PARKS, TRAILS, AND OPEN SPACE COMMITTEE MARCH 3RD, 2020 6:00 PM TOWN HALL



Committee Member Meeting Packet

Agenda Item #2:

PARKS, TRAILS, AND OPEN SPACE COMMITTEE MEETING MINUTES JANUARY 14TH, 2020 6:00 PM TOWN HALL



<u>Committee Present:</u> Jared Coburn, Doug Canright, Lois Zeimann, Sue Husch, Erin Smith, Nick Williams, Town Councilor Robb Austin.

Town Staff: Chase Jones

I. Call to Order

6:05pm

II. Approval of Meeting Minutes from November 5th, 2019

Jared moved to approve the minutes
Lois seconded the motion
All committee members present voted in favor

III. Review Upcoming Events in Public Parks

There are no upcoming events before the next meeting.

IV. Community garden – Accomplishments and Potential Site Toilet Improvement

Agnieszka Przeszlowska played a short video from the Community Garden website which showed work done in 2019. She also shared the following:

- \$43,500 was spent in 2019 with \$10,000 from the Town. This did not include in-kind labor and equipment.
- They have received high interest from the schools; high school students built the raised beds, the middle school help winterize the beds, and kindergarteners created a welcome banner.
- 41 or 43 beds were rented, 1 bed was for communal herbs and 1 bed was for demonstration.
- In 2020 they're hoping to install some higher beds and a children's area

Chris Lance then brought up the possibility of installing a composting toilet at the garden. The desired unit is designed for a family of 6, liquid excess would go into separate bin, solid compost would not be used onsite, Chris would take compost off site to her property, and it would cost \$1600 for the toilet plus \$1000 for building. The toilet would likely be located in the SW corner, inside the garden's fence.

Sue Husch commented that her husband put a Sun-Mar toilet into their cabin with upwards of 10 people and had no problem, these units are used a lot in Midwest and would trust the volume estimate from the company. It was noted that the unit Sue used had a motor option and electricity.

The committee agreed that improving the Community Garden's lease site with a compostable toilet is acceptable and has their support, with the request that signage be posted that states the compost isn't used onsite and that the enclosure match the park and garden long terms aesthetics.

The Community Garden will require further approval from Town Council for any improvement per the Community Garden's lease.

V. Athletic Park Pavilion Design and Donation Update

Chase shared that the fundraising goal has been met but the Town is still waiting on final checks. Construction documents are expected at the end of the month and a Request for Bid will be out in February. The Town did fundraising outreach through; Facebook, fliers, vertical response, press release, water bill notes and targeted calls.

VI. Budget Update

Chase shared the following information related to the Parks Committee budgetary requests:

- The baseball field improvements in the Athletic Park received \$5,000 from Town Council. The interest group has received a \$2,000 grant from the Montrose Community Foundation.
- \$650 was budgeted in 2020 to replace Weaver Park signage.
- Tree maintenance funds doubled in 2020 to \$20,000.
- \$4,000 was allotted to expand or update the Town's tree inventory
- \$250 was budgeted for more holiday lights.

VII. New Business

Robb requested a banner at Heritage Park to announce improvements.

Chase shared that an "Affirmation Station" was installed by Public Arts Ridgway Colorado in Hartwell.

VIII. Old Business

One Hartwell tree which was removed in Fall 2019 but could not be high stumped due to metal being present within the trunk.

Century Link's radio drums may be rearranged in the future which could eliminate Hartwell tree interference.

Trails in Cottonwood Park are crusher fines with no underlying cloth.

The GOCO grant to pay for a youth conservation crew in 2020 was not awarded to the Town.

IX. Adjourn

7:20pm

Agenda Item #3:

Events between March 3rd and May 31st occurring on Town Park Property as of Feb 28th, 2020:

May 9th – School parking lot sale in Hartwell's south lot.

May 22^{nd} – Farmers Market begins for 2020. Every Friday in Hartwell Park until October 9^{th} .

May 23rd – ROCC parking lot sale (tentative).

May 30th – Love Your Valley Festival.

Agenda Item #4:

Agenda Item #5:



ADVERTISMENT FOR BIDS TOWN OF RIDGWAY ATHLETIC PARK PAVILION CONSTRUCTION PROJECT

Notice is hereby given that the Town of Ridgway, Colorado will receive sealed bids from qualified contractors for the Athletic Park Pavilion Construction Project for the Town of Ridgway, Colorado. The project generally consists of construction of a shelter, concession area, and equipment storage for park users, including all labor, materials and services for the work necessary to complete the project as indicated in the full Request for Bids that contains a Scope of Work and attached construction documents.

Two (2) paper copies printed double sided and one (1) electronic copy of the proposal in a sealed envelope, clearly marked with "Athletic Park Pavilion Construction Project" and the name, address and phone number of the Bidder will be received by Pam Kraft, Town Clerk, at Town Hall, 201 N. Railroad St., PO Box 10, Ridgway, CO 81432 until 10:00 a.m., local time, on the 20th day of March, 2020, at which time all bids will be publicly opened and read aloud. Any bid received after the time stated above will be returned to the Bidder unopened.

The full Request for Bid along with construction documents, may be obtained from the Town Planner at Ridgway Town Hall, 201 N. Railroad, PO Box 10, Ridgway, CO 81432. In addition, all documents associated with this solicitation will be available online at https://www.colorado.gov/pacific/ridgway/requests-proposals-bids.

Questions regarding this proposal shall be received by 3:00 p.m. on March 6, 2020. Questions must be submitted via email to: Shay Coburn, Town Planner, at scoburn@town.ridgway.co.us. The responses to any submitted questions will be prepared by Town staff and then provided via email to all vendors that have indicated an interest in submitting a proposal and posted on the Town's website by the date listed in the proposed schedule indicated in the full Request for Bids.

The Town of Ridgway reserves the right to reject any and all bids, to waive any and all informalities in bidding and to negotiate contract terms with the successful Bidder, or to make Award in such a manner as they may deem right and proper for the best interest of the Town of Ridgway.

TOWN OF RIDGWAY, COLORADO

By: Pam Kraft, Town of Ridgway, Town Clerk



REQUEST FOR BIDS TOWN OF RIDGWAY ATHLETIC PARK PAVILION CONSTRUCTION PROJECT

INTRODUCTION

Purpose and Goals

The Town of Ridgway is accepting bids from qualified contactors (hereinafter referred to as "Contractor") to build the Ridgway Athletic Park Pavilion (hereinafter referred to as "Pavilion").

The Pavilion is to be built in the Regional Athletic Park south of Chipeta Drive and west of County Road 23. The Pavilion will include shelter, concession area, and equipment storage for park users and has been made possible by a generous donor and community fundraising efforts. The Pavilion has been designed, with community input, by Reynolds Ash + Associates. Full construction documents are attached.

PROJECT OVERVIEW

Contactor(s) shall prepare and submit a bid for building the Pavilion based on the Scope of Work below. Once selected, the Contractor(s) will work with the Town staff to refine this Scope of Work as necessary.

Scope of Work

The Scope of Work is based on the attached construction documents, see Exhibit 2. Contractors are highly encouraged to inspect the site prior to submitting a bid.

The Town has committed in-kind support for this construction project. Bidders are asked to bid the full project and the areas where the Town may provide support will be sorted out when the contract terms are negotiated with the successful Bidder.

Estimated Timeline

Project start: 4/13/2020

Bi-monthly onsite progress meetings

Construction schedule to be updated every 30 days throughout the project

Project completion: 10/31/2020



SUBMITTAL REQUIREMENTS

Submittal Instructions

Submit two (2) paper copies <u>printed double sided</u> and one (1) electronic copy of the proposal in a sealed envelope no later than 10:00 a.m. on March 20, 2020 to:

Town of Ridgway
Town Clerk
Attn: Athletic Park Pavilion Construction Project
PO Box 10
201 N Railroad Street
Ridgway, CO 81432

Bid Format

The bid submitted to Town shall include the following information:

A. Cover letter, including:

- 1. Contractor(s) name, address, and location(s).
- 2. Brief description of project interest and project understanding.
- 3. Signature of the person having proper authority to make formal decisions and commitments on behalf of the primary Bidder.
- 4. Affirmation statement that Bidder has read and understands the requirements of the draft contract (Exhibit 1 to this RFB), and can meet the requirements stated in the contract, or an indication of which specific requirements cannot be met.
- B. Contractor and superintendent information, including:
 - 1. Contractor and superintendent name, title, role, and contact information.
 - 2. Brief description of qualifications and relevant experience for the contactor.
 - 3. At least three relevant projects and references including: project name, location, brief description, and contact information of the client.

C. Project budget, including:

1. A detailed budget based on the Scope of Work and construction documents attached as Exhibit 2. The budget included in the bid shall include an itemized list of the costs of labor, materials, equipment, incidentals, contractor overhead fees, and all other costs required to build a fully complete Pavilion as designed and detailed in the construction documents in Exhibit 2.



2. If suggesting additions not outlined in the Scope of Work, please ensure the cost for those services are separate or clearly identified as additions.

D. Project schedule, including:

- 1. A proposed project schedule based on the estimated timeline above.
- 2. Details of what input Contractor will need from the Town and in what timeframe.

Submitting Questions or Clarifications

Questions regarding this RFB shall be received by **3:00 p.m. on March 6, 2020**. Questions must be submitted via email to: Shay Coburn, Town Planner, at scoburn@town.ridgway.co.us. The responses to any submitted questions will be prepared by Town staff and then provided via email to all vendors that have indicated an interest in submitting a proposal and posted on the Town's website by the date listed in the tentative schedule below.

Proposed Schedule (subject to change)

RFB Published February 24, 2020

Question Deadline March 6, 2020, 3:00 p.m.

Question Responses Provided March 11, 2020

Proposals Due March 20, 2020, 10:00 a.m.

Notifications March 25, 2020 Contractor Interviews March 30, 2020

Contractor Notification April 2, 2020

Approval of Contract by Council April 8, 2020

Project Start April 13, 2020

SELECTION PROCESS

The Town will review the bids and interview Contactor(s) if desired. Bids will be evaluated using the following criteria:

- 1. Project understanding and Contractor(s) fit with the Town of Ridgway.
- 2. Contractor(s) qualifications, relevant experience, and quality of references.
- 3. Price/value of proposed services.
- 4. Proposed schedule.



The Town reserves the right to accept or reject any or all proposals, to waive any and all informalities and to negotiate contract terms with the successful Bidder, or to accept the bid for the contract, which in its judgement best serves the interest of the Owner, and the right to disregard all non-conforming, non-responsive, or conditional proposals. The Town reserves the right to self-perform work and negotiate the provided price accordingly.

Contractor(s) must be willing to work with the Town and other contractors as necessary to complete the project.

ADDITIONAL INFORMATION

The selected Contractor(s) will be required to enter into a contract with the Town regarding the scope of work, schedule, and cost of the project. See Exhibit 1 for a draft Construction Contract. Contractor(s) will be required to affirm that the terms in the contract will be met with any successful award.

The Town will work to honor confidentiality requests to the extent possible and reasonable. If you feel certain aspects of your proposal are proprietary in nature, please clearly indicate those specific components in the submittal.

For more information about the Town of Ridgway, please visit www.colorado.gov/ridgway.

TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | www.town.ridgway.co.us

EXHIBIT 1

CONSTRUCTION CONTRACT

THIS AGREEMENT is made between the Town of Ridgway, Colorado, (Owner or Town) and (Contractor), for the Project known as:
Ridgway Athletic Park Pavilion.
The Owner's Representative (OR) is:
Town Manager
The Owner and Contractor agree as follows:
ARTICLE 1 THE WORK:
The Contractor shall perform all the Work required by the Contract Documents for the <u>Ridgway Athletic Park Pavilion Build</u> . The specifications shall be in accordance with < <insert appropriate="" standards="">> standards. The Scope of Services and Timeline is attached hereto as Exhibit A.</insert>
ARTICLE 2 TIME OF COMMENCEMENT AND COMPLETION:
The construction Work shall be commenced upon written notice to proceed from the Town and completed within calendar days.
ARTICLE 3 CONTRACT AMOUNT AND BASIS:
The Owner shall pay the Contractor for the satisfactory performance of the Work, subject to additions and deductions by Change Order as provided in the General Conditions, the following: See attached Exhibit B.
ARTICLE 4 PROGRESS PAYMENTS:
Monthly payments upon invoicing.



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ARTICLE 5 FINAL PAYMENT:

Subject to withholding of 10% until final payment pursuant to CRS §38-26-107.

ARTICLE 6 ENUMERATION OF CONTRACT DOCUMENTS:

The Contract Documents are as noted in Paragraph 7.1 of the General Conditions and are indicated as follows:

[]	Agreement including General Conditions
[]	Special Conditions
[]	Specifications
[]	Drawings
[]	Addenda
[]	Change Orders - if any
[]	Modifications - if any
[]	Written Interpretation of OR - if any
[]	Performance Bond or [] Letter of Credit
[]	Payment Bond or [] Letter of Credit
[]	Notice to Proceed
[1	Contractor Proposal and itemized costs

ARTICLE 7 CONTRACT DOCUMENTS:

- 7.1 The Contract Documents consist of this Agreement (which includes the General Conditions), Special Conditions, the Drawings, the Specifications, all Addenda issued prior to the execution of this Agreement, all modifications, any performance or payment bonds, all Change Orders, and all written interpretations of the Contract Documents issued by the OR, and the Proposal as submitted by Contractor. These form the Contract and what is required by any one shall be as binding as if required by all. The intention of the Contract Documents is to include all labor, materials, equipment and other items as provided in Paragraph 10.2 necessary for the proper execution and completion of the Work and the terms and conditions of payment therefore, and also to include all Work which may be reasonably inferable from the Contract Documents as being necessary to produce the intended results.
- 7.2 By executing the Contract, the Contractor represents that he has visited the site and familiarized himself with the local conditions under which the Work is to be performed.



7.3 The term Work as used in the Contract Documents includes all labor necessary to produce the construction required by the Contract Documents, and all materials and equipment incorporated or to be incorporated in such construction.

