may be considered to be secured and substantial justice done preserving a significant historic building which hits on a goal in the Master Plan.

One of the three criteria in the code must be met and it appears as if criterion three is the only one that applies to this variance request. This criterion reads, “There are practical difficulties or unnecessary hardships in the way of carrying out the strict letter of the Off-Street Parking Requirements.” The unbuilt area of this lot is quite minimal and could just barely fit two parking spaces if stacked. At 8.5” wide the spaces would just meet minimum size requirements. If the lot next door was built with a 0’ setback they would be much too small to be usable and on the north side of the building are like to be icy for many months of the year. In conversations with the applicant, staff also learned that they tried to create one parking space in the rear but there were issues abutting egress exit doors right up to a parking space.

In addition, to meet building code and preserve as much of the historic building as possible, a stair and elevator needs to be added to the building. As discussed above it is not desirable to do so inside the building as it would degrade some of the historic qualities. Therefore, this small amount of vacant land is truly needed for the stair and elevator, thus leaving the property with no space for parking. It is also important to note that this building already exists and is in use. The uses will change a bit but the impact on parking in the area won’t be nearly as much as it would be with a new building added to the area.

The Town code allows for a fee-in-lieu to be paid of \$3,000 for each space required beyond the first. Staff believes the criteria for a variance have been met to not provide the first three spaces on site and feels that asking for the fee-in-lieu to be paid for each space required beyond the first three spaces is appropriate.

The Town had a Downtown Parking Assessment completed by consultants in 2018, which demonstrated no lack of available parking downtown. This report took a careful look at existing parking in the historic core taking into consideration future development. The report determined that the supply was more than adequate at most all times except during special events, like the four summer concert events. This area of town is one of the busiest. The study concluded that the Town has more than enough parking in this downtown area today and will continue to have enough until about 2044 based on current growth

projections. See the page extracted from the Parking Assessment Recommendations and Conclusions in the application.

Of note are other recent variances issued to the parking regulations in the HB Zone with the Willow Creek Trading Subdivision, the Ridgway Fire Protection District building, the Silver San Juan PUD, and the Space to Create project. The Firehouse project was also granted a variance from providing the first three commercial spaces required but to pay the fee-in-lieu for all spaces. Overall, this project would enhance the vibrancy of downtown and staff is unsure that 3 parking spaces provided on-site would make a big difference in available parking. Other tactics suggested in the parking study could be helpful to employ here such as asking workers to park a block away when then come to work.

As required by the Ridgway Municipal Code, the burden is on the Applicant to show all of the criteria have been met. While the letter addressing the criteria may lack some detail, the Commission should discuss these points with the Applicant to learn more if they desire.

STAFF RECOMMENDATION

All variance requests need careful consideration against the criteria of the code. The subject property is right in the heart of the Town's historic business district, which is our most dense and vibrant district. While there are multiple requests for variances for this project, this is an exciting project that is in alignment with our new Master Plan and would preserve a valuable historic building.

Staff is making the following recommendations, note that separate motions will be needed from the Planning Commission:

1. Approve the variance for the rear setback back to be 0 feet as the criteria per the code have been met.
2. If the Applicant can better prove the criteria have been met as requested in this report, staff would recommend approval of the request for a variance to building height.
3. Approve the variance for parking to allow for zero parking spaces to be provided on site and require the Owner to pay the fee-in-lieu for all spaces required beyond the first three as the criteria for the variance have been met.



Posted notice from Clinton Street looking north.



TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | www.town.ridgway.co.us

Planning Commission Hearing Request

Official Use Only

Receipt # 2496

Date Received: 12-3-20

Initials: RY

General Information

Applicant Name Greg Young / Sundra Hines Application Date 12/4/20
Mailing Address 16408 6300 Rd. Montrose, CO 81401
Phone Number 805-895-6735 Email greg@skymountainpropertiesllc.com
Owner Name same
Phone Number same Email same
Address of Property for Hearing 521-525 Clinton Street
Zoning District Historic Business

Brief Description of Requested Action

Setback, Height, and Parking variance requested for rehabilitation of the building.

Action Requested and Required Fee Payable to the Town of Ridgway

<input type="checkbox"/> Temporary Use Permit per 7-3-13(C)	\$150.00	Subdivisions per 7-4 unless noted	
<input type="checkbox"/> Conditional Use per 7-3-14	\$250.00	<input type="checkbox"/> Sketch Plan	\$300.00 (+ \$10.00/lot or unit)
<input type="checkbox"/> Change in Nonconforming Use per 7-3-15	\$150.00	<input type="checkbox"/> Preliminary Plat	\$1,500.00 (+ \$25.00/lot or unit)
<input checked="" type="checkbox"/> Variances & Appeals per 7-3-16	\$250.00	<input type="checkbox"/> Preliminary Plat resubmittal	\$750.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Rezoning per 7-3-17	\$250.00	<input type="checkbox"/> Final Plat	\$600.00
<input type="checkbox"/> Other Reviews Pursuant to 7-3-18	\$250.00	<input type="checkbox"/> Minor Subdivision	\$450.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Variance to Floodplain Reg. per 6-2	\$150.00	<input type="checkbox"/> Lot Split	\$450.00
<input type="checkbox"/> Master Sign Plan Pursuant to 7-3-12	\$150.00	<input type="checkbox"/> Replat	\$150.00 (+ \$25.00/lot or unit)
<input type="checkbox"/> Deviations from Single Family Design Standards per 6-6	\$175.00	<input type="checkbox"/> Plat Amendment	\$250.00
<input type="checkbox"/> Other	\$ _____	<input type="checkbox"/> Planned Unit Dev. per 7-3-11	See Preliminary and Final Plat
		<input type="checkbox"/> Statutory Vested Rights per 7-5	\$1,500.00

Applicant and owner shall be jointly and severally responsible for legal, engineering, planning, administrative and miscellaneous fees, including recording costs, if incurred. (R.M.C. 7-3-20(B) and 7-4-12(B)). Water and sewer tap fees and development excise taxes are due at approval of final plats.



TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | www.town.ridgway.co.us

Attachments Required

For All Applications

- ☐ Evidence of ownership or written notarized consent of legal owner(s).
- ☒ Information proving compliance with applicable criteria (see the Ridgway Municipal Code for criteria), like a narrative, site plans, and/or architectural drawings drawn to scale on paper size of 8.5 x 11 or 11 x 17.

For Conditional Use Permits

- ☐ The site plan shall show the location of building(s), abutting streets, all dimensions, off-street parking requirements, and landscaping.
- ☐ Architectural drawings shall include elevations and details of building(s).

For Changes in Nonconforming Use

- ☐ Description of existing non-conformity.

For Variances

- ☒ The site plan shall show the details of the variance request and existing uses within 100 ft. of property.

For Rezoning

- ☐ Legal description, current zoning, and requested zoning of property.

For Subdivisions

- ☐ All requirements established by Municipal Code Section 7-4.
- ☐ Sketch plan submittals shall be submitted at least 21 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.
- ☐ Preliminary plat submittals shall be submitted at least 30 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.
- ☐ Final plat submittals shall be submitted at least 30 days prior to the Planning Commission hearing at which the applicant wishes to have the application considered.

Please note that incomplete applications will be rejected.


Applicant Signature

12/3/20

Date

Owner Signature

Date

521-525 Clinton Street – Bank Narrative
Planning Commission Hearing Request
Narrative

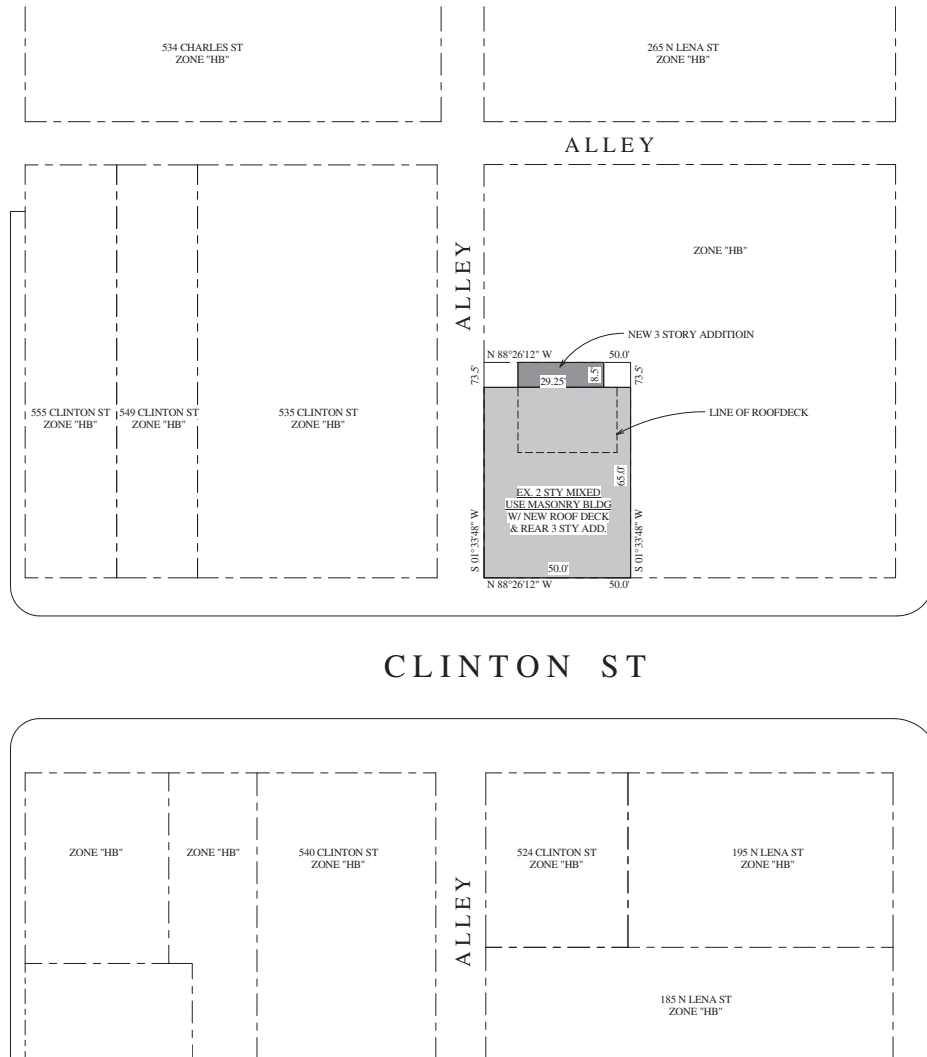
Greg Young and George Stern are purchasing the Historic Bank Building in the heart of Ridgway. Their intention is to restore and rehabilitate this beautiful building back to its original “glory”. The vision for the building is to keep the original character but change some of the uses to a more current/viable type. The first floor would be an artisan gallery space and a small restaurant that focuses on primarily organic foods. The second floor would contain six hotel rooms, which is in keeping with its current use. They imagine a roof wine bar to give the patrons a sweeping view of the Cimarron and Sneffles ranges. To allow for current code requirements and to update the building to today’s standards, we ask the Commission for variances of the rear setback, height requirement, and parking requirements.

We request a rear setback variance of 1’-0”. The existing building is built out to the front and side property lines. The rear of the building has 8’-6” from the buildings north face to the back/northern property line. To meet current ADA and egress code requirements, we need to construct an additional stair and elevator system. The only place to locate this addition is to the rear of the building. We understand that we need to accommodate roof drainage and feel that we can properly do this with the new addition in place.

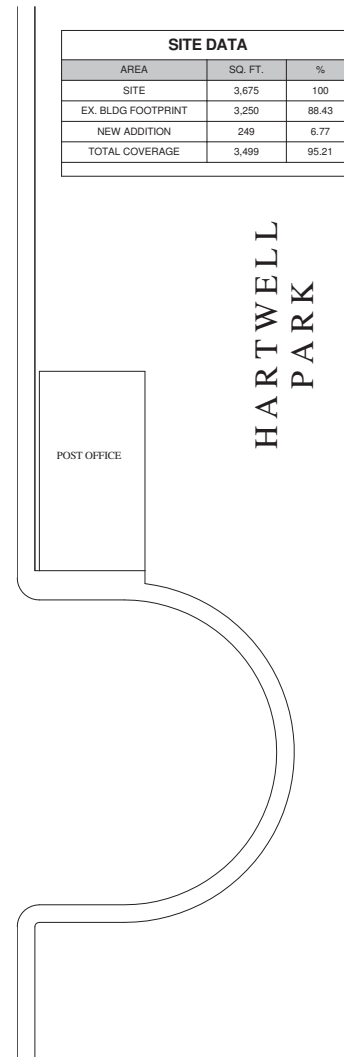
We request a variance to the height of the building. The existing building has a front parapet height of approximately 31’-0”. To preserve its historical character, we do not wish to add height to the existing building. The new rear egress addition will require a building roof height of 44’-0” at the elevator shaft area and 40’-0” at the stair system portion of the addition.

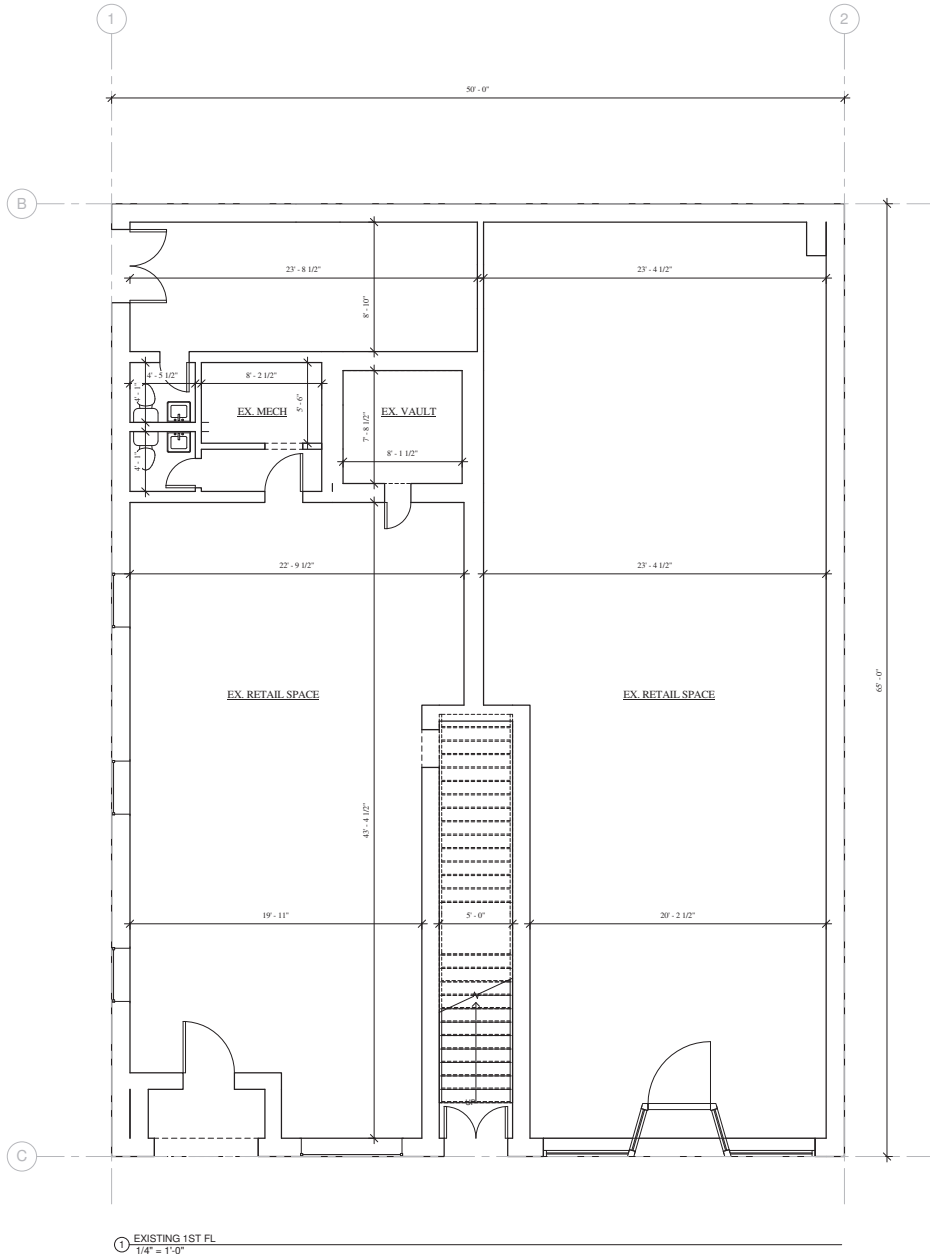
We request a parking variance for the five required parking spaces. The property size and location of the building within the property lines, do not allow for any off-street parking. This historical site was developed prior to Town parking regulations, so we feel that these requirements present undue hardships.

N CORA ST

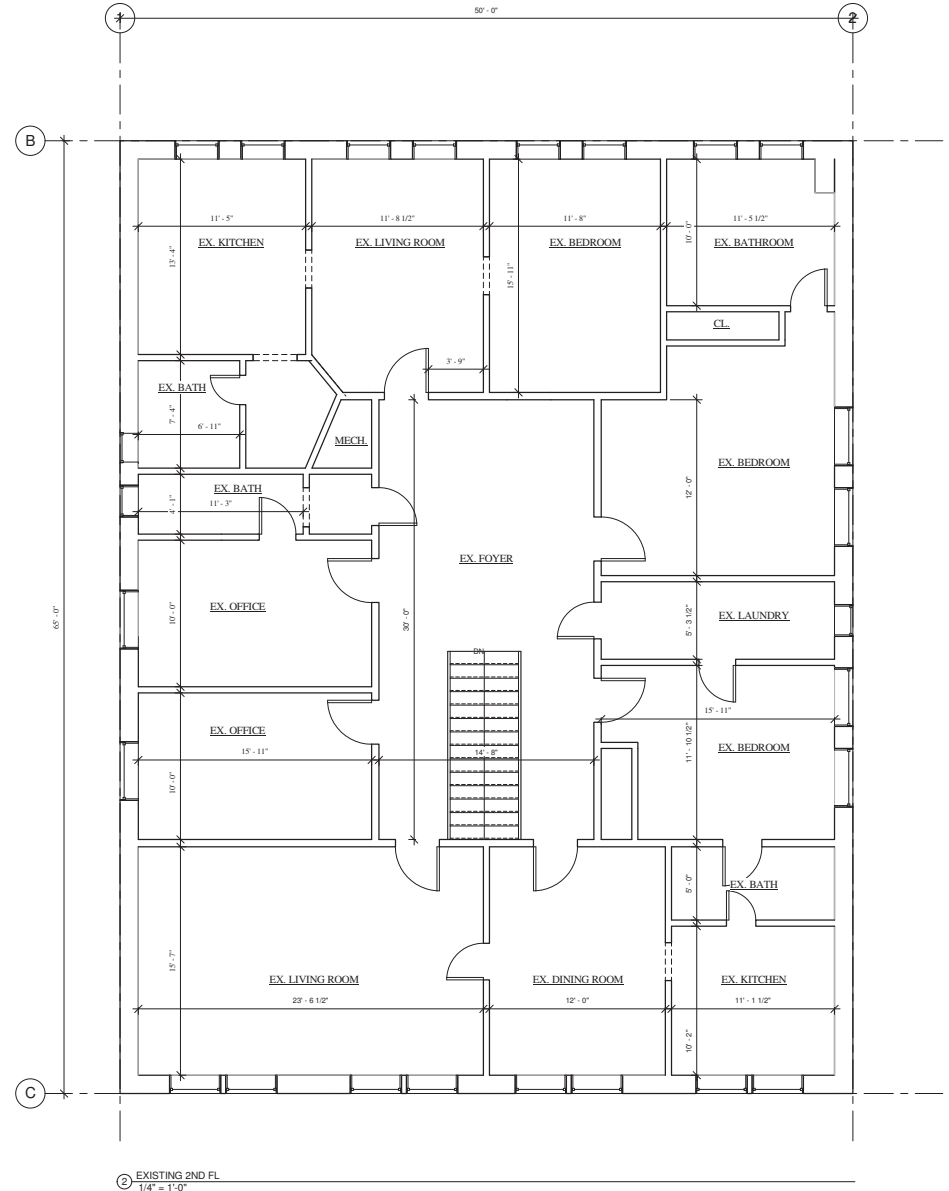


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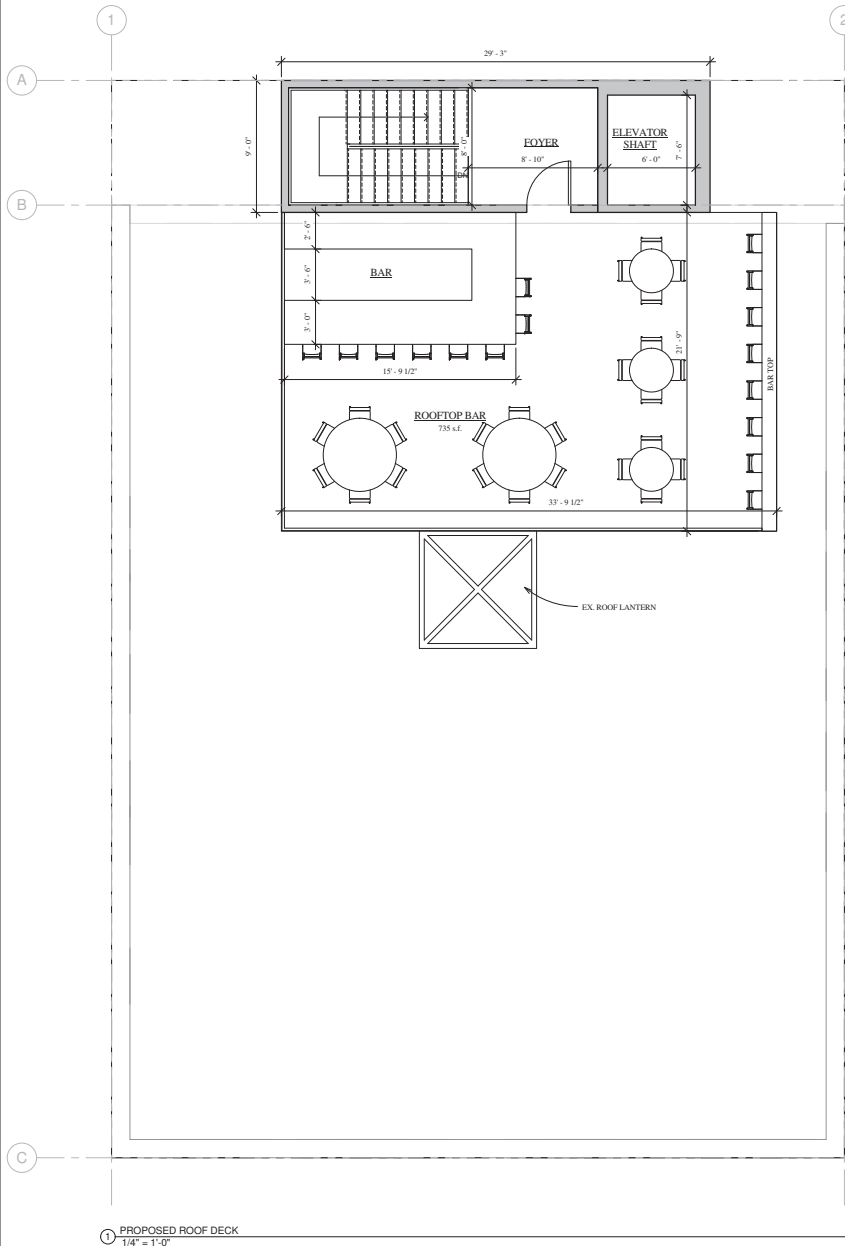




① EXISTING 1ST FL
1/4" = 1'-0"



② EXISTING 2ND FL
1/4" = 1'-0"



OCCUPANCY CALCS			
FIRST FLOOR			
RESTAURANT			
AREA / OCCUPANCY	SQ. FT.	OCCUPANT LOAD FACTOR	OCCUPANTS
RESTAURANT & LOUNGE (ASSEMBLY) / A-2	1,134	15 NET	76
COMMERCIAL KITCHEN / A-2	495	200 GROSS	3
TOTAL	1,629		79
FIRST FLOOR / RETAIL			
RETAIL SPACE / M	850	60 GROSS	14
SECOND FLOOR			
ROOM #1 / R-1	304	200 GROSS	2
ROOM #2 / R-1	367	200 GROSS	2
ROOM #3 / R-1	397	200 GROSS	2
ROOM #4 / R-1	457	200 GROSS	2
ROOM #5 / R-1	376	200 GROSS	2
ROOM #6 / R-1	250	200 GROSS	2
TOTAL	2,151		12
THIRD FLOOR			
ROOF DECK / BAR / A-2	735	15 NET	49
TOTAL			
OCCUPANCY A-2	2,694		128
OCCUPANCY M	850		14
OCCUPANCY R-1	2,151		12
BUILDING TOTAL	5,695		154
AS PER TABLE 1004.5 2018 IBC			

PLUMBING FIXTURE CALCS			
OCCUPANCY "A-2"			
FIXTURE	LOAD FACTOR	OCCUPANTS	REQ. FIXTURES
WATER CLOSET	MALE 1 / 75	64	1
	FEMALE 1 / 75	64	1
LAVATORIES	MALE 1 / 200	64	1
	FEMALE 1 / 200	64	1
DRINKING FOUNTAIN	1 / 500	150	1
SERVICE SINK	1 REQ. / 1 PROVIDED		
OCCUPANCY "M"			
WATER CLOSET	1 / 500	14	1
LAVATORIES	1 / 750	14	1
DRINKING FOUNTAIN	N/R LESS THAN 15 OCCUPANTS		
SEPERATE FACILITIES	N/R LESS THAN 100 OCCUPANTS		
OCCUPANCY "R-1"			
WATER CLOSET	1/ SLEEPING UNIT	6 DWELLING UNIT	6
LAVATORIES	1/ SLEEPING UNIT	6 DWELLING UNIT	6
SHOWER	1/ SLEEPING UNIT	6 DWELLING UNIT	6
KITCHEN SINK	1/ SLEEPING UNIT	6 DWELLING UNIT	6
AS PER TABLE 403.1 2018 IPC			