ARTICLE 8 OWNER'S REPRESENTATIVE (OR)

- 8.1 The OR will provide general administration of the Contract and will be the Owner's representative during construction and until issuance of the final Certificate for Payment.
- 8.2 The OR shall at all times have access to the Work wherever it is in preparation and progress.
- 8.3 The OR will make periodic visits to the site to familiarize himself generally with the progress and quality of the Work and to determine in general if the Work is proceeding in accordance with the Contract Documents. On the basis of his on-site observations, he will keep the Owner informed of the progress of the Work, and will endeavor to guard the owner against defects and deficiencies in the Work of the Contractor. The OR will not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. The OR will not be responsible for construction means, methods, techniques, sequences or procedures or for safety precautions and programs in connection with the Work, and he will not be responsible for the Contractor's failure to carry out the Work in accordance with the Contract Documents.
- 8.4 Based on such observations and the Contractor's Applications for Payment, the OR will determine the amounts owing to the Contractor and will issue Certificates for Payment in accordance with Article 16.
- 8.5 The OR will be, in the first instance, the interpreter of the requirements of the Contract Documents. He will make decisions on all claims and disputes.
- 8.6 The OR will have authority to reject Work which does not conform to the Contract Documents.

ARTICLE 9 OWNER:

The Owner shall issue all instructions to the Contractor through the OR. The Owner shall not be responsible for the provision of any labor or materials associated with this Work.

ARTICLE 10 CONTRACTOR:

10.1 The Contractor shall supervise and direct the Work, using his best skill and attention. The Contractor



shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.

- 10.2 Unless otherwise specifically noted, the Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work.
- 10.3 The Contractor shall at all times enforce strict discipline and good order among his employees, and shall not employ on the Work any unfit person or anyone not skilled in the task assigned to him.
- 10.4 The Contractor warrants to the Owner and the OR that all materials and equipment incorporated in the Work will be new unless otherwise specified, and that all Work will be of good quality, free from faults and defects and in conformance with the Contract Documents. All Work not so conforming to these standards may be considered defective.
- 10.5 The Contractor shall give all notices and comply with all laws, ordinances, rules, regulations, and orders of any public authority bearing on the performance of the Work, and shall notify the OR if the Drawings and Specifications are at variance therewith.
- 10.6 The Contractor shall be responsible for the acts and omissions of all his employees and all Subcontractors, their agents and employees and all other persons performing any of the Work under a contract with the Contractor.
- 10.7 The Contractor shall review, stamp with his approval and submit all samples and shop drawings as directed for approval of the OR for conformance with the design concept and with the information given in the Contract Documents. The Work shall be in accordance with approved samples and shop drawings.
- 10.8 The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the Work he shall remove all his waste materials and rubbish from and about the Project as well as his tools, construction equipment, machinery and surplus materials, and shall clean all glass surfaces and shall leave the Work "broom clean" or its equivalent, except as otherwise specified.

ARTICLE 11 SUBCONTRACTS:

- 11.1 A Subcontractor is a person who has a contract with the Contractor to perform any of the Work at the site.
- 11.2 Unless otherwise specified in the Contract Documents or in the Instructions to Bidders, the Contractor, as soon as practicable after the award of the Contract, shall furnish to the OR in writing a list of the names of Subcontractors proposed for the principal portions of the Work. The Contractor



shall not employ any Subcontractor to whom the Owner may have a reasonable objection. The Contractor shall not be required to employ any Subcontractor to whom he has a reasonable objection. Contracts between the Contractor and the Subcontractor shall be in accordance with the terms of this Agreement and shall include the General Conditions of this Agreement insofar as applicable.

ARTICLE 12 SEPARATE CONTRACTS AND OWNER WORK:

- 12.1 The Owner reserves the right to award other contracts in connection with other portions of the Project or other work on the site or to perform such work itself.
- 12.2 Any costs caused by defective or ill-timed work shall be borne by the party responsible therefore.

ARTICLE 13 ROYALTIES AND PATENTS:

Not Applicable

ARTICLE 14 PERFORMANCE AND PAYMENT BONDS:

For the construction portion of the Work, the Contractor shall furnish, at the Contractor's expense, a performance bond and a separate labor and materials payment bond, each for an amount not less than 100% of the Contract Price. The bonds shall be issued by a qualified corporate surety licensed to transact business in Colorado. If at any time during performance of the Work, the surety on the bonds shall be disqualified from doing business in Colorado, or shall become insolvent or otherwise impaired, the Contractor shall furnish bonds from an alternate surety acceptable to the Town. The bonds shall be delivered to the Town's Purchasing Agent prior to the commencement of the Work and shall remain in effect until one year from completion of the Work. The Contractor shall secure an increase in the bonds in an amount equal to the cost of any additional work authorized pursuant to a duly executed Change Order or contract amendment.

ARTICLE 15 TIME:

- 15.1 All time limits stated in the Contract Documents are of the essence of the Contract.
- 15.2 If the Contractor is delayed at any time in the progress of the Work by changes ordered in the Work, by labor disputes, fire, unusual delay in transportation, unavoidable casualties, causes beyond the



Contractor's control, or by any cause which the OR may determine justifies the delay, then the Contract Time shall be extended by Change Order.

ARTICLE 16 PAYMENTS:

- 16.1 Payments shall be made as provided in Article 4 of this Agreement.
- Payments may be withheld on account of (1) defective Work not remedied, (2) claims asserted or evidence which indicates probable assertion of claims, (3) failure of the Contractor to make payments properly to Subcontractors or for labor, materials, or equipment, (4) damage to another Contractor or Owner, or (5) unsatisfactory prosecution of the Work by the Contractor.

ARTICLE 17 PROTECTION OF PERSONS AND PROPERTY AND RISK OF LOSS:

The Contractor shall be responsible for initiating, maintaining, and supervising all safety precautions and programs in connection with the Work. He shall take all reasonable precautions for the safety of, and shall provide all reasonable protection to prevent damage, injury or loss to (1) all employees on the Work and other persons who may be affected thereby, (2) all the Work and all materials and equipment to be incorporated therein, and (3) other property at the site or elsewhere. Contractor shall bear all risk of loss to the work, or materials or equipment for the work due to fire, theft, vandalism, or other casualty or cause, until the work is fully completed and accepted by the Owner. He shall comply with all applicable laws, ordinances, rules, regulations and orders of any public authority having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss. All damage or loss to any property caused in whole or in part by the Contractor, any Subcontractor, any Sub-subcontractor or anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable, shall be remedied by the Contractor.

ARTICLE 18 INDEMNIFICATION AND INSURANCE:

18.1 Indemnification:

The Contractor agrees to indemnify and hold harmless Owner, its officers, employees, insurers, and self-insurance pool, from and against all liability, claims, and demands, on account of injury, loss, or damage, including without limitation claims arising from bodily injury, personal injury, sickness, disease, death, property loss or damage, or any other loss of any kind whatsoever, which arise out of or are in any manner connected with this contract, if such injury, loss, or damage is caused in whole or in part by, or is claimed to be caused in whole or in part by, the act, omission, error, Contractor error, mistake, negligence, or other fault of the Contractor, any subcontractor of the Contractor, or any officer, employee, representative, or agent of the Contractor or of any subcontractor of the



Contractor, or which arise out of any workmen's compensation claim of any employee of the Contractor or of any employee of any subcontractor of the Contractor. The Contractor agrees to investigate, handle, respond to, and to provide defense for and defend against, any such liability, claims or demands at the sole expense of the Contractor, or at the option of Owner, agrees to pay Owner or reimburse Owner for the defense costs incurred by Owner in connection with, any such liability, claims, or demands. The Contractor also agrees to bear all other costs and expenses related thereto, including court costs and attorney fees, whether or not any such liability, claims, or demands alleged are groundless, false, or fraudulent. The obligation of this Section 18.1 shall not extend to any injury, loss, or damage which is caused solely by the act, omission, or other fault of the Owner, its officers, or its employees.

18.2 Insurance:

The Contractor agrees to procure and maintain, at its own cost, a policy or policies of insurance sufficient to insure against all liability, claims, demands, and other obligations assumed by the Contractor pursuant to Section 18.1. Such insurance shall be in addition to any other insurance requirements imposed by this contract or by law. The Contractor shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to Section 18.1 by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types.

- 18.2.1 Contractor shall procure and maintain, and shall cause any subcontractor of the Contractor to procure and maintain, the minimum insurance coverages listed below. Such coverages shall be procured and maintained with forms and insurers acceptable to Owner. All coverages shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Contractor pursuant to Section 18.1. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage.
 - (A) Workmen's Compensation insurance to cover obligations imposed by applicable laws for any employee engaged in the performance of work under this contract, and Employers' Liability insurance with minimum limits of FIVE HUNDRED THOUSAND DOLLARS (\$500,000) each accident, FIVE HUNDRED THOUSAND DOLLARS (\$500,000) disease policy limit, and FIVE HUNDRED THOUSAND DOLLARS (\$500,000) disease each employee. Evidence of qualified self-insured status may be substituted for the Workmen's Compensation requirements of this paragraph.
 - (B) Commercial General Liability insurance with minimum combined single limits of ONE MILLION DOLLARS (\$1,000,000) each occurrence and ONE MILLION DOLLARS (\$1,000,000) aggregate. The policy shall be applicable to all premises and operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket contractual, independent Contractors, products, and completed operations. The policy shall include coverage for explosion, collapse, and underground hazards. The policy shall contain a severability

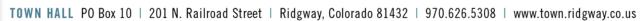


of interests provision.

- (C) Comprehensive Automobile Liability insurance with minimum combined single limits for bodily injury and property damage of not less than ONE MILLION DOLLARS (\$1,000,000) each occurrence and ONE MILLION DOLLARS (\$1,000,000) aggregate with respect to each of Contractor's owned, hired and non-owned vehicles assigned to or used in performance of the services. The policy shall contain a severability of interests provision. If the Contractor has no owned automobiles, the requirements of this Paragraph (3) shall be met by each employee of the Contractor providing services to the Owner under this contract.
- 18.2.2 Every policy required above shall be primary insurance and any insurance carried by Owner, its officers, or its employees, or carried by or provided through any insurance pool of Owner, shall be excess and not contributory insurance to that provided by Contractor. No additional insured endorsement to any policy shall contain any exclusion for bodily injury or property damage arising from completed operations. The Contractor shall be solely responsible for any deductible losses under any policy required above.
- 18.2.3 Failure on the part of the Contractor to procure or maintain policies providing the required coverages, conditions, and minimum limits shall constitute a material breach of contract upon which Owner may immediately terminate this contract, or at its discretion Owner may procure or renew any such policy or any extended reporting period thereto and may pay any and all premiums in connection therewith, and all monies so paid by Owner shall be repaid by Contractor to Owner upon demand, or Owner may offset the cost of the premiums against any monies due to Contractor from Owner.
- 18.2.5 Owner reserves the right to request and receive a certified copy of any policy and any endorsement thereto.
- 18.2.6 The parties hereto understand and agree that Owner is relying on, and does not waive or intend to waive by any provision of this contract, the monetary limitations (presently \$350,000 per person and \$990,000 per occurrence) or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act (CRS §24-10-101 *et seq.*) as from time to time amended, or otherwise available to Owner, its officers, or its employees.

ARTICLE 19 CHANGES IN THE WORK:

The Owner without invalidating the Contract may order Changes in the Work consisting of additions, deletions, or modifications with the Contract Sum and the Contract Time being adjusted accordingly. All such changes in the Work shall be authorized by written Change Order signed by the Owner. The Contract Sum and the Contract Time may be changed only by Change Order. The cost or credit to the Owner, if any,





from a Change in the Work shall be determined by unit prices if specified in the contract documents, or by mutual agreement.

ARTICLE 20 CORRECTION OF WORK:

The Contractor shall correct any Work that fails to conform to the requirements of the Contract Documents where such failure to conform appears during the progress of the Work, and shall remedy any defects due to faulty materials, equipment or workmanship which appear within a period of one year from the Date of Final Settlement of the Contract or within such longer period of time as may be prescribed by law or by the terms of any applicable special guarantee required by the Contract Documents. The provisions of this Article 20 apply to Work done by Subcontractors as well as to Work done by direct employees of the Contractor, and are in addition to any other remedies or warranties provided by law.

ARTICLE 21 TERMINATION BY THE CONTRACTOR:

If the OR fails to issue a payment for invoiced billings within a thirty-day period, the Contractor may, upon seven days' written notice to the Owner and the OR, terminate the Contract and recover from the Owner payment for all Work executed and for any proven loss sustained upon any materials, equipment tools, and construction equipment and machinery, including reasonable profit and damages.

ARTICLE 22 TERMINATION BY THE OWNER:

If the Contractor defaults or neglects to carry out the Work in accordance with the Contract Documents or fails to perform any provision of the Contract, the Owner may, after seven days' written notice to the Contractor and without prejudice to any other remedy he may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due the Contractor or, at his option, may terminate Contractor's work under the Contract and take possession of the site and of all materials, equipment, tools, and construction equipment and machinery thereon owned by the Contractor and may finish the Work by whatever method he may deem expedient, and if the unpaid balance of the Contract Sum exceeds the expense of finishing the Work, such excess shall be paid to the Contractor, but if such expense exceeds such unpaid balance, the Contractor shall pay the difference to the Owner. These rights and remedies are in addition to any right to damages or other rights and remedies allowed by law.

ARTICLE 23 OWNERSHIP:

Regardless of the future services retained by the successful contractor, all of the products of this project, including recommendations, drawings, artwork, photos, and similar materials used to



produce the required submittals, shall become the property of the Town of Ridgway. Any furnished materials shall remain the property of the Town of Ridgway. All such items shall be delivered to the Town of Ridgway in usable condition after completion of the work, and prior to submission of the invoice for payment.

Any materials excavated from the project site shall be used on the project where possible. The Town reserves the right to maintain possession of any unused excavated materials at the Town's discretion.

ARTICLE 24 MISCELLANEOUS PROVISIONS:

This contract is governed by the laws of the State of Colorado.

Contractor shall not assign this contract. The provisions of the contract are binding on the heirs, successors or assignees of the parties.

The rights and remedies available under this contract shall be in addition to any rights and remedies allowed by law.

No failure to enforce any provision of the contract on account of any breach thereof, shall be considered as a waiver of any right to enforce provisions of this contract concerning any subsequent or continuing breach.

The terms of this agreement shall remain in full force and effect following final payment.

ARTICLE 25

ILLEGAL ALIEN PROVISIONS REQUIRED BY COLORADO REVISED STATUTES 8-17.5-102, AS AMENDED:

- A. Contractor shall not knowingly employ or contract with an illegal alien to perform work under this Agreement.
- B. Contractor shall not enter into a contract with a Subcontractor that fails to certify to the Contractor that the Subcontractor shall not knowingly employ or contract with an illegal alien to perform work under this Agreement.
- C. Contractor has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this agreement through participation in either (1) the e-verify program, (the electronic employment verification program created in Public Law 104-208 as amended and expanded in Public Law 108-156, as amended, and jointly administered by the US Department of Homeland Security and the Social Security Administration, or its successor program) or (2) the Department Program (the employment verification program established pursuant to CRS 8-17.5-102(5)(c)).