GROSS FLOOR AREA	
TOTAL	7,208
Name	Area
1ST FLOOR	3446 SF
2ND FLOOR	3499 SF
3RD FLOOR	263 SF

PARKING CALCS		
"HB" HISTORIC BUSINESS DISTRICT		
GROSS FLOOR AREA	LOAD FACTOR	REQUIRED SPACES
7,208 SQ. FT.	1 / 1650 SQ. FT.	5
AS PER 7-3-8.5 (4) (B)		

EGRESS REQUIREMENTS			
OCCUPANCY "A-2" AREA			
EGRESS COMPONENT	FACTOR	REQUIRED	PROVIDED
DOOR	.2 / OCCUPANT	36" (MIN)	60"
STAIR	.3 / OCCUPANT	44" (MIN)	48"
NUMBER OF EXITS		2	3
TRAVEL DISTANCE		200' MAX	TBD
OCCUPANCY "M" AREA			
DOOR	.2 / OCCUPANT	36" (MIN)	48"
STAIR		N/A 1ST STORY ONLY	
NUMBER OF EXITS		1	1
TRAVEL DISTANCE		75' MAX	TBD
OCCUPANCY "R-1" AREA			
DOOR	.2 / OCCUPANT	36" (MIN)	36"
STAIR	.3 / OCCUPANT	36" (MIN)	48"
NUMBER OF EXITS		2	2
TRAVEL DISTANCE		200' MAX	TBD
AS PER CHP 10 2018 IBC			

HINES DESIGNS, LLC

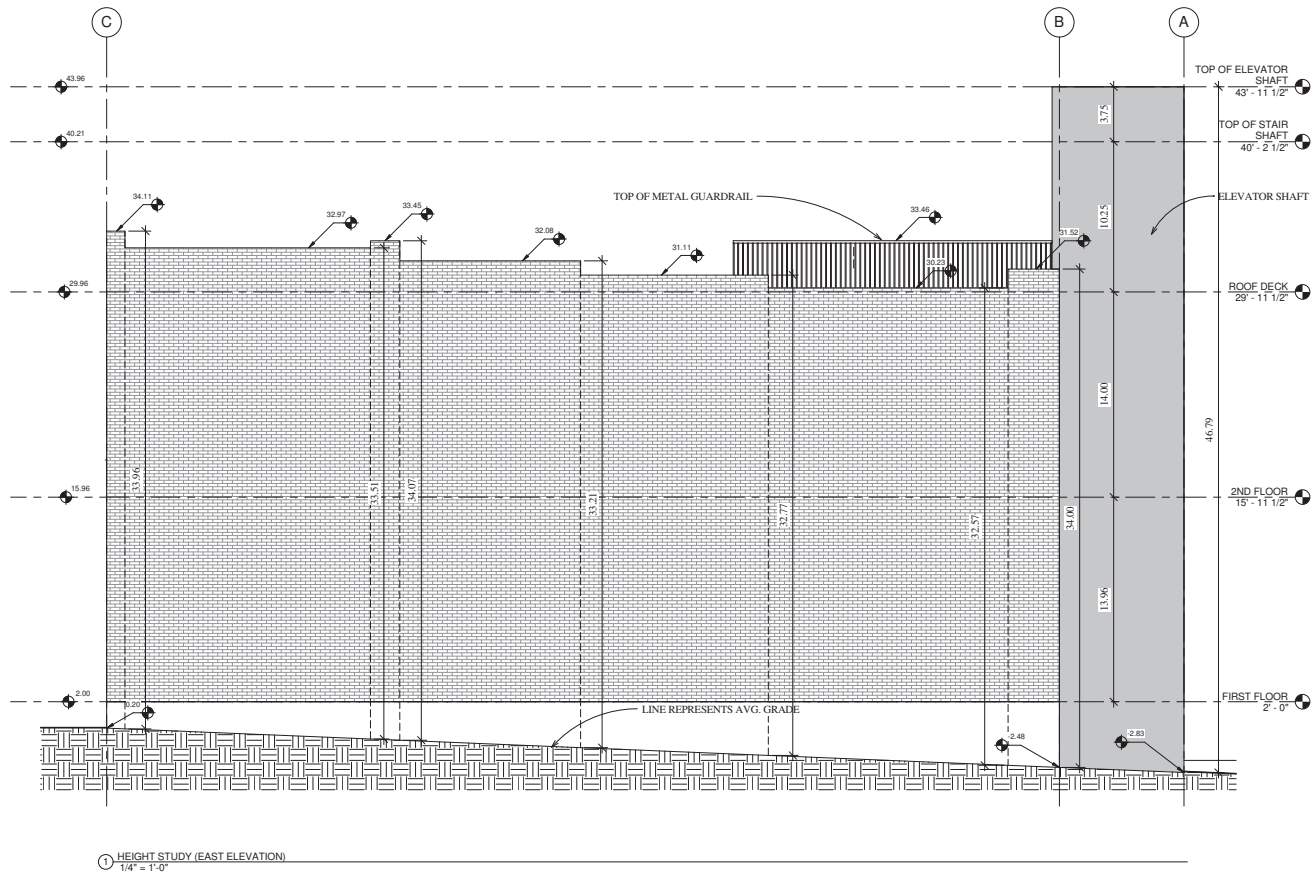
PHONE: 970.682.0001
105 N. WILSON STREET, FIDUCIARY, CO 81402

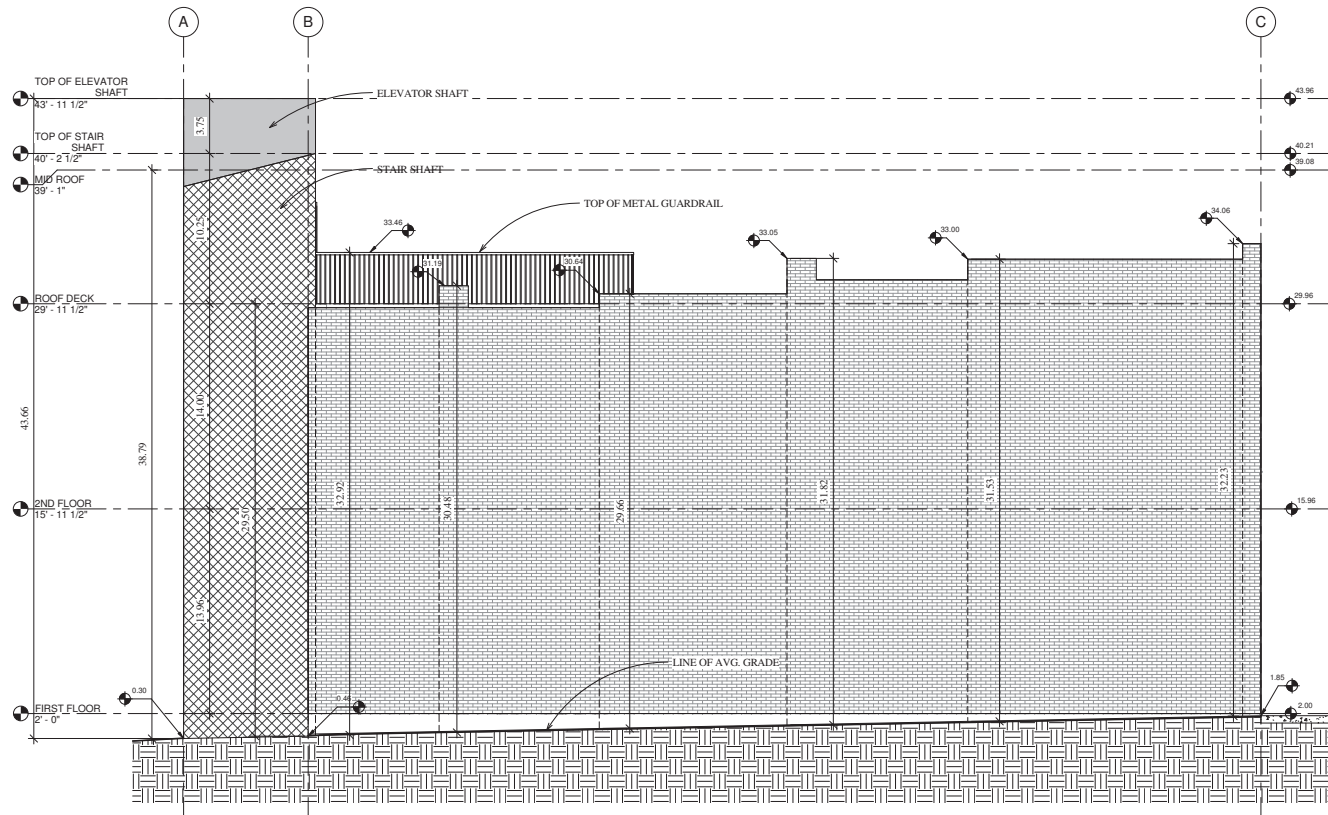
BANK BUILDING
521-525 CLINTON ST
RIDGWAY CO 81432

PROPOSED PLANS
12/14/20

PROPOSED ROOF DECK

A2.3





① HEIGHT STUDY (WEST ELEVATION)
1/4" = 1'-0"

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Ridgway Planning Commission will hold a **PUBLIC HEARING** **online via Zoom***, on Tuesday, December 22nd, 2020 at 5:30 p.m., to receive and consider all evidence and reports relative to the application described below:

Application for: Variance for Rear Building Setback, Building Height, Parking
Location: Block 33, South 15 feet of West 50' of Lot 18, West 50' of Lots 19 and 20
Address: 521, 523, 525 Clinton Street
Zoned: Historic Business (HB)
Applicant: Town of Ridgway
Property Owner: Banco Building LLC

ALL INTERESTED PARTIES are invited to attend said hearing and express opinions or submit written testimony for or against the proposal to the Town Clerk.

FURTHER INFORMATION on the above application may be obtained or viewed at Ridgway Town Hall, or by phoning 626-5308, Ext. 222.



DATED: December 11, 2020

Shay Coburn, Town Planner

*To join the meeting go to:

<https://us02web.zoom.us/j/84685108417?pwd=L1Z3QW9NdmlrQzVwNTZYY0NxU3Awdz09>

Meeting ID: 846 8510 8417

Passcode: 521291

To call in dial: 253.215.8782 or 669.900.6833 or 346.248.7799

From: [Sundra Hines](#)
To: [Greg Young](#); [Shay Coburn](#)
Subject: bBank Building Height Variance
Date: Tuesday, December 22, 2020 4:27:31 PM
Attachments: [2000 InGroundHydraulic TS 1E \(1\)-COMBO VIEW.pdf](#)

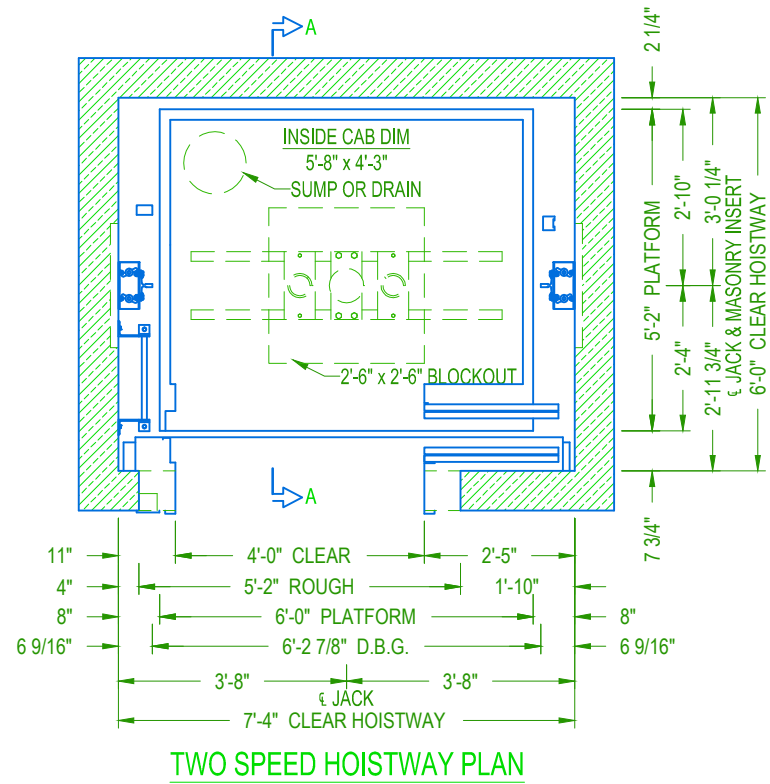
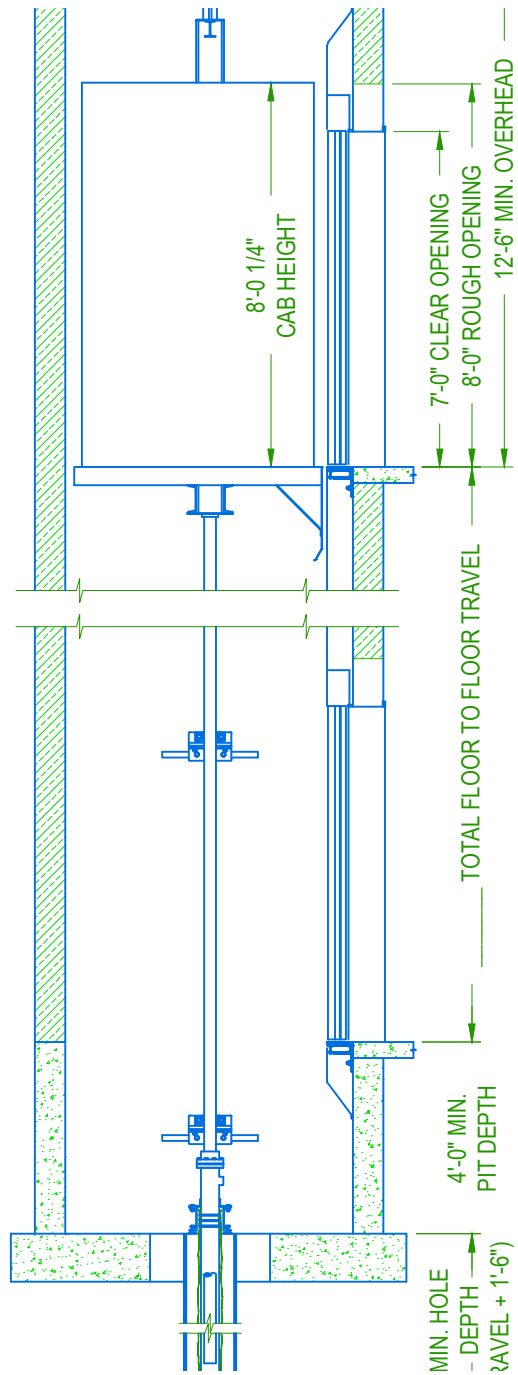
Hi Shay,

I'd like to explain a little more about the needs of the height variance at the Bank Building. The surveyor has provided us heights of the stepped parapets and the natural grade, which helps to determine the heights at the edge of the existing building, these are shown on the elevations provided. We have laid out the general shape and size of the floor plan of the rooftop bar and therefore can make assumptions about the overall height needed. That said, there are three factors in determining how much height will be needed at the final design stage : 1) construction of the new roof system, 2) layout of the new support beams and posts needed for the rooftop deck and 2) the height needed for the ADA elevator itself. 1) We will be reconstructing the existing roof to include updated insulation, shoring up the roof structure, adding sprinkling systems within the roof plenum and applying a new membrane. With new construction methods, we may be able to minimize the overall depth of roof construction. For now, we are just using the existing heights. We really won't know until we start doing some investigative "demo" work. 2) We would really like to keep and restore the existing roof lantern. Our investigation will include looking at it's support beams to determine how close we can get or if more support is needed for it. This may have an impact on the roof structure itself. 3) The first two items will help to determine the height of the deck surface, which will help us determine the height of the elevator shaft. I've attached a diagram of the elevator we are looking to use. This unit requires 12'-6" above the deck surface.

In short, there are too many unknowns to get specific on the actual final height needed. We are asking for the worst case scenario in height. We are not looking for a huge structure, just enough to get people who can't climb a few flights of stairs up there to enjoy the view. We believe this will be a unique experience and one that will keep the building viable for many years to come. We will do what we can to get the height as low as possible. We are just trying to get a sense from the Commision if they are open to the idea and if they are willing to work with us through the design process.

Hope this helps explain our needs.
Talk soon,
Sundra

Sundra Hines
Hines Designs
(970)626-2300
sundra@hines-designs.com





To: Planning Commission
From: Shay Coburn, Town Planner
Date: December 22, 2020
Re: Landscaping Regulations Update

BACKGROUND

This will be the second public meeting to discuss updating the Town's regulations regarding landscaping. The first discussion occurred at the Planning Commission meeting on October 27, 2020 (see attachment 1 for the full meeting packet). Here is a quick summary of the feedback received from the meeting:

- Keep regulations flexible: allow for people's own style, allow for site specific design, consider existing site conditions, have regulations that adapt to historic business area vs. dense residential vs. rural residential.
- Keep regulations simple: don't make them too complicated with things like soil regulations, water budgets, or hydrozones.
- Ensure that landscaping requirements restrict weeds and dust.
- Current regulation for 50% min. grass/turf in front and street side yards is too much; noted that regulations use the term "live vegetation" which does not have to be grass.
- Current regulation for 10% max. of cobble/gravel in front and street side yards should be increased or removed.
- Make list of appropriate trees/shrubs/plants easily available; limit/encourage species to those that are more water-wise and regionally appropriate.
- Make it easier to use less water or require less water use.
- Consider encouraging use of turf/imitation materials.
- Better align the two landscaping regulation sections (6-1-11 with 6-6) and the commercial design guidelines.
- Consider costs of any new regs, be sure they are not more expensive.
- Limit paved/gravel drive areas in front yard so people don't build more driveway to avoid having to install landscaping; we need permeable surfaces to help with stormwater drainage.
- Incentivize efficient irrigation systems.
- Consider if landscape plans could be submitted for review later in building process.

EXISTING REGULATIONS

RMC 6-1 Building Regulations 6-1-11 Landscaping

(A) All applications for a building permit for new construction or exterior work on any existing structure shall submit a Landscape Plan for the premises meeting the following requirements:

- (1) The Landscape Plan shall be drawn to scale of 1 inch = 40 feet, or larger, and may be included on the Site Plan.



- (2) The Building footprint, driveways and vehicle circulation shall be shown and located to scale.
 - (3) Surface drainage characteristics and proposed structures must be shown.
 - (4) Existing and all proposed groundcover, including shrubs and lawns shall be shown.
- (B) The plan must provide for the following minimum landscaping elements:
- (1) Groundcover must be adequate to ensure that dust cannot blow from the property and that the soil is stabilized to ensure that erosion is kept to a minimum.
 - (2) A minimum of one (1) tree per 2,000 square feet of gross lot area in all zones except Historic Business shall be provided. Trees shall have a minimum caliper of 1-1/2" for deciduous trees and five foot minimum height for evergreens. Trees should be located in such a way that they will not infringe on solar access and views of the adjoining properties or block vehicular sight lines to public roadways.
- (C) Landscaping Guidelines are as follows:
- (1) Existing trees and groundcover on the property are encouraged to be retained and not destroyed during the construction process. These plants will be counted towards the minimum standards.
 - (2) Xeriscape landscaping and drip irrigation are encouraged. Large irrigated areas are discouraged.
 - (3) Siberian elm and Chinese elm (*Ulmus*); Cottonwoods that bear cotton (*Populus*); Purple Loosestrife (*Lythrum slaicaria*); Russian Olive (*Elaeagnus angustifolia*) are prohibited.
 - (4) The Town Manager is authorized to prohibit additional species with similar nuisance properties.
- (D) The building permit shall not be issued until a conforming Landscape Plan is approved by the Town.
- (E) A permanent Certificate of Occupancy will not be issued until the Town determines that the landscaping contemplated by the approved plan has been properly installed. A temporary Certificate of Occupancy may be issued if completion is delayed by winter weather.
- (F) Following completion of the landscaping, the owner or occupant of the property shall maintain it in good condition thereafter. Failure to so maintain the landscaping is unlawful and is hereby declared to create a nuisance.
- (G) Intent: Landscaping is an important element of the experience of the Town of Ridgway that is both functional and aesthetic. Priorities for Landscaping include: low-water use, regionally appropriate design for materials and vegetation. These landscaping regulations will endeavor to provide for an attractive, well-maintained landscape that preserves the overall quality and appeal of the community; provides visual buffers and screens; achieves pedestrian and vehicular separation; preserves and enhances the existing visual character of the community; mitigates adverse effects of drainage and weeds, and conserves water resources. A list of recommended species for use in Colorado is available from the Ouray County Weed Manager and the Colorado State University Extension Service. The lists are not all inclusive but do recommend a variety of plants known to do well in our region of Colorado. In general, plants that are not recognized as hardy or suited to the local climate should be kept to a minimum. Xeriscaping and drought-tolerant and water-saving plants are to be used whenever possible and appropriate. Within the General Commercial District landscaping is important to the drainage, circulation and aesthetic of commercial developments. With larger sites and several buildings, there is



the opportunity to create cohesive, appealing and efficient landscape plans that elevate the site as a whole. Landscaping should be used to promote the visual aesthetic of the development from main travel corridors, as well as the pedestrian experience within, through shade trees, plantings, context-appropriate public art and seating. Buffers and medians facilitate drainage during storm events and also provide valuable areas for snow storage during the winter. Landscaping that is visually appealing, functional, and sustainable is desirable for all new development within the General Commercial District.

RMC 6-6 Residential Design Standards

6-6-4 Development Standards

(G) Landscaping¹: In addition to the requirements of Subsection 6-1-11, the site shall be landscaped to meet the following minimum standards:

- (1) Trees: A minimum of one tree per 2000 square feet of gross lot area shall be provided in all zones except Historic Business. Trees shall have a minimum caliper of 1 ½ inch for deciduous trees and a five-foot minimum height for evergreens.
- (2) In residential zoning districts, trees and shrubs may be placed in any landscape configuration and arranged to compliment the structure. However, of the required trees, a minimum of one tree shall be located in the front yard for each 25 foot of street and on corner lots, one tree shall be located in the street side yard for each 50 foot of street side yard frontage. Landscape elements shall not be located where, at mature size, they will block vehicular sight lines at corners or to public roadways. Where possible, trees should be located in such a way, or be a type, that they will not infringe on solar access and view of the adjoining properties.
- (3) Shrubs: The front and street side yard shall include a minimum of one shrub (5-gallon size) per 10 feet of front and side street frontage.
- (4) In the case of fractional requirements for the number of trees and shrubs, the number required shall be rounded to the nearest whole number.
- (5) Groundcover: Groundcover must be adequate to ensure that dust cannot blow from the property and that the soil is stabilized to ensure that erosion is kept to a minimum. A minimum of 50% of the front and street side yard shall be covered with live vegetation. The remaining area can be vegetative materials, organic or inorganic mulch, flowerbeds, or other acceptable landscape material. River rock, stone or cobbles, if used, shall not exceed 10% of the front or street side yard area. (Driveway area of minimum length and width to provide access and parking shall not be included in the 10% calculation of stone or rock covered area).

Commercial Design Guidelines

II. General Commercial District

b. Site Planning and Parking

8. Trees should be incorporated to provide parking lot shading.

¹ This cross reference is based on Ordinance 03-2020 that has not yet been codified.



9. Use of landscape/grassed catchment areas and similar designs should be used for managing, controlling and filtering parking lot/site drainage and is part of an overall site drainage plan.

e. Screening and Buffers

Screening and landscape buffers soften the negative impacts of development and can provide a certain element of safety in commercial areas where significant pedestrian interactions are more likely to occur.

Buffers should be constructed to mitigate the view, light pollution (including light trespass and glare), noise, heat, and odor impacts of vehicles, pavement, and higher intensity uses, and other potential negative effects of development.

Buffering may be achieved through a variety of means including but not limited to plantings, fences, walls, site planning, and berming with live vegetation.

Parking areas, outside trash receptacles, large utility boxes, open storage areas, conflicting land uses, mechanical systems and other unattractive views should be screened from the street and public right of way.

Screening of utility boxes, trash enclosures, and similar uses should be around all sides except for those required for access, which will be screened with a gate on the access side.

III. Historic Business District (Historic Town Core)

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DISCUSSION

Below are the major topics that came up during the first meeting. Each topic includes proposed regulations, considerations as well as questions for discussion (in *italics*).

1. Plant Species

- A. Proposal, applicable to all development:
 - i. Create list of drought tolerant/xeric/native species for trees, shrubs and ground cover. Many resources exist that could inform a list for the Town. The Town already has a Tree Brochure, see attachment 2.
 - ii. Retain existing list of prohibited species, consider adding to this list (like those species that take a lot of water).
 - iii. More clearly disallow all noxious weeds as identified by Ouray County:
<https://ouraycountyco.gov/155/Weed-Control>
- B. Questions:
 - i. *Encourage, require a certain percent, or require all species to be on the drought tolerant/xeric/native species lists?*
 - ii. *Allow exception for fruit/veggie garden?*
 - iii. *Allow percent or area for flower gardens?*
 - iv. *Prohibit or limit high water use species?*
 - v. *Other considerations for plant species?*

2. Trees and Shrubs, location and number required

- A. Proposal, applicable to all development:
 - i. Remove requirement for front and street side yard placement for trees and shrubs. Encourage the right plants to go in the right place – water lovers where they will get water, sun lovers where they will get sun, spaced properly for root growth, where they will be most useful on the property, grouped according to water needs, outside of sight triangles, not to interfere with solar access for a neighbor, etc.
 - ii. Maintain minimum sizes of 1.5" caliper for deciduous, 5' tall for evergreen, and 5-gallon for shrubs.
 - iii. Require 1 tree OR 4 shrubs per 2000 square feet of lot area for all but HB District (which has no minimum). Larger lots will require more trees and shrubs. No extra requirements for corner lots. Rounding per current regulations would remain the same, "In the case of fractional requirements for the number of trees and shrubs, the number required shall be rounded to the nearest whole number."
 - iv. For lots with native vegetation (to be defined), set requirement for minimum number of trees and shrubs based on disturbed area (to be defined). This would be most applicable to lots in subdivisions like Vista Terrace and RiverSage. This encourages less disturbance of native vegetation and will likely result in a more reasonable number of trees and shrubs for larger more natural properties.