- D. Contractor is prohibited from using the e-verify program or the Department program procedures to undertake pre-employment screening of job applicants while this Agreement is being performed.
- E. If the Contractor obtains actual knowledge that a Subcontractor performing work under this Agreement knowingly employs or contracts with an illegal alien, the Contractor shall be required to: (a) notify the Subcontractor and the Town within three days that the Contractor has actual knowledge that the Subcontractor is employing or contracting with an illegal alien; and (b) terminate the subcontract with the Subcontractor if within three days of receiving the notice required pursuant to (a) of this paragraph (E), the Subcontractor does not stop employing or contracting with the illegal alien; except that the Contractor shall not terminate the contract with the Subcontractor if during such three days the Subcontractor provides information to establish that the Subcontractor has not knowingly employed or contracted with an illegal alien.
- F. Contractor shall comply with any reasonable request by the Department of Labor and Employment in the course of an investigation that the Department is undertaking pursuant to CRS 8-17.5-102(5)
- G. If Contractor violates these illegal alien provisions, the Town may terminate this Agreement for a breach of contract. If this Agreement is so terminated, Contractor shall be liable for actual and consequential damages to the Town. The Town will notify the Office of the Secretary of State if Contractor violates these provisions and the Town terminates this Agreement for that reason.
- H. Contractor shall notify the Town of participation in the Department program and shall within 20 days after hiring an employee who is newly hired for employment to perform work under this Agreement affirm that the Contractor has examined the legal work status of such employee, retained file copies of the documents required by 8 USC 1324a and not altered or falsified the identification documents for such employee. Contractor shall provide a written, notarized copy of the affirmation to the Town.

<<insert signatures>>



EXHIBIT A to Construction Contract SCOPE OF SERVICES and PROJECT TIMELINE

Scope of Services

<<Insert from proposal with any agreed upon edits>>

Project Timeline

<< Insert from proposal with any agreed upon edits>>

EXHIBIT B to Construction Contract BUDGET

<< Insert from proposal with any agreed upon edits>>



EXHIBIT 2

CONSTRUCTION DOCUMENTS

INSIDE DIAMETER

INSULATION

INTERIOR

TMIOL

JOIST

KITCHEN

LAMINATE

LAVATORY

MAXIMUM

MECHANICAL

MANUFACTURER

MISCELLANEOUS

NOT IN CONTRACT

OUTSIDE DIAMETER

NOT TO SCALE

ON CENTER

OVERHEAD

OPENING

OPPOSITE

PRE-CAST

PLASTER

PLYMOOD

QUARRY TILE

ROOF DRAIN

REINFORCED

SOLID CORE

SQUARE FOOT

SPRING POINT

SPECIFICATION

STAINLESS STEEL

SEE STRUCTURAL DRAWINGS STAGGERED

SCHEDULE

SECTION

SHEET

SIMILAR

SQUARE

STANDARD

STRUCTURAL

SUSPENDED

TERRAZZO

TUBE STEEL

TOP AND BOTTOM

TONGUE & GROOVE

UNLESS NOTED OTHERWISE

VINYL COMPOSTION TILE

STIFFENER

STEEL

TREAD

THICK

TOP OF

VERIFY

MEST

MOOD

MITHOUT

CENTERLINE

MITH

VERTICAL

MATER CLOSET

REFRIGERATOR

ROUGH OPENING

REFER TO ...

REQUIRED

PAIR

RISER

PROPERTY LINE

PLASTIC LAMINATE

MASONRY OPENING

MEMBRANE

MANHOLE

MINIMUM

METAL

NORTH

NUMBER

NOMINAL

MULLION

LABORATORY

JST.

LAB.

LAM.

MECH

NOM.

OPG.

PCT.

PLAS.

Q.T.

R.D.

REINF

R.O.

SCHED.

5Q. OR 1

STD.

STIFF

T & B

T & G

TER.

T.O. T.S. TYP.

U.N.O.

VCT

VERT.

MD.

M/0

STL.

REQ'D

PLYMD.

MEMB.

ABBREVIATIONS

AGGREGATE

ALTERNATE

BOARD

BLOCK

BUILDING

BLOCKING

BOTTOM

BETMEEN

CEILING

CLEAR

COLUMN

DEGREE

DIAGONAL

DIAMETER

DRAWING

EXISTING

DOWNSPOUT

DOWN

EAST

DETAIL

CONCRETE

CONNECTION

CONTINUOUS

CERAMIC TILE

CONSTRUCTION

CENTER OF ARCH

DRINKING FOUNTAIN

EXPANSION JOINT

FINISH SYSTEM

ELEVATION

ELECTRICAL

ELEVATION

ENCLOSURE

EQUIPMENT

EACH MAY

EXPANSION EXTERIOR

FIRE ALARM

FLOOR DRAIN

FOUNDATION

FINSH FLOOR

FLUORESCENT

FACE OF BRICK

FOOT OR FEET

FACE OF CONCRETE

GENERAL CONTRACTOR

HEATING, VENTILATION AND

NOTE: Clarify with Architect any abbreviations not listed. Some abbreviations on list may not be used in project.

FOUNDATION

FLOW LINE

FLOOR

FULL SIZE

FOOTING

GALVINIZED

HOSE BIBB

HARDWOOD

HARDWARE

GYPSUM BOARD

HOLLOW CORE

HANDICAPPED

HOLLOW METAI

AIR CONDITIONING

HORIZONTAL

HOUR

HEIGHT

FURRING

GAUGE

GLASS

GRADE GYPSUM

FIRE EXTINGUISHER

FIRE HOSE CABINET

EQUAL

EMERGENCY

EXTERIOR INSULATION AND

ELECTRIC WATER COOLER

FIRE DEPARTMENT CONNECTION

FIRE EXTINGUISHER CABINET

CAULKING

BOTH WAYS

CONTROL JT.

BUILT UP ROOFING

CONCRETE MASONRY UNIT

BD.

BLDG

B.M.

CLKG.

CLR.

DIAG.

EMER

ENCL

EQUIP

F.D.C

FDN.

F.H.C.

FND.

F.O.B.

F.O.C.

FTG.

FURR.

GALY

H/C

HDME.

HORIZ.

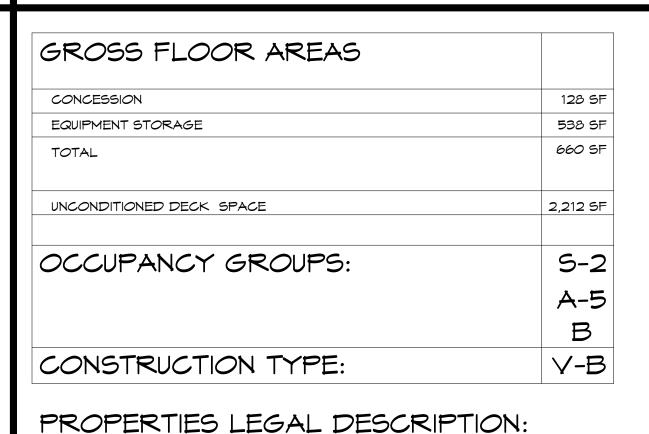
APPROXIMATE

ARCHITECTURAL

ACOUSTICAL CEILING TILE

ABOVE FINISHED FLOOR

PROJECT DATA



SOLAR RANCHES #2B OUTLOT A

PROJECT DIRECTORY

OWNER CONTACT:

ELIZABETH BOONE

(970) 259-9474

DURANGO, CO 81301

SIM SECTION:

SECTION NUMBER

DETAIL NUMBER

SHEET NUMBER

COLUMN GRID

COLUMN LINE

CENTER LINE

DOOR DESIGNATION

MINDOM DESIGNATION

SHEET NUMBER

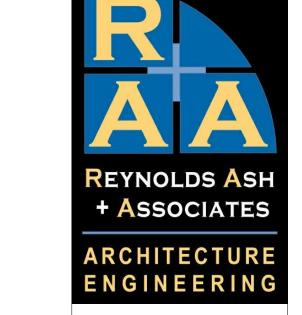
DETAIL:

REYNOLDS ASH + ASSOCIATES

1140 MAIN AVENUE, SUITE B

RIDGWAY ATHLETIC PAVILION

6579 COUNTY ROAD 23 RIDGWAY, CO 81432



DURANGO, CO 81301 (970) 259 - 7494 FAX (970) 259 - 7492

262 PAGOSA STREET, STE, 200 P.O. BOX 96 (970) 264 - 6884 RA-AE.COM

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MANUFACTURER'S INSTRUCTIONS C. AT MASONRY VENEER, PROVIDE FLEXIBLE MEMBRANE FLASHING AT THE BASE OF ALL WALLS AND AT WINDOW AND DOOR HEADS. PROVIDE PVC WEEPS AT 24 INCHES O.C. DIRECTLY ABOVE THE

VI. PROJECT MORKMANSHIP:

Y. PROJECT CONSTRUCTION

ONE LAYER 30# FELT AT MASONRY VENEER

B. ALL WINDOWS SHALL BE FLASHED ACCORDING TO THE

A. ALL FRAMED WALLS SHALL HAVE AN EXTERIOR MOISTURE

TYVEK OR EQUAL AT WOOD SIDING OR HARDI-PLANK SIDING

REQUIREMENTS:

TWO LAYERS 15# FELT AT STUCCO

BARRIER AS FOLLOWS:

A. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT

B. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

C. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE SUBCONTRACTOR.

D. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.

E. SUBCONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SMEPT CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETEION OF THE WORK, LEAVE THE JOB STE FREE OF ALL MATERIALS AND BROOM CLEAN

F. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING

5579 COUNTY ROAD 2 RIDGWAY, CO 81432

4

 \simeq

2020-02-24 DRAWN BY: RA+A

ISSUE RECORD:

REVISIONS:

G-101

APPENDICES E, I and J TOWN OF RIDGWAY REYNOLDS ASH + ASSOCIATES 2018 INTERNATIONAL MECHANICAL CODE SHAY COBURN - TOWN PLANNER TRACY REYNOLDS 2018 INTERNATIONAL PLUMBING CODE 201 N. RAILROAD STREET 1140 MAIN AVENUE, SUITE B 2018 NATIONAL ELECTRIC CODE RIDGWAY, COLORADO 81432 DURANGO, CO 81301 2018 INTERNATIONAL FIRE CODE (970) 626-5308 ext. 222 (970) 259-9474 2018 INTERNATIONAL ENERGY CONSERVATION CODE

EXTERIOR ELEVATION:

ELEVATION NUMBER

INTERIOR ELEVATION:

- ELEVATION NUMBER

ELEVATION TAG

NORTH ARROW

ROOF SLOPE INDICATION

SHEET NUMBER

SHEET NUMBER

SURVEYOR ORION SURVEYING LLC PETER C. SAUER, PLS 38135 23414 UNCOMPAHGRE ROAD MONTROSE, COLORADO 81403

(970)249-5349

Elevation

DIMENSION LINE TO WALL OR OTHER

ARCHITECTURAL SYMBOLS

STRUCTURAL ENGINEER:

GENERAL/CONTRACT REQUIREMENTS:

GENERAL NOTES:

APPLICABLE CODES:

2018 INTERNATIONAL BUILDING CODE

SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.

B. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY THE OWNER.

. SUBCONTRACTOR MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES.

. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED MORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES MORKING SIMULTANEOUSLY OR FOLLOWING THEM.

. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.

III. PROJECT LAYOUT REQUIREMENTS:

A. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE DRAWINGS.

B. DIMENSIONING IS AS FOLLOWS, UNLESS OTHERWISE NOTED: CENTERLINE OF COLUMNS FACE OF CONCRETE FACE OF MASONRY

EXTERIOR FACE OF STUD AT EXTERIOR WALLS FACE OF STUD AT INTERIOR STUD WALLS CENTER OF WINDOW AND DOOR OPENINGS

C. ALL FINISH FLOOR ELEVATIONS ARE TO TOP OF SLAB OR TOP OF SHEATHING, U.N.O.

D. ALL STEPS SHALL HAVE 7" MAXIMUM RISERS AND 11" MINIMUM TREADS U.N.O OR SPECIFIED DIFFERENTLY ON THE DRAWINGS.

E. ALL INTERIOR FEATURES SHOWN ARE CONCEPTUAL. VERIFY SHAPE, HEIGHT AND DISTANCE OFF FINISH FLOOR WITH OWNER AND ARCHITECT AT CONSTRUCTION PHASE.

IV. LIFE SAFETY REQUIREMENTS:

A. SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: GLAZING IN SWINGING DOORS

GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS HOT TUBS, WIRLPOOLS, ETC.

GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS MITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF A DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. GLAZING MEETING ALL OF THE FOLLOWING:

. EXPOSED AREA, 9 S.F 2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR 3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE

4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY

OF THE GLAZING GLAZING IN GUARDRAILS AND RAILINGS. GLAZING ADJACENT TO STAIRWAYS OR RAMPS.