- v. For non-residential uses, transition some of the Commercial Design Guidelines into requirements of the code:
 - a. Require trees throughout parking areas.
 - b. Require landscaped and/or planted buffers to be utilized to mitigate the view of development, noise, heat, odor, pavement, parking areas, large utility boxes, storage areas, other unattractive views, higher intensity uses, and other potential negative effects of development from surrounding development and rights-of-way. However, placement should also consider underground utilities and potential maintenance needs.

B. Questions:

- i. *Current regulations encourage maintaining established trees and shrubs. Is there any appetite for requiring this? Or perhaps incentivize by counting existing trees and shrubs of a certain size for more than one new plant?*
- ii. *Is 1 tree or 4 shrubs per 2000 square feet of lot area the right balance?*
- iii. *Set min. of 1 tree and 4 shrubs for all lots? Then add 1 tree or 4 shrubs past the first 2000 sf of lot area?*
- iv. *Are there other items in the Commercial Design Guidelines that should be incorporated?*
- v. *Other considerations for the location and number of trees and shrubs?*

3. Ground Cover, location and amount required

A. Background

- i. Artificial turf, inorganic mulches, and plastic weed barriers are not good for soil quality and water quality.

B. Proposal:

- i. Hard surfaces, paved areas and other artificial surfaces should be kept to a minimum and only used for patios, walkway, driveways, parking areas and other areas of high use. The Town's new stormwater regulations encourage less hard surfacing since the more that is added, more mitigation is required. By requiring a certain amount of the non-built area of a lot to be landscaped (see below), the amount of hard surface is inherently limited.
- ii. Keep regulation that states "groundcover must be adequate to ensure that dust cannot blow from the property and that the soil is stabilized to ensure that erosion is kept to a minimum." Add additional detail:
 - 1. No more than 1,500 sf or 20% of non-built area can be high water use turf like Kentucky Bluegrass. Turf should only be used in areas that will be of high use.
 - 2. Minimum landscape area. Landscaped areas could include native or no-mow grass, other grasses, wildflowers, planting beds, and mulched (i.e., wood chips and cobbles) areas. "Landscaped" does not include parking/driving areas, concrete walkways, patios and the like. Each tree shall count for 120 sf and each bush shall count for 20 sf toward the landscaped area requirement. The limit on the amount of river rock or cobbles would be removed.
 - a. Residential uses: A minimum of 70% of all non-built area on a parcel shall be required to be landscaped per the description above.
 - b. Non-residential uses: A minimum of 20% of the non-built and parking areas on a parcel shall be landscaped per the description above.



3. Organic mulch (i.e., wood chips, hay) is encouraged as it helps maintain moisture and temperatures, control weeds and dust, and improve soil quality.
- iii. Questions:
 1. *Is the area allowed for high-water use turf too much or too little?*
 2. *Anything else that should be included in the definition of “landscaped”?*
 3. *Is area required to be landscaped for residential uses and non-residential uses too much or too little?*
 4. *Do you want to require a certain amount of live vegetation (maybe including organic mulch like bark, pine needles, chipped wood) to be used in the minimum landscape area? Or will the minimum tree/shrub requirement be enough?*
 5. *Other considerations for ground cover?*

4. Water Conservation

- A. Background:
 - i. The Town has a Water Conservation and Management Plan that was last updated September 2018 (see attachment 3). This plan contains stages with trigger conditions, goals and actions to conserve and manage Ridgway’s water.
 - ii. Per RMC 9-1-28 Water Wasting is always discouraged and prohibited during certain stages of the Water Conservation and Management Plan. See code language in attachment 4 for more information.
- B. Proposal and Questions:
 - i. Use of grey water is encouraged where allowed by the state. It is the property owner’s responsibility to research and verify up-to-date state regulations.
 - ii. *Encourage or require efficient irrigations systems?* This could include drip systems, rain sensors, moisture sensors, efficient emitters, watering deeply and infrequently, and more. *Want to require for landscaped areas of a certain size, like larger areas or maybe just for those areas that are to be shared by residents?*
 - iii. *Encourage or require soil amendments?* The right soil helps control moisture.
 - iv. *Encourage or require rain gardens?* Per EPA, “A rain garden is a depressed area in the landscape that collects rain water from a roof, driveway or street and allows it to soak into the ground. Planted with grasses and flowering perennials, rain gardens can be a cost effective and beautiful way to reduce runoff from your property. Rain gardens can also help filter out pollutants in runoff and provide food and shelter for butterflies, song birds and other wildlife.” These are great for dealing with parking areas runoff as they help filter the water before entering back into the system. The Town’s Stormwater Master Plan and the Commercial Design Guidelines already encourage the use of rain gardens. *What about requiring a rain garden for increases of imperviousness over 0.05 acres?* This would align with and reinforce the stormwater regulations.
 - v. *Encourage or require rain water retention?* This can be used for irrigation per CRS, see here: <https://www.cityofaspen.com/DocumentCenter/View/142/Division-of-Water-Resources-Rainwater-Collection-Information-Table-PDF>.



5. Miscellaneous

- A. *Should the Town require the use of a certified landscape architect in certain situations? Maybe for residences larger than 5000 sf, lots of a certain size, subdivisions, multi-family, and/or commercial development? This would ensure thoughtful and professional design for these larger areas likely resulting in better landscaping plans.*
- B. *When should landscape plans be due and reviewed? Considerations:*
 - i. *Will changing the timing be helpful to our goals for this update: promoting water conservation, aligning the two landscaping sections, costs of landscaping, etc.?*
 - ii. *Would someone potentially build differently based on their landscaping (i.e., disturb less area, change site grading, etc.)?*
 - iii. *If not required at building permit, when could plans be required? At frame inspection?*
 - iv. *Will the benefits of accepting and reviewing landscape plans later in the building process outweigh the need for additional staff time?*
- C. *Should the code allow for administrative approvals of landscaping plans that deviate within a certain amount?*
- D. *Would a Town promotion of sorts about [Xeriscaping: How to Retrofit Your Yard](#) be helpful in achieving the Town's goals toward landscaping updates? The promotion efforts could help encourage existing landscaping throughout town to be converted into xeriscape.*

ATTACHMENTS

- 1. Meeting packet provided for October 27, 2020 with Planning Commission
- 2. Town of Ridgway Tree Brochure
- 3. Water Conservation and Management Plan, Resolution 18-08
- 4. RMC 9-1-28 Water Wasting



To: Planning Commission
From: Shay Coburn, Town Planner; Steve Zwick, volunteer; Lindsey Romaniello, 2019 Intern
Date: October 27, 2020
Re: Landscaping Regulations Update

BACKGROUND

This is the first public meeting to discuss updating the Town's regulations regarding landscaping. This is being introduced due various requests from the public as well from Town Council and the Planning Commission. The desire to update the landscaping regulations is also addressed in the following:

- 2019 Master Plan: Action item ENV-3c - Update the Town's landscaping regulations to require low water usage landscaping or xeriscaping.
- 2020 Strategic Plan: Healthy Natural Environment, #14 - Update Land Use code to encourage water conservation and management in line with the Town's Water Conservation and Management efforts.

EXISTING REGULATIONS

RMC 6-1 Building Regulations

6-1-11 Landscaping

(A) All applications for a building permit for new construction or exterior work on any existing structure shall submit a Landscape Plan for the premises meeting the following requirements:

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(G) Intent: Landscaping is an important element of the experience of the Town of Ridgway that is both functional and aesthetic. Priorities for Landscaping include: low-water use, regionally appropriate design for materials and vegetation. These landscaping regulations will endeavor to provide for an attractive, well-maintained landscape that preserves the overall quality and appeal of the community; provides visual buffers and screens; achieves pedestrian and vehicular separation; preserves and enhances the existing visual character of the community; mitigates adverse effects of drainage and weeds, and conserves water resources. A list of recommended species for use in Colorado is available from the Ouray County Weed Manager and the Colorado State University Extension Service. The lists are not all inclusive but do recommend a variety of plants known to do well in our region of Colorado. In general, plants that are not recognized as hardy or suited to the local climate should be kept to a minimum. Xeriscaping and drought-tolerant and water-saving plants are to be used whenever possible and appropriate. Within the General Commercial District landscaping is important to the drainage, circulation and aesthetic of commercial developments. With larger sites and several buildings, there is the opportunity to create cohesive, appealing and efficient landscape plans that elevate the site as a whole. Landscaping should be used to promote the visual aesthetic of the development from main travel corridors, as well as the pedestrian experience within, through shade trees, plantings, context-appropriate public art and seating. Buffers and medians facilitate drainage during storm events and also provide valuable areas for snow storage during the winter. Landscaping that is visually appealing, functional, and sustainable is desirable for all new development within the General Commercial District.

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6-6-4 Development Standards

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Commercial Design Guidelines

II. General Commercial District

b. Site Planning and Parking

8. Trees should be incorporated to provide parking lot shading.

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e. Screening and Buffers

Screening and landscape buffers soften the negative impacts of development and can provide a certain element of safety in commercial areas where significant pedestrian interactions are more likely to occur.

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Buffering may be achieved through a variety of means including but not limited to plantings, fences, walls, site planning, and berming with live vegetation.

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III. Historic Business District (Historic Town Core)

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DISCUSSION

The following questions are for discussion during the meeting. The responses (numbered items) under each question are simply included in this memo to help encourage conversation.

What are the goals and purpose for updating the landscaping regulations?

1. Promote water conservation
2. Better align the two landscaping regulation sections (6-1-11 with 6-6) and the commercial design guidelines
3. Ensure costs related to landscaping are not a barrier to workforce housing
4. Maintain community character
5. What else?

What do you NOT like about the existing landscaping regulations?

1. Many times, the required landscaping is installed to get a final certificate of occupancy and then it is neglected or left to die
2. What else?

What do you like about the existing landscaping regulations?

1. The regulations are fairly simple and do not require a professional to create the landscape plan
2. What else?



What ideas do you have in regards to updating our landscaping regulations?

1. Create a list of allowed (regionally appropriate and water wise) and prohibited plants (those that require a lot of water)
2. Limit amount of turf grass allowed
3. What else?

ATTACHMENT

1. Example Landscaping Regulations from other Colorado Cities and Towns (note this information was compiled in 2019 and may be a bit out of date)

Attachment 1

Attachment 1: Example Landscape Regulations from other Colorado Cities and Towns

Community	Species Requirements	Ground Cover	Landscape Arrangement	Xeriscaping Requirements	Landscape and Water Use Plan Document	Irrigation Systems	Hydrozone Requirements	Water Budget	Low, moderate and extreme in water restriction	Soil
Aspen	Any plants can be used (unless they are considered noxious) and fit the water restriction requirements. Have a species list of recommended plants	Mulch is required for specific species to retain water efficiency	none	none	Has water efficient landscaping document that correlates to county and regional water efficiency plans	Very thorough, requires efficient systems, and encourages no irrigation when using native species in hydrozones	All hydrozones must be identified and shown how much water they will use. all hydrozones shall be planted with similar water use species	Requires a water budget of 12 inches per silt per season. If you incorporate special features, you get water incentive tap breaks	Extreme criteria which extensively addresses many water efficiency elements	Thorough. Addresses types of soil that can be used/added, soil depth for plants, requires soil analysis, stock piling indigenous soil, no herbicides or toxins
Carbondale	none	Any part of site not used for improvements to be landscaped. Control dust and erosion by use of vegetative cover or other means. 40% minimum landscaped area required for multifamily uses in res. districts.		Not specified, low water drought tolerant adaptive plans shall be used suitable for soil and climate	Landscape plan required and shall detail the site showing all natural and man-made features.					none
Castle Rock	Must use approved list. Promotes natural and indigenous. Also requires ample shading in paved areas.	All unpaved site needs to be landscaped.	requires diversity of plants in landscape design.	Highly encourages xeriscaping and the use of mulch and alternative, non-living materials	Has a Landscaping and irrigation regulations document	Need to be efficient and work at 75% efficiency.	Need to have designated hydrozones	No plant may require more than 15 inches of water per season	Extreme criteria which extensively addresses many water efficiency elements	Pretty thorough. Requires soil analysis, stock piling indigenous soil, and non toxic soil amendments
Crested Butte	Requires indigenous plants and has a plant species recommendation list. Commitment to preserve all existing trees and shrubs.	All exposed ground surfaces shall be revegetated.		none	none	none	none	none	Low. However, very concerned with trees	Only mentions soil, when talking about tree removal and tree protection.
Durango	Have an approved list. Very protective of trees and limits removal.	All exposed ground surfaces should be revegetated.	Plans need to be arranged and distributed according to proportioned aesthetic design listed in the plan.	Mulch encouraged	none	Vague- efficient irrigation system recommended	Plants need to be grouped into appropriate hydrozones	Low-water planting only required on steep sloped (>25% grade), no more than 50 of trees/shrubs can be considered high-water use	Moderate. Includes many of the wise water criteria but has vague or loose requirements	Vague- soil needs to be amended when necessary
Eagle	Recommended plant list for trees			not specified	Landscape plan required except for certain commercial projects in Central Business District	Underground sprinkler system required for all landscaped areas in non-residential zone districts				No artificial trees, shrubs, turf or plants may be used as landscape material
Fort Collins	All new developments need to provide a certain amount of tree canopy cover. Limit turf grass.	All unpaved site needs to be landscaped.	mulching required in hydrozones	Highly encourages xeriscaping and the use of mulch and alternative, non-living materials	none	Vague- efficient irrigation system required but no definition of efficient	Group landscaping into hydrozones	Requires a water budget - to be divided into hydrozones, and encourages low to very low hydrozones (0-3 gallons per sqft per season)	Moderate. Includes many of the wise water criteria but is somewhat vague on all of these things	Soil amendment required before construction

Attachment 1

Attachment 1: Example Landscape Regulations from other Colorado Cities and Towns

Community	Species Requirements	Ground Cover	Landscape Arrangement	Xeriscaping Requirements	Landscape and Water Use Plan Document	Irrigation Systems	Hydrozone Requirements	Water Budget	Low, moderate and extreme in water restriction	Soil
Grand Junction	Recommended to use native, low water use plants	Addresses trees and shrub size, but not specific on ground cover requirements	none	Recommended use of water wise xeriscaping	none	All landscaping must have permanent irrigation (even native grasses)	none	none	Low. Provides some guidelines but only in the form of recommendation. Does not mention water wise irrigation practices.	Vague - amended and planted with good horticultural practices
Montrose	none	At least 25% of linear footage of the site abutting public street r.o.w. unless alternative approved by city	Inclusive of street frontage requirement, landscaping is required for at least 15% of that part of the site not covered by buildings for sites in res. districts, at least 8% coverage in comm. districts, and 4% coverage in industrial districts	none	Landscape plan required and shall detail the site showing all natural and man-made features. Proposed landscaping to be shown on site development plan or separate landscape plan.	none	none	none	none	none
Ouray	Existing and proposed landscaping features to be identified as to location, common name, botanical name, and size.	Groundcover must be adequate to ensure that dust cannot blow from the property and the soil is stabilized to ensure erosion is kept to a minimum. Vegetative ground covers should be ID as to name and location	Requires diversity of plants in landscape design.	Xeriscape landscaping and drip irrigation encouraged	Landscape plan required and shall detail the site showing all natural and man-made features. Proposed landscaping to be shown on site development plan or separate landscape plan.	Xeriscape landscaping and drip irrigation are encouraged	none	none	none	none
Telluride	Vague- all landscaping must conserve water and be efficient	none	All Landscaping must be alive unless approved specifically. All landscaping needs to be approved by the Historic and Architectural Review Commission (H.A.R.C)	none	none	none	none	none	Low- Telluride does not list many criteria in their code, however there are design standards by the H.A.R.C to maintain the historic feel, which uses many native grasses in its landscaping.	none



Plant it Right!

In addition to picking the right species, it is vital to know when and how to plant it. A [New Tree Planting Guide](#) is available from [TreesAreGood.org](#); or scan the QR code for more information.



Also, consider the microclimate where you'd like to plant. You'll want to **avoid**:

- » Wind tunnels
- » Locations too close to structures or utility lines (consider the expected size of the tree at maturity)
- » Locations without a reliable water source
- » Sites where you cannot protect the tree from animal browsing or rubbing



After You Plant

- » Keep the soil moist, but not waterlogged. Continue until mid-fall, tapering off to an occasional watering in the winter if conditions are dry.
- » If you staked your tree, you **must** remove all tree straps after the 1st year of growth to prevent strangling the tree.
- » As the tree grows, ensure that any protective wire caging expands with it. The cage should be at least 6" away from branch tips to prevent damage from bruising or animal browsing.
- » Ridgway deer will eat ANY tree—you must provide protection.



Need a Reason to Plant a Tree?

- » Trees cool your home in the summer and block wind in the winter, thus saving energy.
- » Trees strengthen the quality of place.
- » Trees boost the local economy and property values.
- » Trees create walkable communities.
- » Trees improve air quality.



For More Information

Montrose District,
Colorado State
Forest Service
102 Par Place Suite 1
Montrose, CO 81401
(970) 249-9051
csfs.colostate.edu



Planting Trees in Ridgway

Species Recommendations

The best time to plant a tree
is 20 years ago.

The second best time is now.



Attachment 2



Hawthorn
(*Crataegus* spp.)



Ornamental plums
(*Prunus* spp.)



Sensation boxelder
(*Acer negundo*)



Aspen
(*Populus tremuloides*)



Colorado blue spruce
(*Picea pungens*)



Rocky Mountain juniper
(*Juniperus scopulorum* Sarg.)



Ruby slippers
(*Acer ginnala*)



Spring snow crabapple
(*Malus* spp.)



Norway maple
(*Acer platanoides*)



Peachleaf willow
(*Salix amygdaloides*)



Austrian pine
(*Pinus nigra*)



Iseli fastigiate spruce
(*Picea* spp.)



Sucker punch (*Prunus virginiana* "Sucker Punch")



Boulevard linden
(*Tilia americana*)



Narrowleaf cottonwood
(*Populus angustifolia*)



Lanceleaf cottonwood
(*Populus x acuminata*)

All cottonwoods must be cottonless varieties.



Scotch pine
(*Pinus sylvestris*)



Southwestern white pine
(*Pinus strobiformis*)

CONIFERS

MEDIUM to LARGE

SMALL to MEDIUM

If planting several trees, consider diversifying your species. Not only will your yard look more interesting, but you'll also be creating resiliency to insects and disease.

Other species to try: Ponderosa pine (*Pinus ponderosa*); Amur chokecherry (*Prunus maackii*); Hackberry (*Celtis occidentalis*); Tatarian maple (*Acer tataricum*); Kentucky coffee tree, male (*Gymnocladus dioica*); and Corinthian linden (*Tilia cordata*).

Photos: Hawthorn (© Paul Wray, Bugwood.org); Ornamental plum (© Scott Bauer, Bugwood.org); Ruby Slippers (© John Ruter, Bugwood.org); Spring snow crabapple (© Dow Gardens); Sucker punch (© Mary Ellen Harte); Aspen (© Leonid Ikan); Norway maple (© Jan Samanek); Rocky Mountain juniper (© David Powell)

Attachment 3

Resolution No. 18-08

Resolution of the Town Council of Ridgway, Colorado Amending the Town of Ridgway Water Conservation and Management Plan

WHEREAS, the water supply for the Town of Ridgway is a precious, valuable and critical resource for the Ridgway community; and

WHEREAS, the Town of Ridgway, State of Colorado and the United States have seen periods of drought that significantly impact the local water supply, threatening the health, safety and welfare of our communities; and

WHEREAS, the Town Council desires to be proactive in communicating with the Ridgway community and water users of town-supplied water regarding the water conservation efforts that will be employed and the timing of such water restrictions; and

WHEREAS, the Town Council desires to conserve water in times of need to insure effective and safe delivery of water to the Ridgway community during all times, including in times of restricted or limited water supply and drought; and

WHEREAS, the Town Council adopted Resolution 2018-06 on April 11, 2018 establishing six stages of limited water supply and various, graduated mechanisms for curbing water demand during times of drought or water plant limitations; and

WHEREAS, persistent drought in 2018 realized the first time in the history of the Town that mandatory water restrictions were put into place and there is now a need to update and modify the Water Conservation and Management Plan.

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF RIDGWAY, COLORADO the Ridgway Water Conservation and Management Plan as defined herein is ratified.

Attachment 3

Water Conservation and Management Plan

Stage	Trigger Condition	Goals	Actions
Stage I	Voluntary Restrictions: Statewide Drought Status (Begin May 1)	Good management of limited water supply; Public education.	<ul style="list-style-type: none"> • Does not apply to drip systems and use of hand-watering containers. • No irrigating between the hours of 10:00 am - 7:00 pm, or when windy, in order to minimize evaporation, and anytime on Mondays. • Properties located on the SOUTH side of Hwy 62 & Hunter Parkway – irrigate only on Tuesdays, Thursdays and Saturdays. • Properties located on the NORTH side of Hwy 62 & Hunter Parkway – irrigate only on Wednesdays, Fridays and Sundays. • Outreach on water use and fixing leaks, limited gardening, etc.
Stage II	Mandatory Restrictions: Demand exceeds system capacity, or water from the town storage reservoir (Lake O) is needed to meet demand)	Effect change in water demand to lower town-wide water use; Significant public outreach on plant limitations and/or drought conditions and water supply outlook.	<u>Maintain all Stage I curtailments plus:</u> <ul style="list-style-type: none"> • Properties located on the SOUTH side of Hwy 62 & Hunter Parkway – irrigate only on Tuesdays and Saturdays. • Properties located on the NORTH side of Hwy 62 & Hunter Parkway – irrigate only on Wednesdays and Sundays. • Town Parks irrigation limited to the minimum needed to keep grass alive.
Stage III	Demand remains above system capacity and tank levels are not sustained after Stage I and Stage II actions or when Lake O water depth falls 2 feet below peak storage for the year, or Lake O depth falls below 6.5 feet.	Make a significant and real impact on real water use and water demand; Significant public education on serious limitations with plant capacity and/or water supply.	<u>Maintain all Stage II curtailments plus:</u> <ul style="list-style-type: none"> • Water Waste Ordinance activated, including emergency rate structure reducing base water use allocation and increasing cost of water (may require more frequent meter readings for use and leak detection). • Largest outdoor water users significantly curtailed. • Restaurants only serve water upon customer request. • Restrictions apply to all outdoor irrigation including drip systems, hoses, hand-watering. • Properties located on the SOUTH side of Hwy 62 & Hunter Parkway – irrigate only on Saturdays. Properties located on the NORTH side of Hwy 62 & Hunter Parkway – irrigate only on Sundays.

Attachment 3

Stage	Trigger Condition	Goal	Actions
Stage IV	Demand remains above system capacity and tank levels are not sustained after Stage III actions, or when Lake O water depth falls 3 feet below peak storage for the year, or Lake O depth falls below 5 feet.	Significantly reduce water demand as much as possible Significant public outreach and enforcement	Maintain all Stage III curtailments plus: <ul style="list-style-type: none"> No outdoor irrigation, except Town Parks may continue watering at minimum levels to keep grass alive and provide gathering and play space

Additional efforts and restrictions or limitations on water use and management of the Lake O water levels to be maintained may be considered by the Town Council as necessary and appropriate for the preservation of the public health, safety and welfare during times of limited water supply. The Council may also consider alternative approaches with parks irrigation

Enforcement

Enforcement of this Water Conservation and Management Plan is per the Ridgway Municipal Code (RMC) and other enforcement provisions for the Town of Ridgway, including but not limited to **RMC Section 2-4: Administrative Enforcement of the Ridgway Municipal Code:**

Under the existing Code Section for Administrative Enforcement, the general process, in part, is as follows, and is only provided here to provide notice to the Ridgway Community:

First Violation – Optional Verbal or written notice, or written Notice of Violation

Second Violation – written Notice of Violation

Third Violation – Administrative Citation pursuant to RMC 2-4-13

RMC 2-4-13:

(B) If the responsible party fails to correct the violation cited, commits the same violations again, or fails to correct a violation as specified in accordance with an administrative enforcement order of the AHO, subsequent administrative citations may be issued for violations of the same code section. The penalties assessed for each administrative citation issued for violations of the same code section or sections shall not exceed the following amounts regardless of the number of violations per citation:

(1) First administrative citation: one hundred and fifty dollar (\$150.00).

(2) Second administrative citation: five hundred dollars (\$500.00).

(3) Third and each subsequent administrative citation: nine hundred and ninety-nine dollars (\$999.00).

(C) Payment of the penalty shall not excuse the failure to correct the violations nor shall it bar further enforcement action by the Town.

In addition, other remedies may be pursued, including but not limited to: **RMC 9-1-3: Limitations on the Use of the Water and Sewer System**, as follows:

Attachment 3

RMC 9-1-3, in part:

(B) The Mayor may promulgate emergency regulations restricting the use of Town water for irrigation or other uses subject to confirmation or amendment by the Town Council.

(C) The Town Council may declare by resolution a moratorium on taps or line extensions for the entire water or sewer systems or any part of them at any time due to limitations on system capacity or other circumstances which require such action.

(D) The Town shall have the right to temporarily interrupt service without notice for the purpose of making repairs, taps, extensions or for other reasons as necessary for the proper operation and maintenance of the water and sewer systems. If practical, reasonable notice shall be given to the customer.