DRAWING INDEX

01_GENERAL		
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G-102	CODE PLAN	
02_SITE		
AS-101	SITE PLAN	
AS-102	SITE SURVEY	
AS-103	SITE PLAN OVERALL	
03_LANDSCAPE		
L-101	LANDSCAPE PLAN	
ARCHITECTURAL		
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A-201	EXTERIOR ELEVATIONS	
A-202	EXTERIOR ELEVATIONS	
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A-302	MALL SECTIONS	
STRUCTURAL		
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5-202	FOUNDATION DETAILS	
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5-3 <i>0</i> 2	ROOF FRAMING PLAN	

0

- EARTH - RIGID INSULATION

WOOD BLOCKING - PLYWOOD/SHEATHING

MATERIALS LEGEND

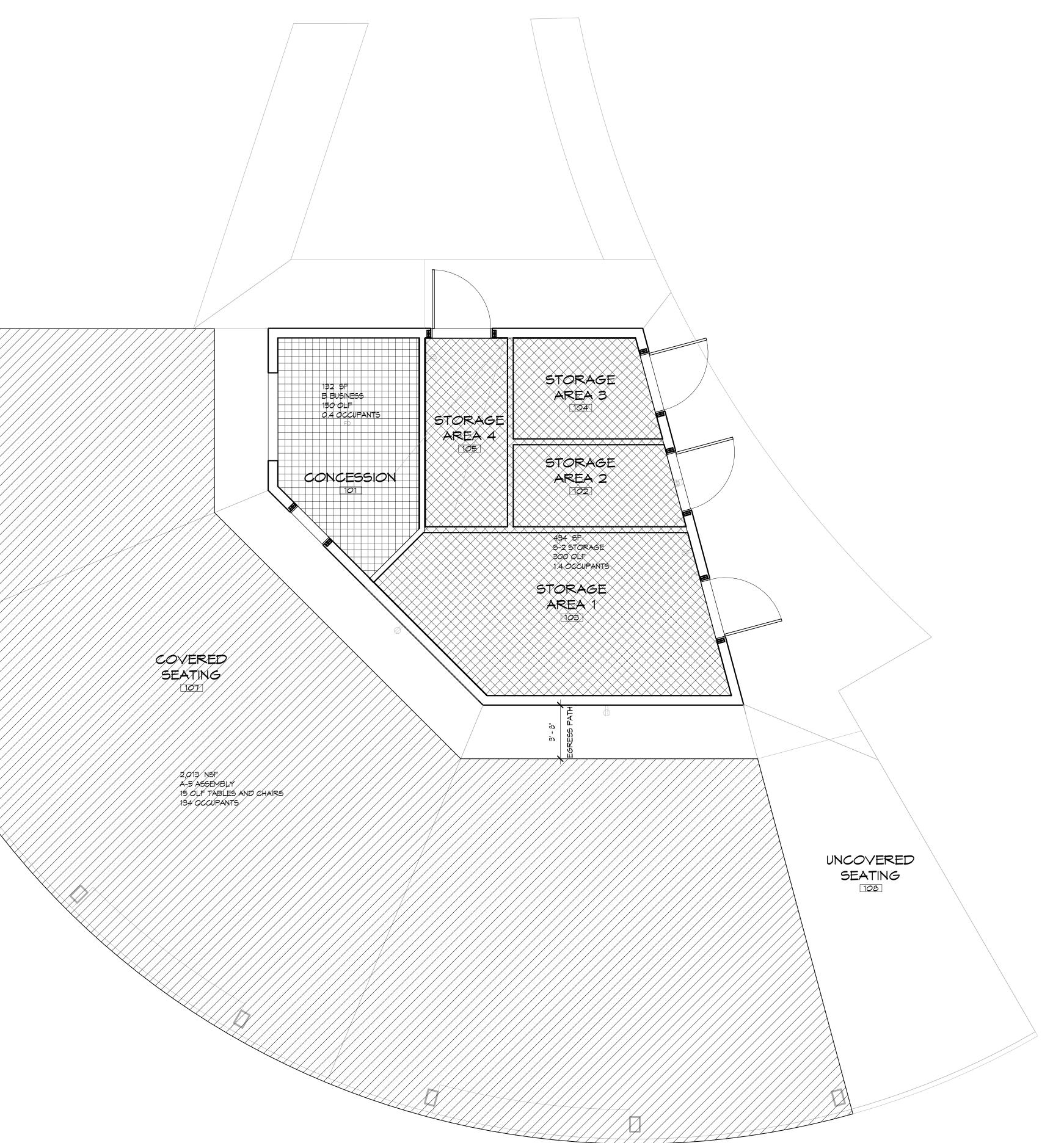
- CONCRETE

- GYPSUM BOARD

JOB. NO.: DATE:

2020-02-24 PERMIT SE'

COVER SHEET



<u>APPLICABLE CODES:</u> 2018 INTERNATIONAL BUILDING CODE APPENDICES E, I and J 2018 INTERNATIONAL MECHANICAL CODE

2018 INTERNATIONAL PLUMBING CODE 2018 NATIONAL ELECTRIC CODE 2018 INTERNATIONAL FIRE CODE

2018 INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY GROUPS:

B: BUSINESS (LESS THAN 50 OCCUPANTS) *S-2: NON-COMBUSTABLE STORAGE *A-5: ASSEMBLY OUTDOOR VEIWING

*NON SEPARATED USES WITHIN ALLOWABLE AREA OF THE MOST RESTRICTIVE

CONSTRUCTION TYPE: V-B NON SPRINKLERED

ALLOMABLE AREAS/HEIGHTS:

B = 9,000 SF PER FLOOR, 2 STORIES, 40' MAX HEIGHT *A-5 = UNLIMITED SF PER FLOOR, UNLIMITED STORIES, 40' MAX HEIGHT *S-2 = 13,500 SF PER FLOOR, 2 STORIES, 40' MAX HEIGHT

TOTAL AGGREGATE AREA = 2,872 GSF

TOTAL STORIES = 1 ABOVE GRADE

TOTAL HEIGHT: 18'-3" FROM GRADE PLANE

FIRE RESISTANCE REQUIREMENT FOR BUILDING ELEMENTS (TABLE 601):

TYPE V-B: STRUCTURAL FRAME: O BEARING WALLS (EXT): O BEARINGSMALLS (INT.): O NON-BEARING WALLS (INT.): O FLOOR CONSTRUCTION: O ROOF CONSTRUCTION: O

FIRE RESISTANCE REQUIREMENT FOR EXTERIOR WALLS (TABLE 602):

FIRE SEPARATION 5 < X: 1 FIRE SEPARATION 5< X > 10': 1 FIRE SEPARATION 10< X > 30': 0 FIRE SEPARATION X < 30': 0

**NO EXTERIOR WALL FIRE PROTECTION REQUIRED PER SECTION 705.8

MAXIMUM AREA OF EXTERIOR WALL OPENINGS: NORTH, EAST, SOUTH, WEST : UNLIMITED OPENINGS WALLS > THAN 30' FROM PROPERTY LINE

FIRE PROTECTION SYSTEMS: NOT REQUIRED PER SECTION 903.2.1.5

BUILDING AREAS OCCUPANT LOAD: (TABLE 1004.1.2)

USE	NET	OCC. FACTOR	OCCUPANTS
COVERED SEATING	2,013 SF	14	134.4
STORAGE	434 GSF	300	1. 4
CONSESSION	132 GSF	15 <i>0</i>	0.4
TOTAL			136.2

MEANS OF EGRESS:

EGRESS WIDTH REQUIRED:

MAIN FLOOR = 136.2 OCCUPANTS X .3" PER OCCUPANT = 40.8" MAX COMMON PATH SPACES WITH 1 EXIT (TABLE 1006.2.1) = 100' MAX TRAVEL DISTANCE (TABLE 1017.2) = 200'

MEANS OF EGRESS IDENTIFICATION: ILLUMINATED EXIT SIGNS REQUIRED AT EACH EXIT - SEE ELECTRICAL

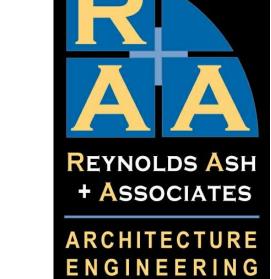
RESTROOM REQUIREMENTS: (PER TABLE 2902.1)

FIXTURES REQUIRED: FIXTURES PROVIDED: A-5 OCC.: 136.2 OCCUPANTS

MOMEN M.C. 1 PER 40 = 2 2 (1 ADA) MEN W.C. 1 PER 75 = 1 2 (1 ADA) 1 PER 150 = 1 1 ADA 1 ADA MOMEN LAY. 1 PER 200 = 1 MEN LAY.

DRINKING FOUNTIAN 1 PER 1,000 = 1 SERVICE SINK

W.C., LAV., AND DRINKING FOUNTIAN PROVIDED IN EXISITNG ADJACENT BUILDING ON SAME LOT



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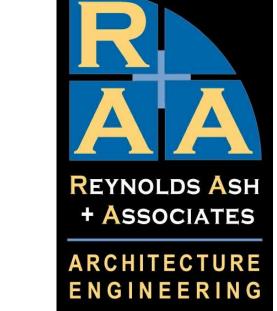
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G-102

CODE PLAN

MAIN FLOOR PLAN CODE



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AD 23

6579 COUNTY ROAD 23 RIDGWAY, CO 81432

B. NO.: 19175 TE: 2020-02-24

RIDGWAY

DRAWN BY: RA+A

ISSUE RECORD: 2020-02-24 PERMIT SET

REVISIONS:

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SITE PLAN

6579 COUNTY ROAD 23 RIDGWAY, CO 81432

REYNOLDS ASH

+ ASSOCIATES

ARCHITECTURE

ENGINEERING

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BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH
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Bearing and Coordinates base on the 'Official Boundary Plat of Town of Ridgway, Colorado' Recorded at Reception No. 121979 in the Office of the Ouray County Clerk and Recorder.

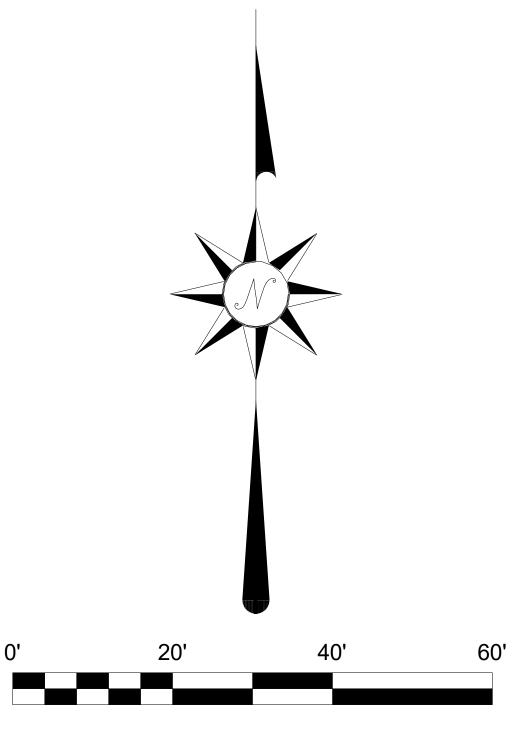
P.L.S. 38135

NOTE

1. Project Benchmark chiseled 'X' on south side of restrooms, Elevation 7017.51.

NOTICE

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



TOPOGRAPHIC SURVEY

I, Peter C. Sauer, being a Professional Land Surveyor in the State of Colorado, do hereby certify that this Topographic Survey of PORTIONS OF TOWN OF RIDGWAY ATHLETIC PARK, COUNTY OF OURAY, STATE OF COLORADO, was made January 23, 2020 by me and checked by me and that both are accurate to the best of my knowledge., it does not constitute a Land Survey Plat or an Improvement Survey Plat as defined by section 38-51-102 Colorado Revised Statute.

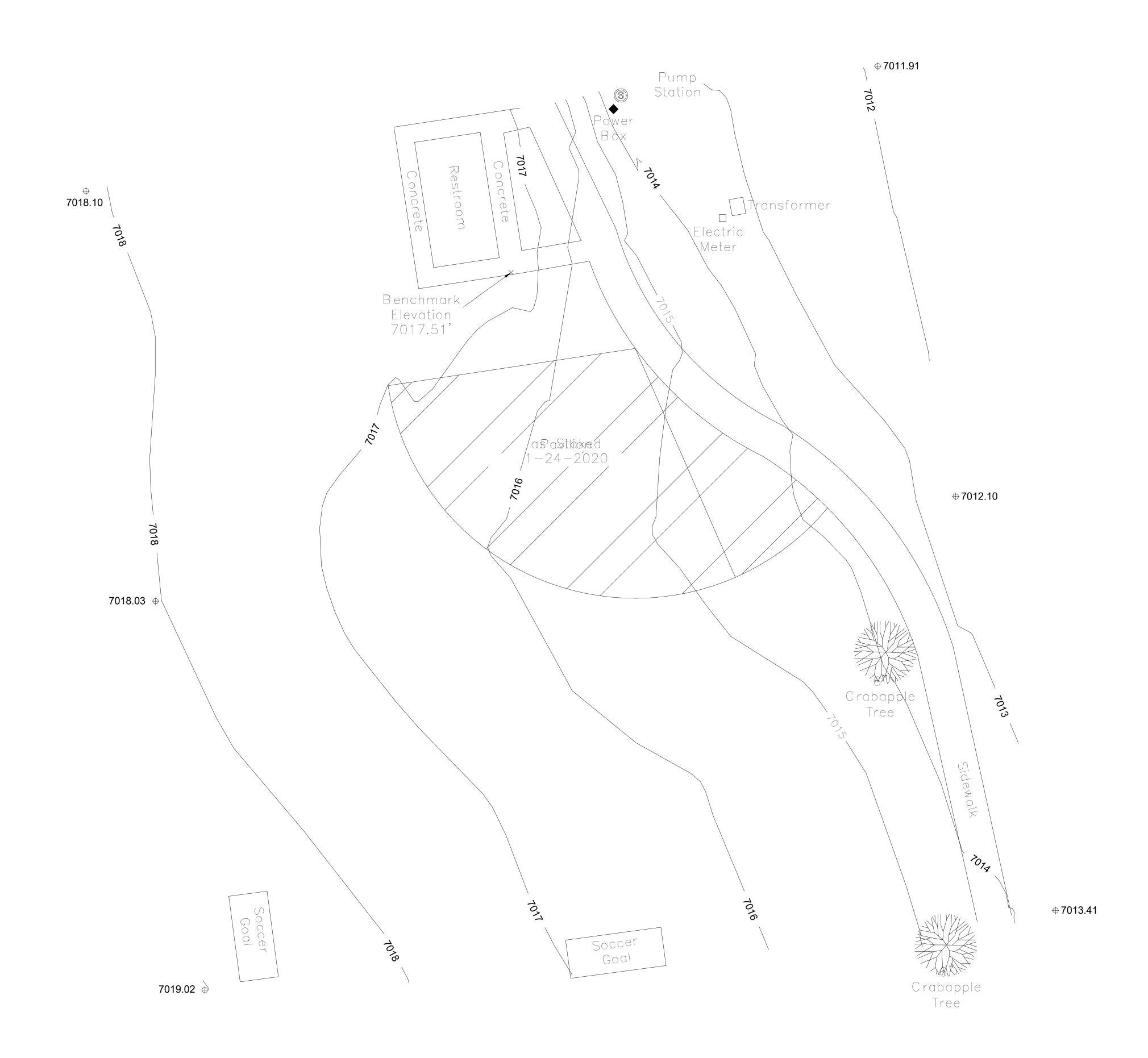
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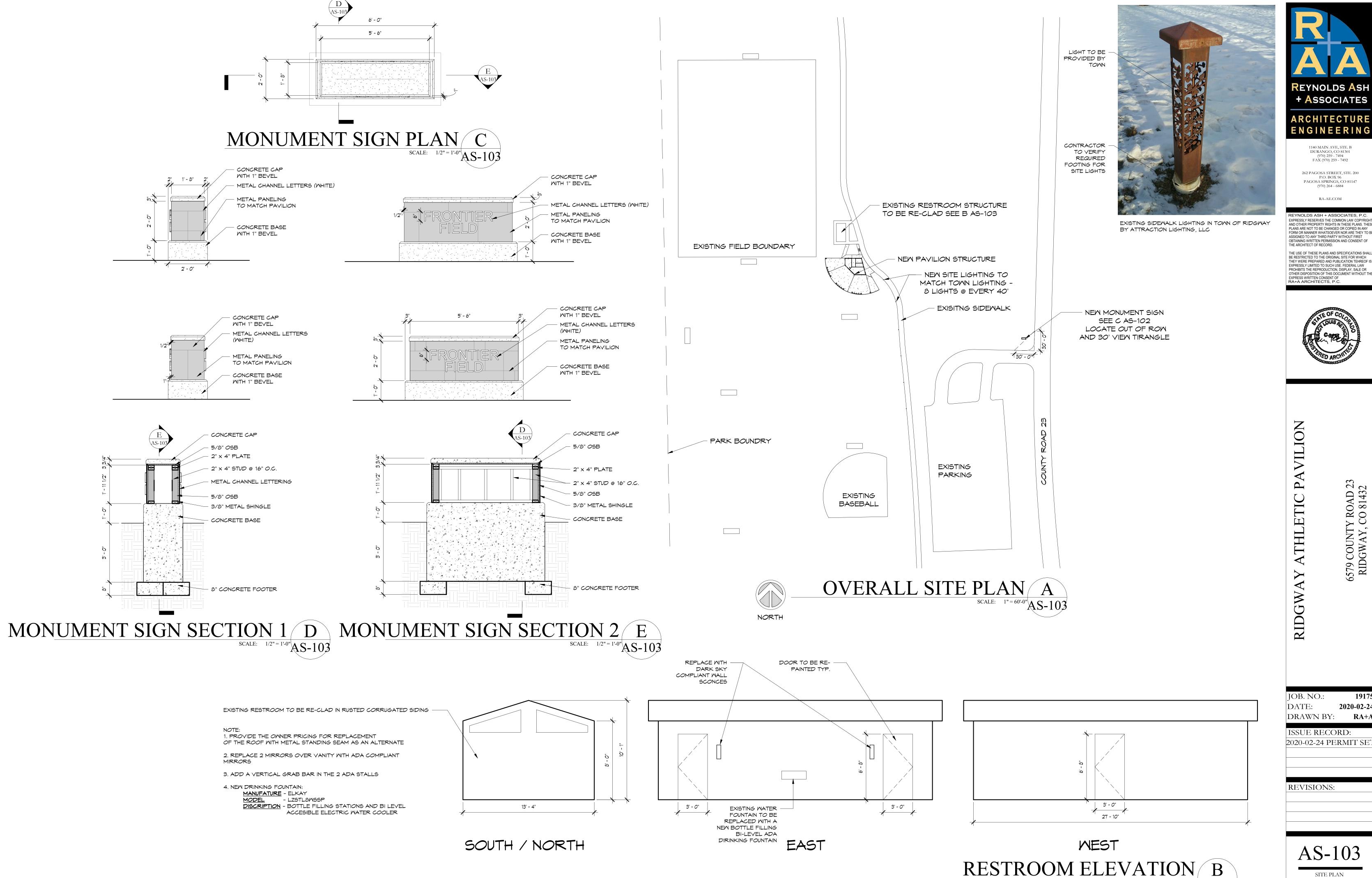
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AS-102 SITE SURVEY





REYNOLDS ASH + ASSOCIATES ARCHITECTURE ENGINEERING

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JOB. NO.: 19175 2020-02-24 DATE: DRAWN BY: RA+A

ISSUE RECORD: 2020-02-24 PERMIT SET

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AS-103 SITE PLAN OVERALL

PLANT SCHEDULE

T- TREE	**	NOT ALL TY	PES MAY BE USED.			TREE NAME $T-3$ G
KEY	SIZE	BOTAN	ICAL NAME	COMMON NAME		REMARKS
T-1	2" CAL.	ACER SAC	CHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR	MAPLE	
T-2	13/4" CAL.	ACER GINN	ALA	AMUR MAPLE		
Shade Tree	alt. option	TILIA COR	DATA	LITTLE LEAF LINDEN		
	tree alt. option	CORNUS F	LORIDA 'Rubra'	PINK DOGWOOD		
Ornamental	Evergreen option	PINUS NIGE	RA .	AUSTRIAN PINE		
S- SHR	,					PLANT NAME $\frac{T-3}{6}$
KEY	SIZE	BOTAN	NICAL NAME	COMMON NAME		REMARKS
5-1	5-7 GAL.	BUDDLEIA	DAVIDII	BUTTERFLY BUSH		
5-2	5-7 GAL.	POTENTIL	_A 'JACKMAN'	JACKMAN'S POTENTILLA		
5-3	5 GAL.		CALAMAGOSTIS X ACUIFLORA 'KARL'	KARL FORESTER REED G	FRASS	
Larae Shru	ub Alt. Option	SPIRE	X YGOLDMOUND'	GOLDMOUND SPIREA		
	Shrub Alt. Option		CARPOS OREOPHILUS	MOUNTAIN SNOWBERRY		
	al. Grass Alt. Option	ORYZO	PSIS HYMENOIDES	INDIAN RICE GRASS		
G- GROUND COVERS					GF	ROUNDCOVER TYPE G-1
KEY	DESCRIPTION	1	REMARKS		\ /	
HYDRONIC MULCHING- NATIVE GRASS THE LANDSCAPE CONTRACTOR SHALL FINISH GRADE THESE AREAS AN MECHANICAL SEED SPREADING PROCESS SUFFICIENTLY TO					\ /	

RECEIVE MULCH.

PLANT LEGEND

CEDAR MULCHING

T-1 SHADE TREE--SEE SCHEDULE

S-1 LARGE SHRUB--SEE SCHEDULE

T-2 ORNAMENTALTREE--SEE SCHEDULE

S-2 LARGE SHRUB--SEE SCHEDULE

S-3 ORNAMENTAL GRASS--SEE SCHEDULE

LANDSCAPE PLAN GENERAL NOTES :

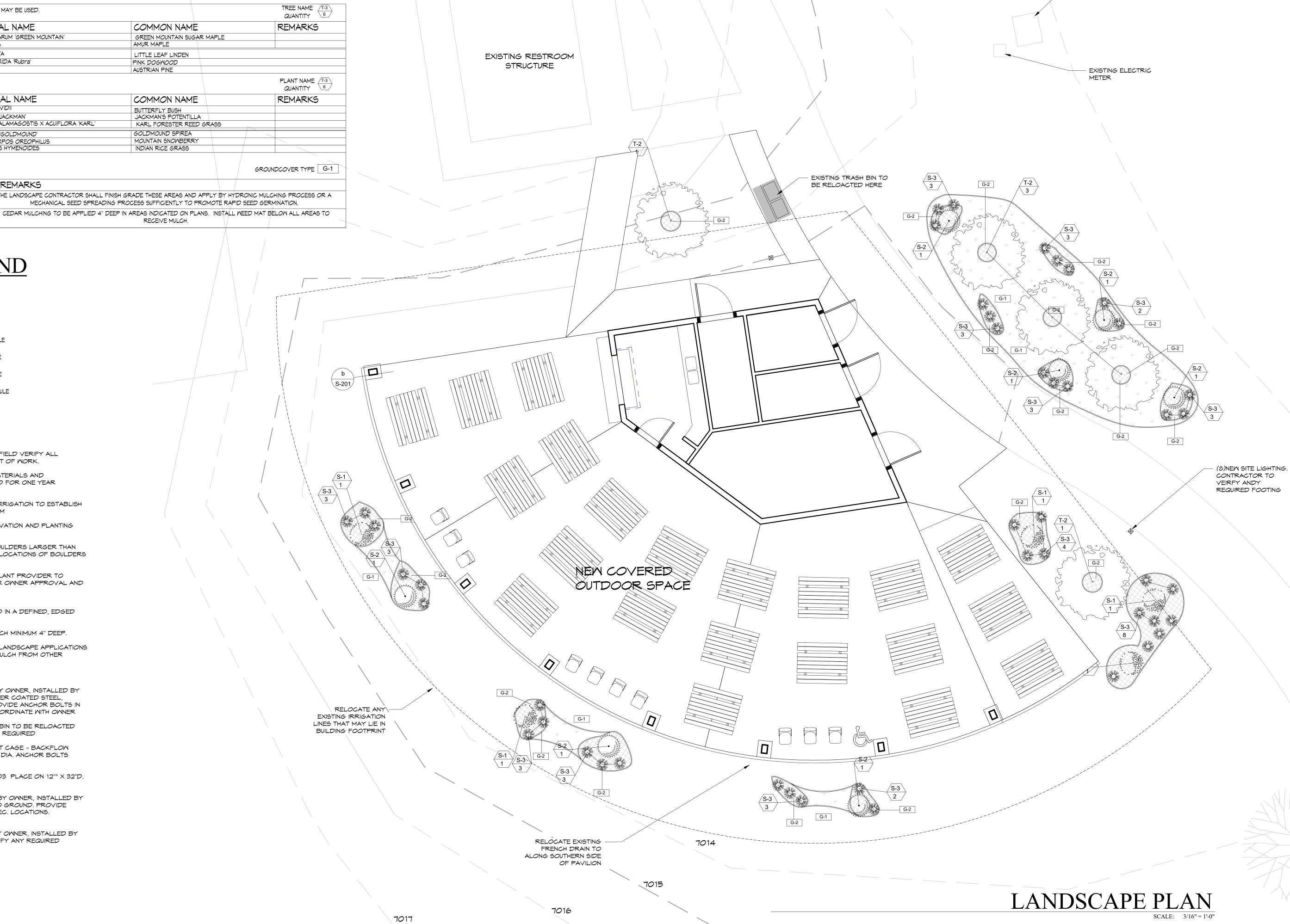
- LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- 2. ALL PLANTINGS, IRRIGATION MATERIALS AND MORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING ACCEPTANCE.
- 3. PROVIDE AUTOMATIC, TIMED, IRRIGATION TO ESTABLISH PLANTS. CONNECT TO EXISTING SYSTEM
- 4. FOLLOW CITY/COUNTY PRESERVATION AND PLANTING GUIDELINES.
- 5. PRESERVE ALL EXCAVATED BOULDERS LARGER THAN APPX. 2' FOR LANDSCAPING. VERIFY LOCATIONS OF BOULDERS WITH OWNER OR ARCHITECT.
- 6. XERISCAPE IS THE INTENTION, PLANT PROVIDER TO VERIFY. SUBSTITUTIONS ALLOWED PER OWNER APPROVAL AND NURSERY EXPERTISE.
- 7. ALL PLANTINGS TO BE PLANTED IN A DEFINED, EDGED AREA OF MULCH.
- 8. SPREAD SHREDDED BARK MULCH MINIMUM 4" DEEP.
- 9. STEEL EDGER, DESIGNED FOR LANDSCAPE APPLICATIONS SHALL SEPARATE SHREDDED BARK MULCH FROM OTHER

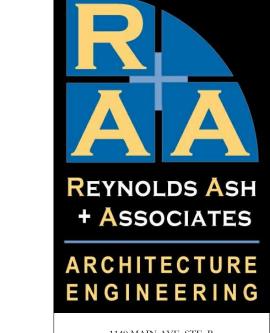
LANDSCAPE PLAN GENERAL NOTES :

1. PICNIC TABLES: TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR THERMOPLASTIC POWDER COATED STEEL, MOUNTED SECURELY TO GROUND. PROVIDE ANCHOR BOLTS IN SLAB AT MANUF. REC. LOCATIONS. COORDINATE WITH OWNER

2. TRASH CAN: EXISTING BEARPROOF BIN TO BE RELOACTED

- PROVIDE 1/2" DIA. ANCHOR BOLTS AS REQUIRED 3. BACKFLOW PREVENTER & VALVE PIT CAGE - BACKFLOW
- ARMOR EKONO303013, PROVIDE 1/2" DIA. ANCHOR BOLTS PER MANUF. SPECIFICATIONS
- 4. PEDESTRIAN LIGHTING PER AS 103 PLACE ON 12"° X 32"D. SONATUBE BASE
- 5. STADIUM SEATS: TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR MOUNTED SECURELY TO GROUND. PROVIDE ANCHOR BOLTS IN SLAB AT MANUF. REC. LOCATIONS. COORDINATE WITH OWNER
- 6. SITE LIGHTING: TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR. CONTRACTOR TO VERIFY ANY REQUIRED FOOTING





EXISTING

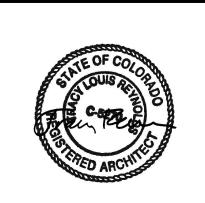
ELECTRICAL BOX

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LANDSCAPE PLAN

NORTH

EXTERIOR WALL: 2x6 STUDS @ 16" O.C. R-19 BATT INSULATION, 2 LAYERS 5/8" OSB EXTERIOR 1 LAYER 5/8" OSB INTERIOR

EXTERIOR WALL @ CONCESSION: 2x6 STUDS @ 16" O.C. R-19 BATT INSULATION, 2 LAYERS 5/8" OSB EXTERIOR 1 LAYER 5/8" OSB & 1 LAYER 1/8" FRP INTERIOR

> INTERIOR WALL: 2X4" WOOD STUDS 5/8"" OSB EA. SIDE

INTERIOR WALL @ CONCESSION: 2X4" MOOD STUDS 5/8"" OSB EA. SIDE 1/8" FRP CONCESSION SIDE TO CEILING

GENERAL FLOOR PLAN NOTES

- A. ALL DIMENSIONS ARE TO FACE OF STUD AT INTERIOR AND EXTERIOR
- B. LOCATE ALL DOORS 5" FROM STUD UNLESS OTHERWISE DIMENSIONED ON PLAN
- C. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING RIGHT-OF-WAY PERMIT FOR UTILITIES & CITY BUILDING PERMIT.
- D. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MEASUREMENTS
- CONTRACTOR MUST FOLLOW TOWN'S STANDARD SPECIFICATIONS AND TYPICAL DRAWINGS FOR INFASTRUCTURE FOR ALL NEW SIDEWALKS, UTILITIES, AND PATH LIGHTING