(E) No customer located outside of the corporate limits of the Town may significantly increase the amount or degree of his use of Town water or sewer service beyond the extent of his use at the effective date of this Section.

(F) The Town Council may set regulations governing the use of water for irrigation and sprinkling by resolution.

Other Ridgway Municipal Code provisions, as added or amended, may apply.

PASSED AND APPROVED this 12th day of September 2018.

ATTEST

TOWN OF RIDGWAY

Pam Kraft, MMC,
Town Clerk

John Clark,
Mayor

Attachment 4
Ridgway Municipal Code

9-1-28 WATER WASTING

(Enacted by Ord 5-2018)

(A) Water Wasting is always discouraged; however, during the enactment of Stage 3 or Stage 4 of Ridgway's Water Conservation and Management Plan, Water Wasting is prohibited. The Town or a representative code enforcer can determine an action to be Water Wasting at their discretion if the action matches the Water Wasting Definition found in Section 9-1-1. Water Wasting includes but is not limited to the following actions:

(1) Allowing water to spray or overflow onto sidewalks, driveways, streets, drainages or any hard surface.

(2) Washing outdoor impermeable surfaces (i.e. driveways, walks, patios, etc.) with a hose or spray nozzle.

(3) Washing of vehicles or recreational equipment.

(4) Failing to notify the Town of a known water leak or needed repair in the Town's distribution system or water supply system within 72 hours of discovery.

(5) Operating ornamental water features.

(6) Failure to fix a leak downstream of the customer's meter within 48 hours of notification by the Town.

(B) Exceptions to Section 9-1-28(A) or the Water Wasting definition include the following:

(1) In cases where public health or safety is a concern.

(2) The installation, repair or maintenance of a water supply system when the operator or maintenance personnel are present.

From: Susan Carter <susan.carter@mesacounty.us>

Sent: Tuesday, December 22, 2020 4:52 PM

To: Shay Coburn <scoburn@town.ridgway.co.us>

Subject: Re: Ridgway landscaping regulation update

Shay attached are some notes I made on the memo.

I am having some computer issues, so I am not able to make comments directly on the others.

For the trees, Norway maple will struggle due to the alkaline water and free lime in the soil, so I would remove it and replace with Bigtooth Maple, *Acer grandidentatum*, a smaller but native maple with a beautiful fall color and alkaline tolerant so there will not be a chlorosis issue.

Under aspen, *Populus* is misspelled. I would just have *Acer ginnala* spp. and not name a variety, all should work.

Though good in the case of the Boxelder to avoid female seeds so as not to attract the Boxelder Box, which can be a home invader/nuisance, I do not think seeds or fluff is a reason to not plant female trees. Especially those that are native like Cottonwoods. New research has found that the planting of more male trees, which are the ones that produce pollen, are drastically increasing allergies.

Lindens are cold hardy, but from my experience are not very drought tolerant and tend to do better in a lawn situation.

To the evergreens, I would add Bristlecone Pine, *Pinus aristata*, a very hardy, interesting structural tree, good specimen.

on Attachment 1

Under Goals add something to the effect: Create a diverse and health landscape and town forest.

Under regs- Need a maintenance plant or rules- if a tree dies within 2 ? years, it must be replaced.

When do you need a professional to create a landscape plan? Just commercial?

Use right plant, right place, don't eliminate wet loving plants: willow, cottonwood, CO Spruce should be planted in drainages, swales, rain gardens or directed downspout areas, next to bodies of water...

Drip systems are NOT effective at watering established trees unless there is a network of drip like a netafim irrigation system or emitters are added further out every year.

Drip only effectively waters trees their first 4 months after being planted.

Once trees are established, depending on the soil, aspect and tree species, they may only need water every 10, 20 or 30 days.

Water wasting- add daily watering unless seed, sod or new plants were just installed. Plants only need watering daily the first week to hydrate surrounding soil. Then gradually wean off to less frequent and deeper watering. Grass seed and sod will need daily water for 1-2 months, and then gradually reduce frequency and increase depth of watering.

Under water restrictions, identify historic or mature trees that should be watered once a month to preserve.

Susan Carter

Horticulture and Natural Resources Agent

Colorado State University Extension, TRA

2775 Highway 50

Grand Junction, CO 81503

970-244-1850



Red Comments are from Susan Carter, Horticulture and Natural Resources Agent, Colorado State University Extension

To: Planning Commission
From: Shay Coburn, Town Planner
Date: December 22, 2020
Re: Landscaping Regulations Update

BACKGROUND

This will be the second public meeting to discuss updating the Town's regulations regarding landscaping. The first discussion occurred at the Planning Commission meeting on October 27, 2020 (see attachment 1 for the full meeting packet). Here is a quick summary of the feedback received from the meeting:

- Keep regulations flexible: allow for people's own style, allow for site specific design, consider existing site conditions, have regulations that adapt to historic business area vs. dense residential vs. rural residential.
- Keep regulations simple: don't make them too complicated with things like soil regulations, water budgets, or hydrozones.
- Ensure that landscaping requirements restrict weeds and dust.
- Current regulation for 50% min. grass/turf in front and street side yards is too much; noted that regulations use the term "live vegetation" which does not have to be grass.
- Current regulation for 10% max. of cobble/gravel in front and street side yards should be increased or removed.
- Make list of appropriate trees/shrubs/plants easily available; limit/encourage species to those that are more water-wise and regionally appropriate.
- Make it easier to use less water or require less water use.
- Consider encouraging use of turf/imitation materials.
- Better align the two landscaping regulation sections (6-1-11 with 6-6) and the commercial design guidelines.
- Consider costs of any new regs, be sure they are not more expensive.
- Limit paved/gravel drive areas in front yard so people don't build more driveway to avoid having to install landscaping; we need permeable surfaces to help with stormwater drainage.
- Incentivize efficient irrigation systems.
- Consider if landscape plans could be submitted for review later in building process.

EXISTING REGULATIONS

RMC 6-1 Building Regulations 6-1-11 Landscaping

(A) All applications for a building permit for new construction or exterior work on any existing structure shall submit a Landscape Plan for the premises meeting the following requirements:



- (1) The Landscape Plan shall be drawn to scale of 1 inch = 40 feet, or larger, and may be included on the Site Plan.
 - (2) The Building footprint, driveways and vehicle circulation shall be shown and located to scale.
 - (3) Surface drainage characteristics and proposed structures must be shown.
 - (4) Existing and all proposed groundcover, including shrubs and lawns shall be shown.
- (B) The plan must provide for the following minimum landscaping elements:
- (1) Groundcover must be adequate to ensure that dust cannot blow from the property and that the soil is stabilized to ensure that erosion is kept to a minimum.
 - (2) A minimum of one (1) tree per 2,000 square feet of gross lot area in all zones except Historic Business shall be provided. Trees shall have a minimum caliper of 1-1/2" for deciduous trees and five foot minimum height for evergreens. Trees should be located in such a way that they will not infringe on solar access and views of the adjoining properties or block vehicular sight lines to public roadways.
- (C) Landscaping Guidelines are as follows:
- (1) Existing trees and groundcover on the property are encouraged to be retained and not destroyed during the construction process. These plants will be counted towards the minimum standards. *Is there a plan to protect these existing plants during construction? I would recommend a minimum of the drip line for trees, more would be better with NO storage under the trees, construction fencing should be installed prior to construction to protect valuable plants. SLC*
 - (2) Xeriscape landscaping and drip irrigation are encouraged. Large irrigated areas are discouraged. *Drip irrigation does not sufficiently sustain established trees unless there is a network of drip emitters. Trees should root out to a minimum of twice their height. I would recommend people have an irrigation maintenance plan to address the spread of root systems as plants mature.*
 - (3) Siberian elm and Chinese elm (*Ulmus*); *The majority of elms that are a nuisance in Colorado is the Siberian elm. The Chinese is often confused with it. <https://planttalk.colostate.edu/topics/trees-shrubs-vines/1746-elm-trees/> Cottonwoods that bear cotton (*Populus*); Purple Loosestrife (*Lythrum slaicaria salicaria*); Russian Olive (*Elaeagnus angustifolia*) are prohibited. Cottonwoods are actually native, not seen another municipality prohibit a native tree. Promoting none bearing trees (females) is leading to an increase in allergies due to the pollen from male trees. Scientific names are always italicized or underlined. SLC*
 - (4) The Town Manager is authorized to prohibit additional species with similar nuisance properties.
- (D) The building permit shall not be issued until a conforming Landscape Plan is approved by the Town.
- (E) A permanent Certificate of Occupancy will not be issued until the Town determines that the landscaping contemplated by the approved plan has been properly installed. A temporary Certificate of Occupancy may be issued if completion is delayed by winter weather.
- (F) Following completion of the landscaping, the owner or occupant of the property shall maintain it in good condition thereafter. Failure to so maintain the landscaping is unlawful and is hereby declared to create a nuisance.



(G) Intent: Landscaping is an important element of the experience of the Town of Ridgway that is both functional and aesthetic. Priorities for Landscaping include: low-water use, regionally appropriate design for materials and vegetation. These landscaping regulations will endeavor to provide for an attractive, well-maintained landscape that preserves the overall quality and appeal of the community; provides visual buffers and screens; achieves pedestrian and vehicular separation; preserves and enhances the existing visual character of the community; mitigates adverse effects of drainage and weeds, and conserves water resources. A list of recommended species for use in Colorado is available from the Ouray County Weed Manager and the Colorado State University Extension Service. The lists are not all inclusive but do recommend a variety of plants known to do well in our region of Colorado. In general, plants that are not recognized as hardy or suited to the local climate should be kept to a minimum. Xeriscaping (**CSU is moving toward the term Water Wise instead of xeriscaping because people interpret as ZERO scaping and all rocks, plants should be placed in the right place based on sunlight, water and soils as well as climate- Right plant, right place**) and drought-tolerant and water-saving plants are to be used whenever possible and appropriate. Within the General Commercial District landscaping is important to the drainage, circulation and aesthetic of commercial developments. With larger sites and several buildings, there is the opportunity to create cohesive, appealing and efficient landscape plans that elevate the site as a whole. Landscaping should be used to promote the visual aesthetic of the development from main travel corridors, as well as the pedestrian experience within, through shade trees, plantings, context-appropriate public art and seating. Buffers and medians facilitate drainage during storm events and also provide valuable areas for snow storage during the winter. Landscaping that is visually appealing, functional, and sustainable is desirable for all new development within the General Commercial District.

RMC 6-6 Residential Design Standards

6-6-4 Development Standards

(G) Landscaping¹: In addition to the requirements of Subsection 6-1-11, the site shall be landscaped to meet the following minimum standards:

(1) Trees: A minimum of one tree per 2000 square feet of gross lot area shall be provided in all zones except Historic Business. Trees shall have a minimum caliper of 1 ½ inch for deciduous trees and a five-foot minimum height for evergreens.

(2) In residential zoning districts, trees and shrubs may be placed in any landscape configuration and arranged to compliment the structure. However, of the required trees, a minimum of one tree shall be located in the front yard for each 25 foot of street and on corner lots, one tree shall be located in the street side yard for each 50 foot of street side yard frontage. Landscape elements shall not be located where, at mature size, they will block vehicular sight lines at corners or to public roadways. Where possible, trees should be located in such a way, or be a type, that they will not infringe on solar access and view of the adjoining properties.

(3) Shrubs: The front and street side yard shall include a minimum of one shrub (5-gallon size) per 10 feet of front and side street frontage.

¹ This cross reference is based on Ordinance 03-2020 that has not yet been codified.



(4) In the case of fractional requirements for the number of trees and shrubs, the number required shall be rounded to the nearest whole number.

(5) Groundcover: Groundcover must be adequate to ensure that dust cannot blow from the property and that the soil is stabilized to ensure that erosion is kept to a minimum. A minimum of 50% of the front and street side yard shall be covered with live vegetation (is this at planting or at maturity?). The remaining area can be vegetative materials, organic or inorganic mulch, flowerbeds, or other acceptable landscape material. River rock, stone or cobbles, if used, shall not exceed 10% of the front or street side yard area. (Driveway area of minimum length and width to provide access and parking shall not be included in the 10% calculation of stone or rock covered area). CSU Extension no longer recommends weed fabric as roots rise and girdle within 3 years, and about that same time soil starts to accumulate on top allowing for weeds to grow on top. Fabric is only recommended under materials where there will be no root systems. Wood mulch is highly recommended as it slowly improves soil and does not increase heat like rock mulch.

Commercial Design Guidelines

II. General Commercial District

b. Site Planning and Parking

8. Trees should be incorporated to provide parking lot shading. Tree planting areas should be a minimum of 8' wide to prevent root damage to hardscapes and allowing trees to mature.

9. Use of landscape/grassed catchment areas and similar designs should be used for managing, controlling and filtering parking lot/site drainage and is part of an overall site drainage plan.

e. Screening and Buffers

Screening and landscape buffers soften the negative impacts of development and can provide a certain element of safety in commercial areas where significant pedestrian interactions are more likely to occur.