GENERAL FLOOR PLAN KEYNOTES

- 1. 34" ADA HEIGHT STAINLESS STEEL COUNTERTOP
- 2. 32" HEIGHT SOLID SURFACE COUNTERTOP AND STADIUM SEATS
- 3. STAINLESS STEEL 3 COMPARTMENT SINK
- 4. MOP SINK
- 5. HSS STEEL COLUMN SEE STRUCTURAL
- GLUE LAM BEAM ABOVE SEE STRUCTURAL
- ROLL UP DOOR
- 8. OUTLET
- 9. PICNIC TABLE
- 10. PAINTED METAL DOOR (TYP.)
- GFICI OUTLET ALL OUTDOOR OUTLETS TO BE LOCKABLE
- 12. GFICI OUTLET
- 13. LED LIGHT @8'

REYNOLDS ASH + ASSOCIATES ARCHITECTURE ENGINEERING

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MAIN FLOOR PLAN

GROSS SQUARE FOOTAGE SUMMARY

CONCESSION 131 SF EQUIPMENT STORAGE 419 SF 550 SF TOTAL UNCONDITIONED COVERED SPACE 2,212 SF 622 SF NEW SIDEMALK

NORTH

- A. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8". INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING
- B. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY
- C. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE
- D. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE
- CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL, COLOR TO MATCH OTHER FLASHING. INSTALL OVER ICE AND WATER
- ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKTITE OR EQUAL. NO MASTIC TO SHOW ON

REYNOLDS ASH

+ ASSOCIATES

ARCHITECTURE

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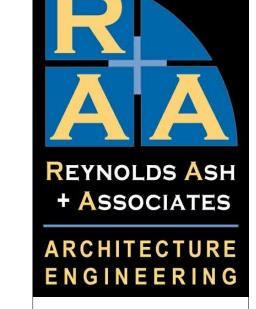
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ROOF PLAN



- CEILING: 5/8" GYP. BRD. CLG APPLIED DIRECTLY TO BOTTOM OF TRUSS.
- 2. TONGUE AND GROOVE PINE CLEAR FINISH



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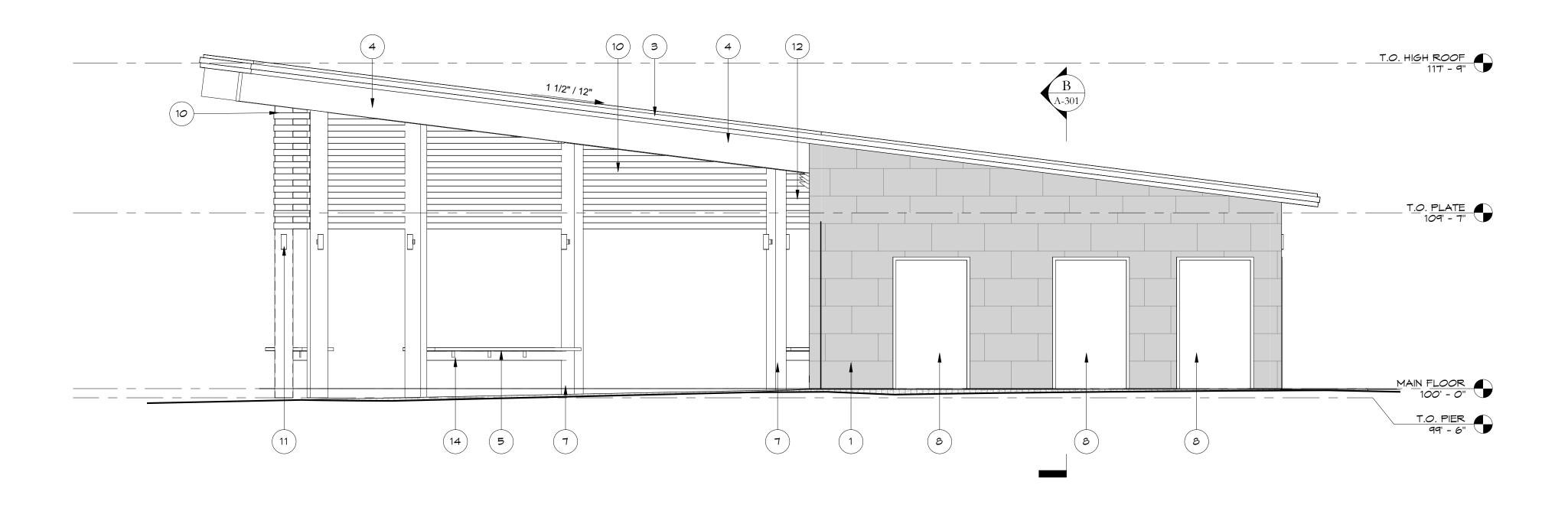
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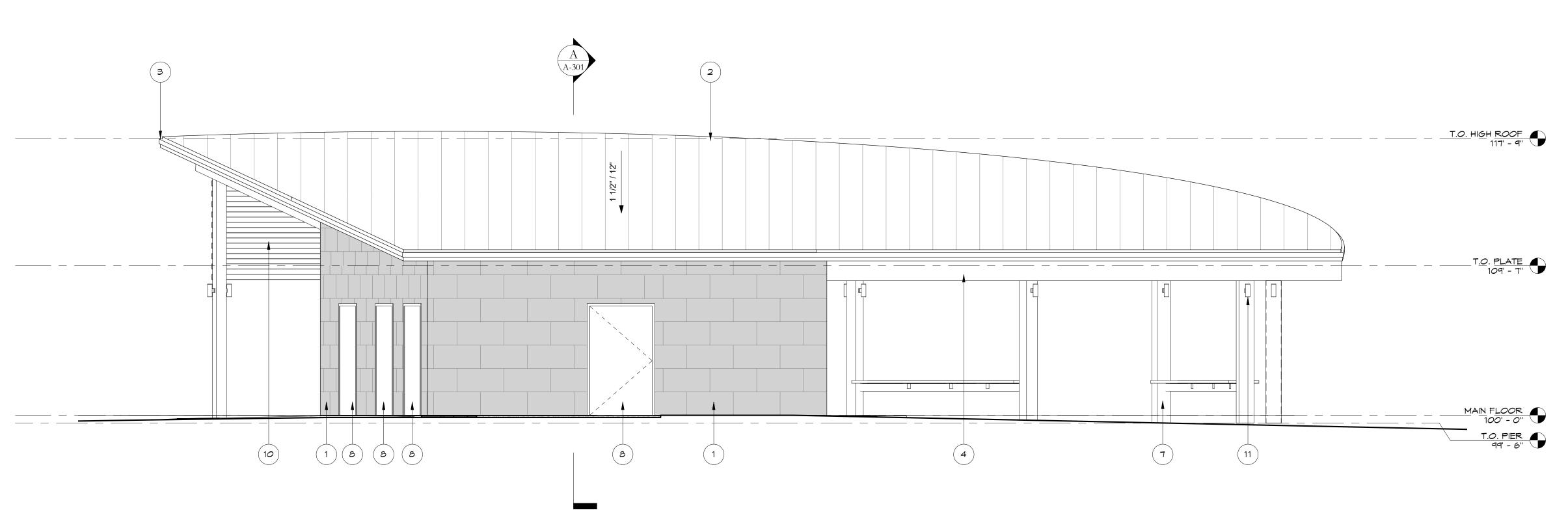
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A-103

REFLECTED CELING PLAN





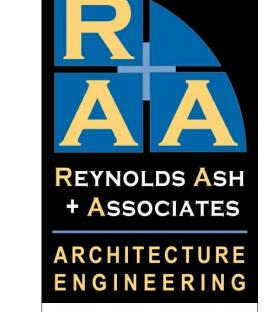


NORTH ELEVATION B

SCALE: 1/4" = 1'-0" A-201

ELEVATION KEYNOTES

- 1. METAL PANEL 18" \times 36" 18 GA. BLACK STEEL SHINGLE PANEL WITH CLEAR SEALER
- CORRUGATED RUSTED METAL ROOF OR
 STANDING SEAM METAL ROOF (ALTERNATE)
 COLOR WEATHERED COPPER
- COMPOSITE FASCIA WITH SHADOWBOARD COLOR: WEATHERED COPPER
- 4. EXTERIOR GLULAM BEAM WITH CLEAR FINISH, SEE STRUCTURAL
- 5. 32" SOLID SURFACE COUNTERTOP, HONED FINISH
- 6. ROLL UP DOOR
- 7. HSS STEEL COLUMN WITH CLEAR SEALER, SEE STRUCTURAL
- 8. PAINTED METAL DOOR
- 9. TONGUE AND GROOVE PINE SOFFIT WITH CLEAR FINISH
- 10. BARE STEEL (RUSTED) SHADE STRUCTURE
- 11. LED LIGHT MOUNTED TO HSS COLUMN (FC LIGHTING, FCC600 SERIES)
- 12. OUTDOOR LED UPLIGHT (BEGA, 24 362)
- 13. LOCKABLE GFICI ELECTRICAL OUTLET, BLACK FINISH
- 14. COUNTERTOP SUPPORT, HSS BEAM WITH BLACKENED STEEL FINISH



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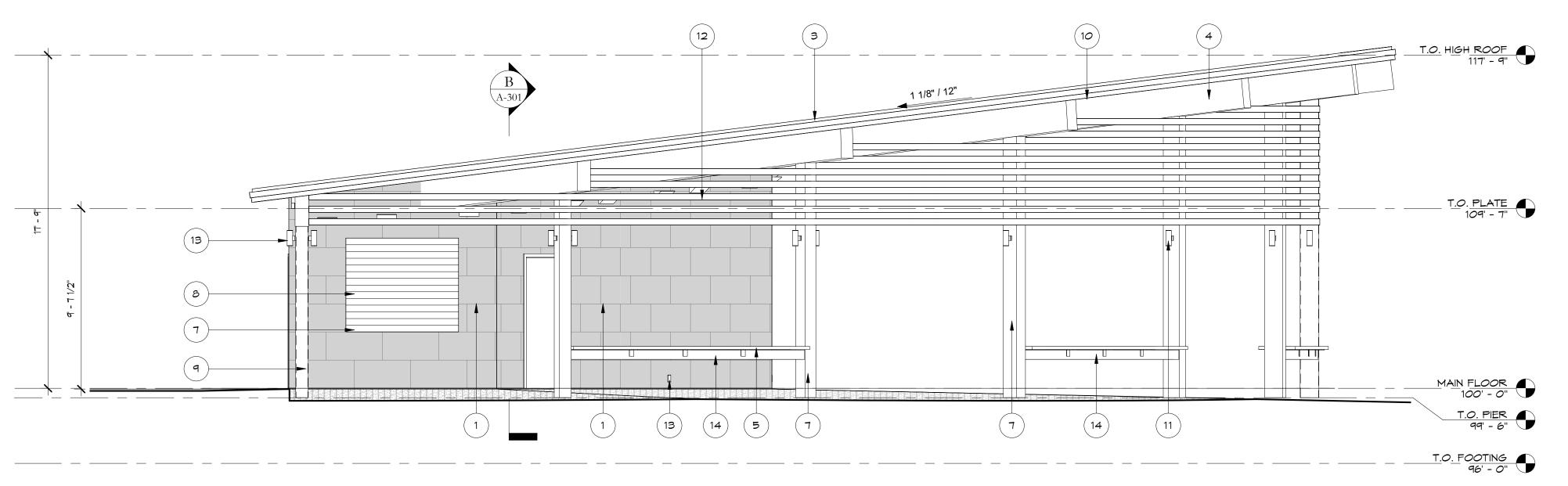
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EXTERIOR ELEVATIONS



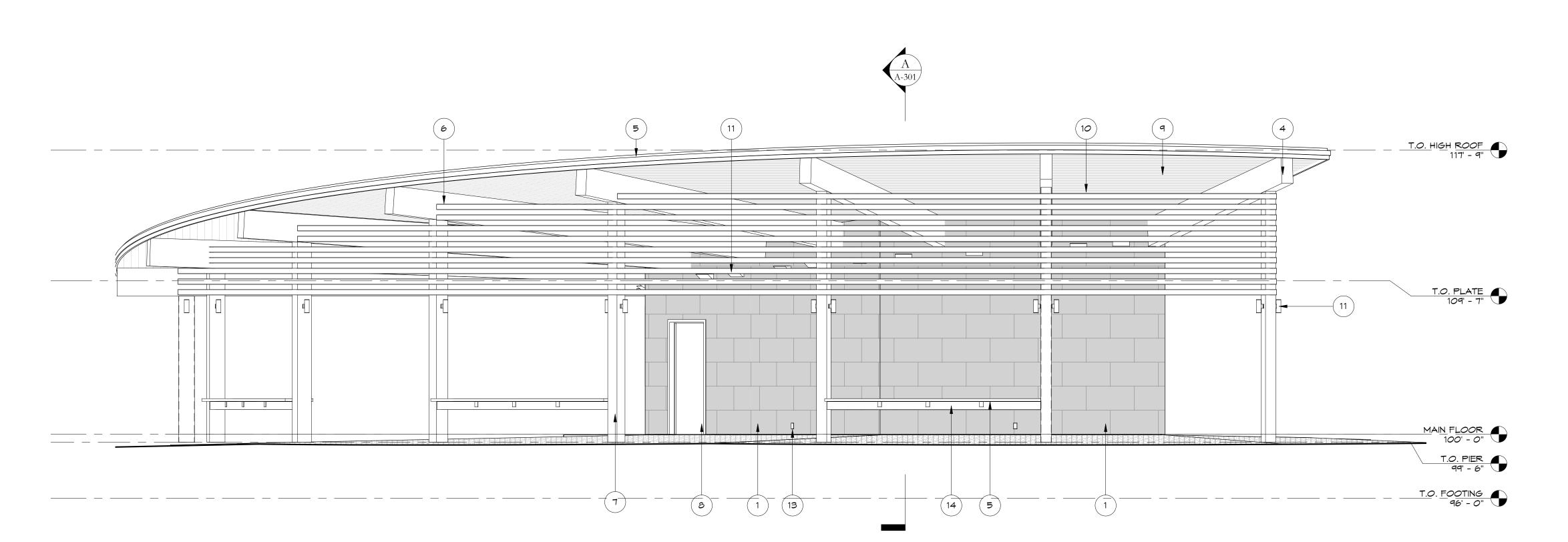
ELEVATION KEYNOTES

- 1. METAL PANEL $18" \times 36"$ 18 GA. BLACK STEEL SHINGLE PANEL WITH CLEAR SEALER
- CORRUGATED RUSTED METAL ROOF OR
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 COLOR WEATHERED COPPER
- COMPOSITE FASCIA WITH SHADOWBOARD COLOR: WEATHERED COPPER
- 4. EXTERIOR GLULAM BEAM WITH CLEAR FINISH, SEE STRUCTURAL
- 5. 32" SOLID SURFACE COUNTERTOP, HONED FINISH
- ROLL UP DOOR
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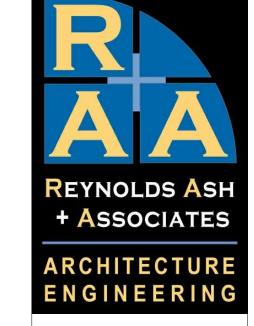
14. COUNTERTOP SUPPORT, HSS BEAM WITH BLACKENED STEEL FINISH