Buffers should be constructed to mitigate the view, light pollution (including light trespass and glare), noise, heat, and odor impacts of vehicles, pavement, and higher intensity uses, and other potential negative effects of development.

Buffering may be achieved through a variety of means including but not limited to plantings, fences, walls, site planning, and soil bermings planted with live vegetation.

Parking areas, outside trash receptacles, large utility boxes, open storage areas, conflicting land uses, mechanical systems and other unattractive views should be screened from the street and public right of way.

Screening of utility boxes, trash enclosures, and similar uses should be around all sides except for those required for access, which will be screened with a gate on the access side.

III. Historic Business District (Historic Town Core)

e. Screening and Buffers



Screening and landscape buffers soften the less desirable impacts of development and can provide a certain element of safety in commercial areas where significant pedestrian interactions are more likely to occur.

Buffers should be constructed to mitigate the view, light pollution (including light trespass and glare), noise, heat, and odor impacts of vehicles, pavement, and higher intensity uses, and other potential negative effects of development.

Buffering may be achieved through a variety of means including but not limited to plantings, fences, walls, site planning, and **soil** berms **planted** with live vegetation.

Parking areas, outside trash receptacles, large utility boxes, open storage areas, conflicting land uses, mechanical systems and other unattractive views should be screened from the street and public right of way.

Screening of utility boxes, trash enclosures, and similar uses should be around all sides except for those required for access, which will be screened with a gate on the access side.



DISCUSSION

Below are the major topics that came up during the first meeting. Each topic includes proposed regulations, considerations as well as questions for discussion (in *italics*).

1. Plant Species

- A. Proposal, applicable to all development:
 - i. Create list of drought tolerant/xeric/**water wise**/native species for trees, shrubs and ground cover. Many resources exist that could inform a list for the Town. The Town already has a Tree Brochure, see attachment 2.
 - ii. Retain existing list of prohibited species, consider adding to this list (like those species that take a lot of water).
 - iii. More clearly disallow all noxious weeds as identified by Ouray County:
<https://ouraycountyco.gov/155/Weed-Control>
- B. Questions:
 - i. *Encourage, require a certain percent, or require all species to be on the drought tolerant/xeric/**water wise**/native species lists?*
 - ii. *Allow exception for fruit/veggie garden? **Absolutely, though limited on fruit species***
 - iii. *Allow percent or area for flower gardens? **Beautification, how about annual flower beds?***
 - iv. *Prohibit or limit high water use species? **Unless area is naturally wet.***
 - v. *Other considerations for plant species? **Thorns or spines?***

2. Trees and Shrubs, location and number required

- A. Proposal, applicable to all development:
 - i. Remove requirement for front and street side yard placement for trees and shrubs. Encourage the right plants to go in the right place – water lovers where they will get water, sun lovers where they will get sun, spaced properly for root growth, where they will be most useful on the property, grouped according to water needs, outside of sight triangles, not to interfere with solar access for a neighbor, etc.
 - ii. Maintain minimum sizes of 1.5" caliper for deciduous, 5' tall for evergreen, and 5-gallon for shrubs.
 - iii. Require 1 tree OR 4 shrubs per 2000 square feet of lot area for all but HB District (which has no minimum). Larger lots will require more trees and shrubs. No extra requirements for corner lots.
 - iv. For lots with native vegetation (to be defined), set requirement for minimum number of trees and shrubs based on disturbed area (to be defined). This would be most applicable to lots in subdivisions like Vista Terrace and RiverSage. This encourages less disturbance of native vegetation and will likely result in a more reasonable number of trees and shrubs for larger more natural properties.
 - v. For non-residential uses, transition some of the Commercial Design Guidelines into requirements of the code:
 - a. Require trees throughout parking areas. (**Avoid 4x4 tree pits, best to have in a long planting bed then little planters, 8' minimum width for adequate tree growth**)



- b. Require landscaped and/or planted buffers to be utilized to mitigate the view of development, noise, heat, odor, pavement, parking areas, large utility boxes, storage areas, other unattractive views, higher intensity uses, and other potential negative effects of development from surrounding development and rights-of-way.
- B. Questions:
 - i. *Current regulations encourage maintaining established trees and shrubs. Is there any appetite for requiring this? Or perhaps incentivize by counting existing trees and shrubs of a certain size for more than one new plant? Trees take 7-12 years to pay off their carbon load from being produced and planted. Trees should be looked at for condition of health, are they worth saving, is there the space to protect their root system?*
 - ii. *Is 1 tree or 4 shrubs per 2000 square feet of lot area the right balance?*
 - iii. *Set min. of 1 tree and 4 shrubs for all lots? Then add 1 tree or 4 shrubs past the first 2000 sf of lot area? Depends on how big the shrubs get, 5 is a good design number.*
 - iv. *Are there other items in the Commercial Design Guidelines that should be incorporated?*
 - v. *Other considerations for the location and number of trees and shrubs?*

3. Ground Cover, location and amount required

- A. Background
 - i. Artificial turf, inorganic mulches, and plastic weed barriers are not good for soil quality and water quality. *Does inorganic mulch include rocks or just plastic materials? I would argue there is a place (use) for artificial turf and would consider using in the right function.*
- B. Proposal:
 - i. Hard surfaces, paved areas and other artificial surfaces should be kept to a minimum and only used for patios, walkway, driveways, parking areas and other areas of high use. The Town's new stormwater regulations encourage less hard surfacing since the more that is added, more mitigation is required. By requiring a certain amount of the non-built area of a lot to be landscaped, the amount of hard surface is inherently limited. *What about permeable hardscape materials?*
 - ii. Keep regulation that states "groundcover must be adequate to ensure that dust cannot blow from the property and that the soil is stabilized to ensure that erosion is kept to a minimum." Add additional detail:
 - 1. No more than 1,500 sf or 20% of non-built area can be high water use turf like Kentucky Bluegrass. Turf should only be used in areas that will be of high use. *There are many new varieties of Bluegrass that are much more drought tolerant than bluegrass varieties of the past, but many people have not learned to properly water. Is there a watering maintenance piece? SLC*
 - 2. Minimum landscape area. Landscaped areas could include native or no-mow grass, other grasses, wildflowers, planting beds, and mulched (i.e., wood chips and cobbles) areas. "Landscaped" does not include parking/driving areas weather permeable or not. Each tree shall count for 120 sf and each bush shall count for 20 sf toward the landscaped area requirement. The limit on the amount of river rock or cobbles would be removed. *I would recommend that landscape designers and architects be required to draw plants at maturity, at least 5-10 years of age to help determine coverage.*



- a. Residential uses: A minimum of 70% of all non-built area on a parcel shall be required to be landscaped per the description above.
 - b. Non-residential uses: A minimum of 20% of the non-built and parking areas on a parcel shall be landscaped per the description above.
3. Organic mulch (i.e., wood chips, hay) is encouraged as it helps maintain moisture and temperatures, control weeds and dust, and improve soil quality.
- iii. Questions:
 1. *Is the area allowed for high-water use turf too much or too little?*
 2. *Anything else that should be included in the definition of "landscaped"?*
 3. *Is area required to be landscaped for residential uses and non-residential uses too much or too little?*
 4. *Do you want to require a certain amount of live vegetation (maybe including organic mulch like bark, pine needles, chipped wood) to be used in the minimum landscape area? Or will the minimum tree/shrub requirement be enough?*
 5. *Other considerations for ground cover?*

4. Water Conservation

- A. Background:
 - i. The Town has a Water Conservation and Management Plan that was last updated September 2018 (see attachment 3). This plan contains stages with trigger conditions, goals and actions to conserve and manage Ridgway's water.
 - ii. Per RMC 9-1-28 Water Wasting is always discouraged and prohibited during certain stages of the Water Conservation and Management Plan. See code language in attachment 4 for more information.
- B. Proposal and Questions:
 - i. Use of grey water is encouraged where allowed by the state. It is the property owner's responsibility to research and verify up-to-date state regulations.
 - ii. *Encourage or require efficient irrigations systems?* This could include drip systems, rain sensors, moisture sensors, efficient emitters, watering deeply and infrequently, and more. *Want to require for landscaped areas of a certain size, like larger areas or maybe just for those areas that are to be shared by residents?*
 - iii. *Encourage or require soil amendments?* The right soil helps control moisture.
 - iv. *Encourage or require rain gardens?* Per EPA, "A rain garden is a depressed area in the landscape that collects rain water from a roof, driveway or street and allows it to soak into the ground. Planted with grasses and flowering perennials, rain gardens can be a cost effective and beautiful way to reduce runoff from your property. Rain gardens can also help filter out pollutants in runoff and provide food and shelter for butterflies, song birds and other wildlife." With the new stormwater regulations, rain gardens may be included in plans anyway. These are great for dealing with parking areas runoff as they help filter the water before entering back into the system. The Town's Stormwater Master Plan and the Commercial Design Guidelines already encourage the use of rain gardens.



- v. *Encourage or require rain water retention?* This can be used for irrigation per CRS, see here: <https://www.cityofaspen.com/DocumentCenter/View/142/Division-of-Water-Resources-Rainwater-Collection-Information-Table-PDF>.

5. Miscellaneous

- A. *Should the Town required the use of a certified landscape architect in certain situations? Maybe for residences larger than 5000 sf, lots of a certain size, subdivisions, multi-family, and/or commercial development?* This would ensure thoughtful and professional design for these larger areas likely resulting in better landscaping plans.
- B. *When should landscape plans be due and reviewed? Considerations:*
- i. *Will changing the timing be helpful to our goals for this update: promoting water conservation, aligning the two landscaping sections, costs of landscaping, etc.?*
 - ii. *Would someone potentially build differently based on their landscaping (i.e., disturb less area, change site grading, etc.)?*
 - iii. *If not required at building permit, when could plans be required? At frame inspection?*
 - iv. *Will the benefits of accepting and reviewing landscape plans later in the building process outweigh the need for additional staff time?*
- C. *Should the code allow for administrative approvals of landscaping plans that deviate within a certain amount?*
- D. *Would a Town promotion of sorts about [Xeriscaping: How to Retrofit Your Yard](#) be helpful in achieving the Town's goals toward landscaping updates?* The promotion efforts could help encourage existing landscaping throughout town to be converted into xeriscape.

ATTACHMENTS

1. Meeting packet provided for October 27, 2020 with Planning Commission
2. Town of Ridgway Tree Brochure
3. Water Conservation and Management Plan, Resolution 18-08
4. RMC 9-1-28 Water Wasting

PLANNING COMMISSION
MINUTES OF THE REGULAR MEETING

OCTOBER 27, 2020

CALL TO ORDER

The Chairperson called the meeting to order at 5:30 p.m. with Commissioners, Liske, Nelson, Councilor Cheek, Mayor Clark and Chairperson Canright in attendance. Commissioner Falk entered the meeting at 5:40 p.m. and Commissioner Emilson was absent.

OTHER BUSINESS

1. Opening Discussion for Landscaping Regulations Update

Memorandum dated October 27, 2020 providing background and analysis prepared by the Town Planner, Steve Zwick, Volunteer and Lindsey Romaniello, 2019 Intern.

Town Planner Shay Coburn, the Ridgway Planning Commission, and community members Ned Bosworth, Nichole Moorman, Jennifer Cram, Terese Seal and Susan Chism participated in the first discussion to update the Town's Landscaping Regulations. She noted the goal for landscaping regulations is to promote water conservation and minimize dust and weeds. The update will also align the building code regulations with the Residential Design Standards and the Landscaping Regulations. Ms. Coburn explained the current water service base rate includes a large reduction in the number of gallons allowed per month which should be a consideration for the update. Addressing the Landscaping Regulations is an objective in the Master Plan, Strategic Plan and has been requested by the public Coburn concluded.

The topics discussed included adapting regulations for drought conditions, adapting regulations to accommodate urban density and the Town's ability to maintain adequate water supply, modifying the 10% maximum gravel and 50% minimum live vegetative matter requirements, creating flexibility within the regulations, changing ground cover standards, revising the standard for a minimum number of trees and bushes as it relates to lot size and encouraging tree utility value; subduing requirements related to front and side yard curb appeal; reconciling site conditions along with site design, developing literature on plant species and trees suited for the local climate and soil conditions, promoting eclectic design, recognizing unique characteristics of individual parcels, incorporating existing native plants, encouraging a variety of plants for ground cover; considerations for disturbed and revegetated land, using grey water and positive water drainage from rain as a water source for yards, using artificial turf, encouraging xeriscaping, providing consumer education regarding tools and resources, requiring the Landscape Plan near the end of the building permit for new structures and considering how Fence Regulations could be combined with the Landscaping Regulations for simplification.

Planner Coburn will reconcile the topics with the regulations and provide an update to the Commissioners for the next discussion at the November Regular Meeting to be held December 1.

APPROVAL OF THE MINUTES

2. Approval of the Minutes from the Meeting of September 29, 2020

ACTION:

Councilor Liske moved to approve the Minutes from September 29, 2020. Mayor Clark seconded the motion and it carried unanimously.

ADJOURNMENT

The meeting adjourned at 7:00 p.m.

Respectfully submitted,

Karen Christian
Deputy Clerk