WEST ELEVATION B
SCALE: 1/4" = 1'-0" A-202





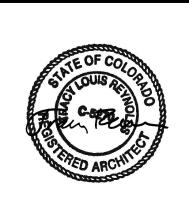


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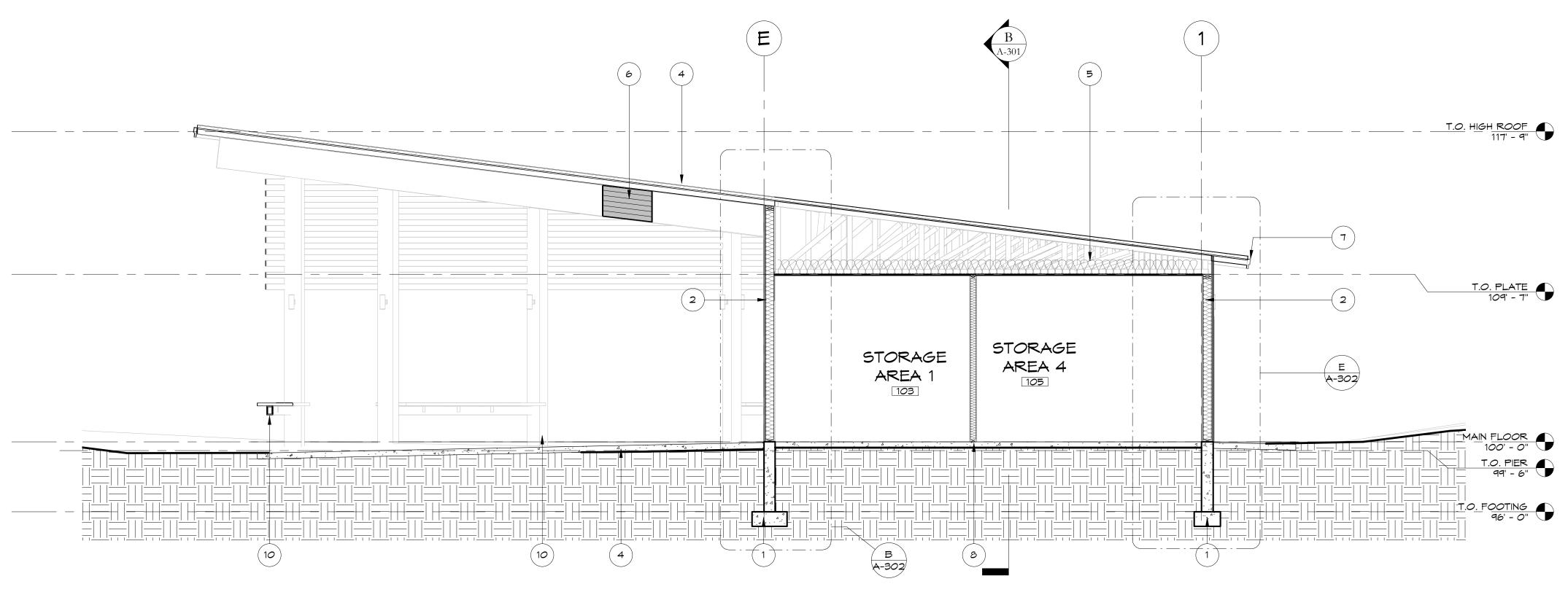
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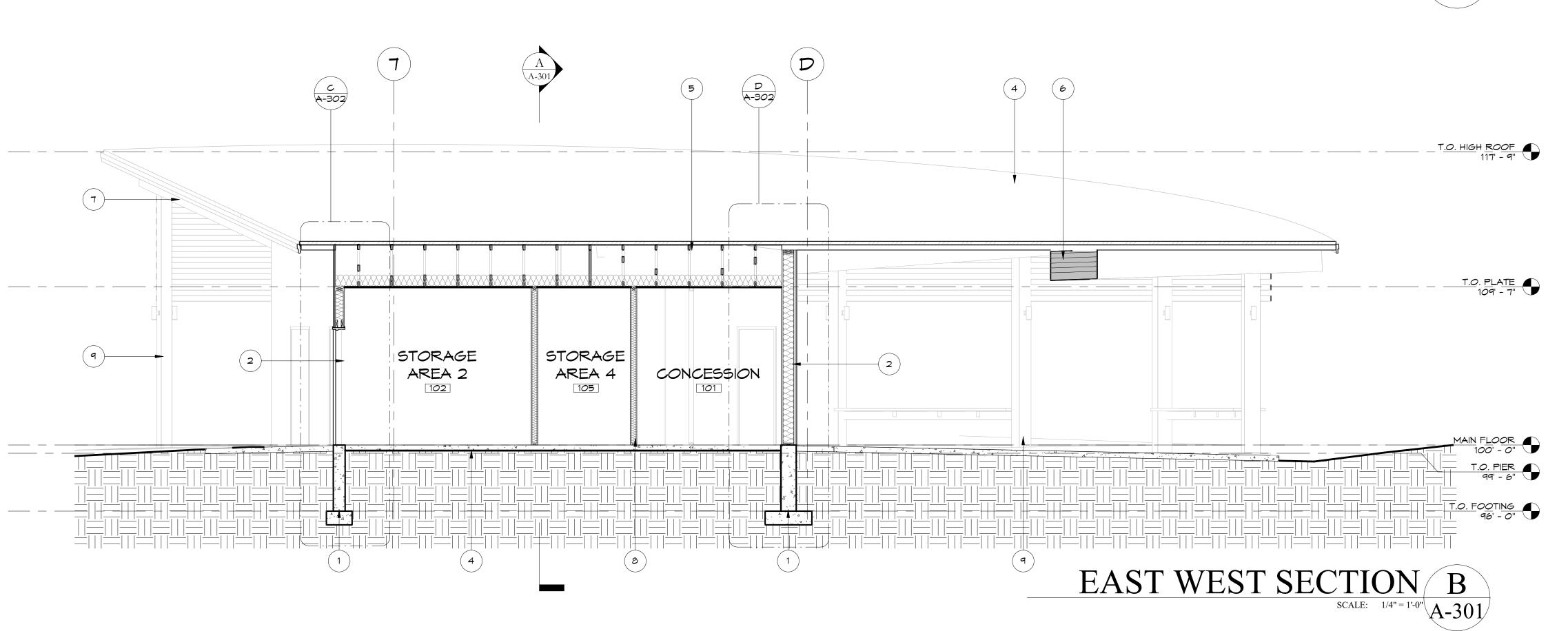
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EXTERIOR ELEVATIONS

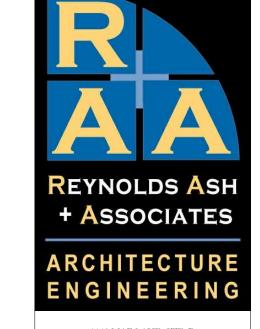


NORTH SOUTH SECTION A SCALE: 1/4" = 1'-0" A-301



BUILDING SECTION KEYNOTES

- 1. STEMMALL & CONCRETE FOOTING
- NEW EXTERIOR WALL CONSTRUCTION: 2" x 6" STUD WALL R-19 BATT INSULATION, 2 LAYERS 5/8" OSB W/ 3/8" METAL SHINGLES EXTERIOR, 5/8" OSB INTERIOR
- 3. 4" CONCRETE SLAB ON GRADE
- 4. RUSTED CORRUGARED METAL ROOF OR 2" STANDING SEAM METAL ROOF (ALTERNATE) WITH TONGUE AND GROOVE PINE SOFFIT
- 5. TRUSSES 24" O.C., 5/8" DRYWALL CEILING, R-49 BATT INSULATION
- EXTERIOR GLULAM BEAM, SEE STRUCTURAL
- 7. COMPOSITE FASCIA AND SHADOW BOARD
- 8. INTERIOR WALLS 2X4 FRAMING 16 O.C., R-49 BATT INSULATION 1/2 GYP. TEXTURED FINISH AND PAINT
- 9. HSS STEEL COLUMNS, SEE STRUCTURAL
- 10. HSS STEEL BEAM COUNTER TOP SUPPORT, SEE STRUCTURAL



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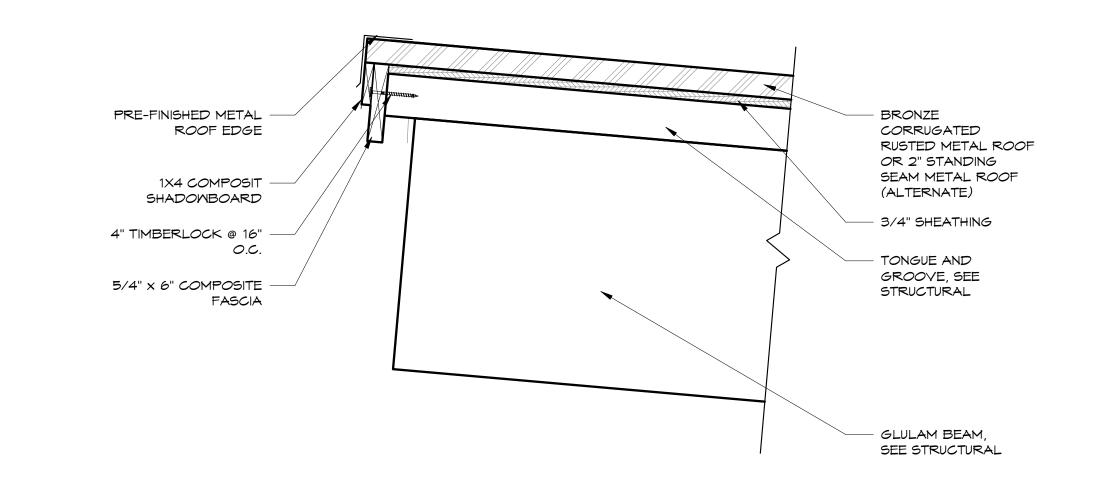
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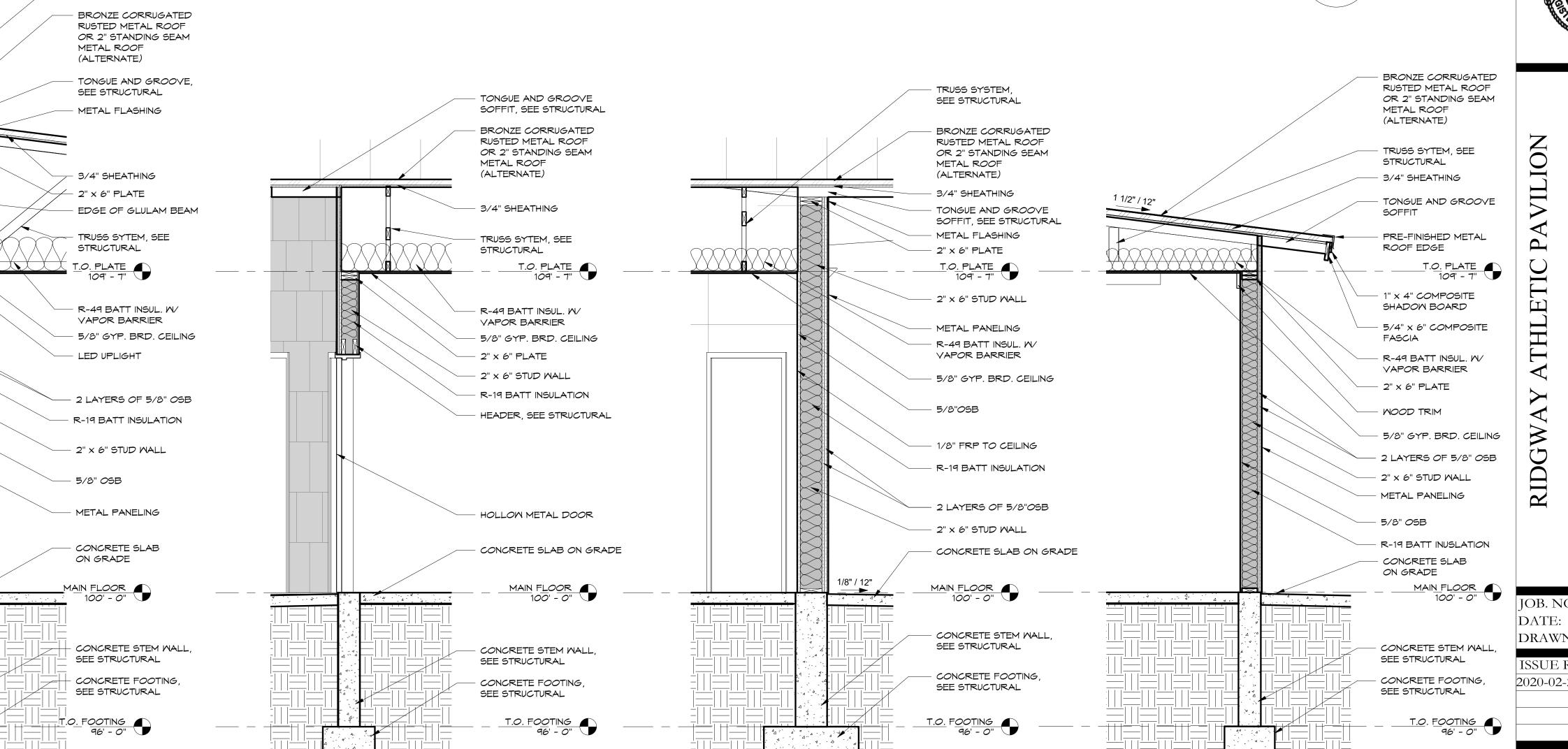
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BUILDING SECTIONS







GLULAM COLUMN A

PRE-FINISHED METAL

ROOF EDGE

1X4 COMPOSIT SHADOMBOARD

CORRUGATED

OR 2" STANDING

3/4" SHEATHING

TONGUE AND

GROOVE, SEE

STRUCTURAL

GLULAM BEAM,

BEAMS

COLUMN

LED DRAKSKY

COMPLIANT LIGHT

SEE STRUCTURAL

SOLID SURFACE

CURVED HSS BEAM

FOR SOUNTER TOP SUPPORT, SEE

4" CONCRETE SLAB

MAIN FLOOR 100' - 0"

T.O. PIER 99' - 6"

CONCRETE PIER, SEE

COUNTER TOP

STUCTURAL

ON GRADE

STRUCTURAL

T.O. FOOTING 96' - 0"

- CONCRETE PIER FOOTING - 2" BELOW

FOUNDATION FOOTING SEE STRUCTURAL

1/4" / 12"

HSS STEEL COLUMN

SEE STRUCTURAL

L BRACKETS FOR

MELDING METAL SHADE SYTEM TO GLULAM

METAL SHADE SYTEM

TO BE WELDED TO HSS

SEAM METAL ROOF (ALTERNATE)

COMPOSITE FASCIA

RUSTED METAL ROOF

1 1/2" / 12"

5/4" × 6"

BRONZE

A-302

BEARING WALL B SCALE: 1/2" = 1'-0" A-302

GLULAM BEAM, SEE

STRUCTURAL

STUD WALL W/ DOOR C

CONCESSION WALL D SCALE: 1/2" = 1'-0" A-302

@ GRID LINE 1 E

SCALE: 1/2" = 1'-0" A-302

WALL SECTIONS

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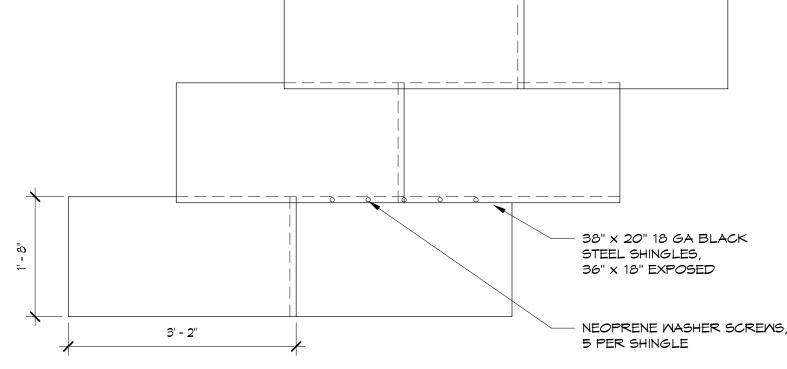
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108	UNCO	VERED S	EATING SEALED	CONCRETE RUBBER	BASE (BL)	ACK) PAINT(MHITE	E) PAINT(MHITE	E) B	LACK METAL FLASHING TO COVE WD P
	'						,	<u>'</u>	
				DOOR SO		:			
						•			
					FRAME		HARDWARE		
MARK	MIDTH	HEIGHT	DOOR TYPE	DOOR FINISH	TYPE	FRAME FINISH	SET	REMARKS	5
101A	3' - 0"	7' - 0"	HOLLOW METAL	PAINT	METAL	PAINT	2		
101B	6' - 0"	5' - 0"	STAINLESS STEEL		METAL		1		
102	4' - 0"	7' - 0"	HOLLOM METAL	PAINT	METAL	PAINT	2		
103	4' - 0"	7' - 0"	HOLLOM METAL	PAINT	METAL	PAINT	2		
104	4' - 0"	7' - 0"	HOLLOW METAL	PAINT	METAL	PAINT	2		

SEALED CONCRETE RUBBER BASE (BLACK) PAINT (WHITE)

FLOOR FINISH

SEALED CONCRETE FRP (WHITE)

PAINT

ROOM FINISH SCHEDULE

SEALED CONCRETE RUBBER BASE (BLACK) PAINT (WHITE) PAINT (WHITE)

SEALED CONCRETE RUBBER BASE (BLACK) PAINT (WHITE) PAINT (WHITE)

SEALED CONCRETE RUBBER BASE (BLACK) PAINT (WHITE) PAINT (WHITE)

SEALED CONCRETE RUBBER BASE (BLACK) PAINT (WHITE) PAINT (WHITE)

METAL PAINT

MALL COV.

FRP (WHITE) PAINT (WHITE)

CLG FINISH

PAINTED MOOD TRIM @ WALL/CEILING(WHITE)

PAINTED MOOD TRIM @ MALL/CEILING(MHITE)

PAINTED WOOD TRIM @ WALL/CEILING(WHITE)

PAINTED MOOD TRIM @ WALL/CEILING (WHITE)

PAINTED MOOD TRIM @ MALL/CEILING(WHITE)

PAINTED WOOD TRIM @ WALL/CEILING (WHITE)

DOOR HARDWARE SCHEDULE

105 4' - 0" 7' - 0" HOLLOW METAL

NO.

102

CONCESSION

STORAGE AREA 2

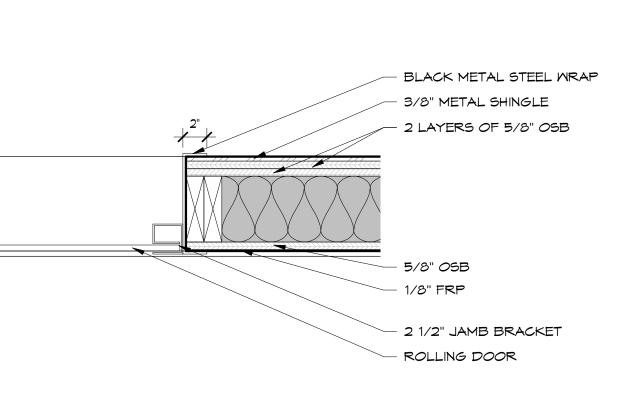
STORAGE AREA 1

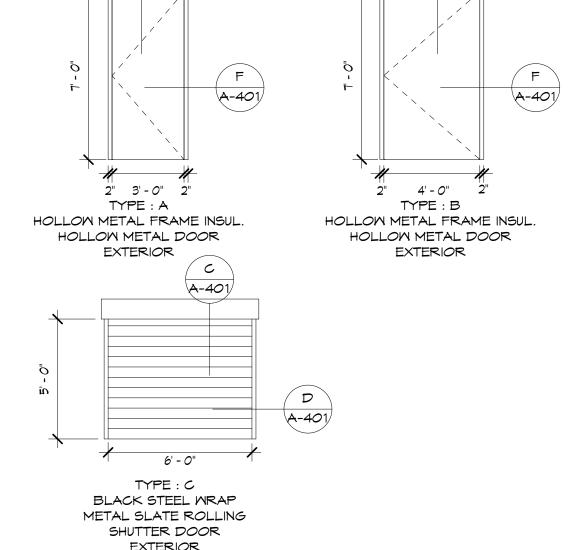
STORAGE AREA 3

STORAGE AREA 4

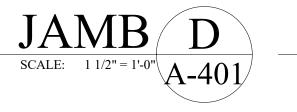
COVERED SEATING

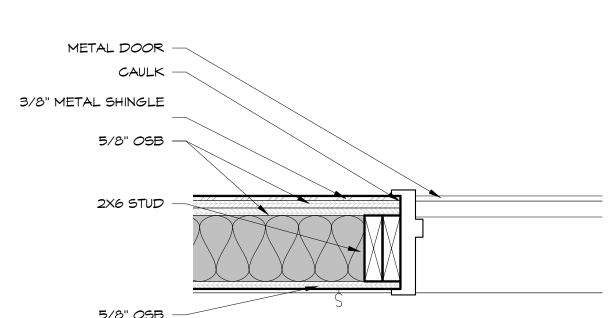
- ROLL UP DOOR: OPENER: MANUAL TRACK: ALUMINUM LOCK: PAD LOCK TO BE PROVIDED BY OWNER
- STORAGE: HINGES-FULL MORTISE DOOR STOP: FLOOR STOP LOCKSET: BATTERY KEYPAD ENTRY EXIT ALWAYS OPEN

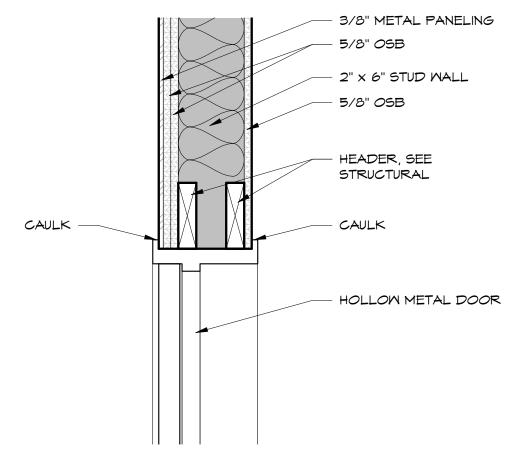




ROLLING COUNTER SHUTTER

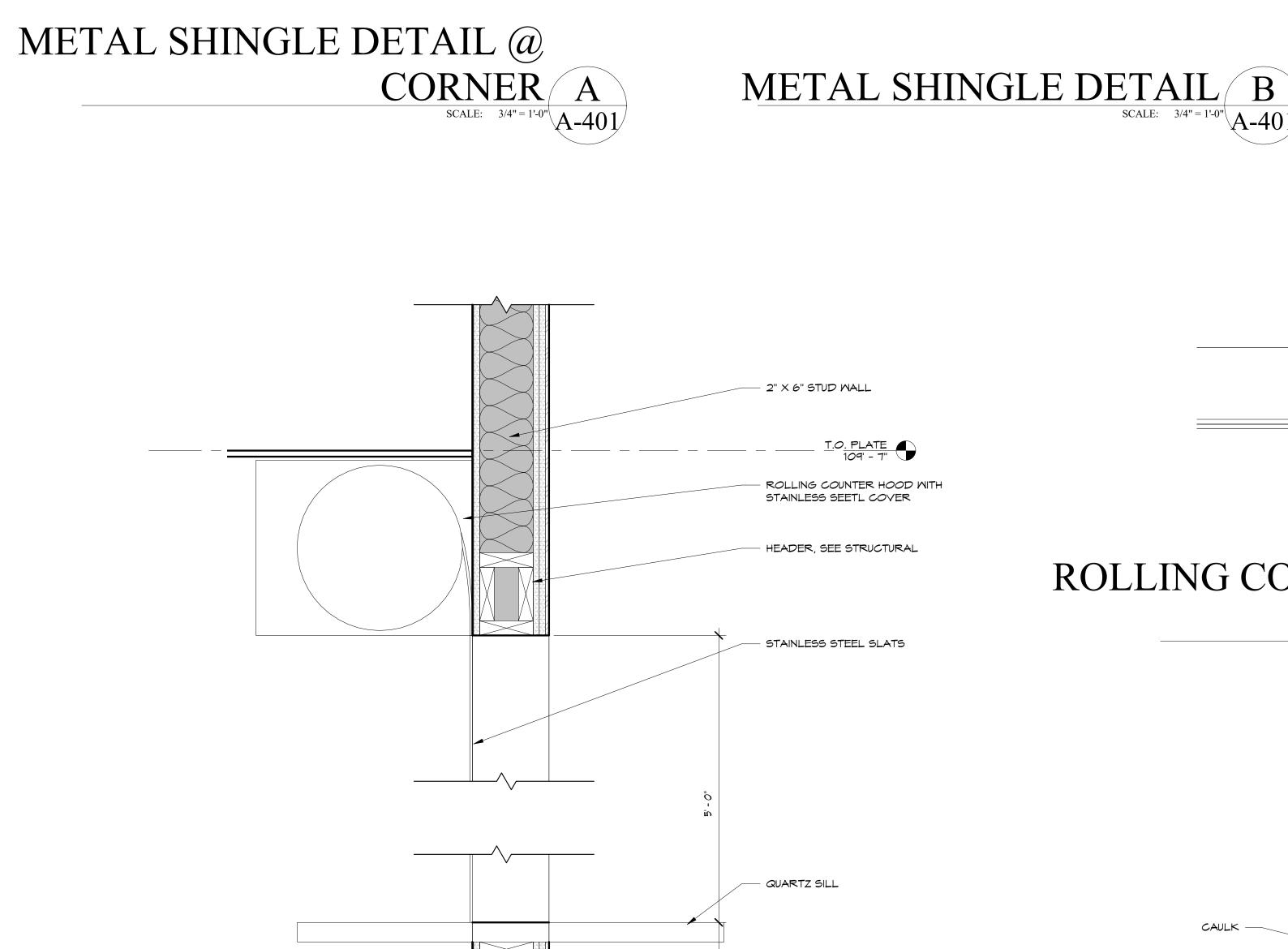






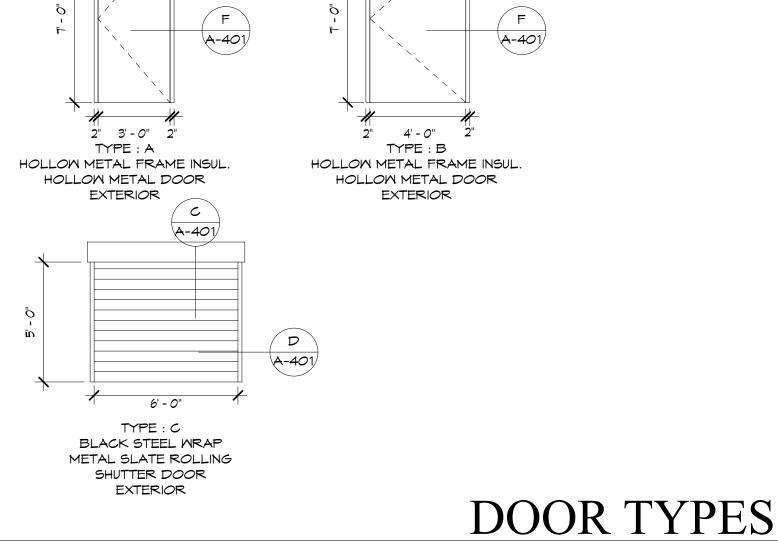






ROLLING COUNTER SHUTTER C

- 2" X 6" PLATE



DRAWN BY:

ISSUE RECORD:

6579 COUNTY ROAD 23 RIDGWAY, CO 81432

2020-02-24

REYNOLDS ASH

+ ASSOCIATES

ARCHITECTURE

ENGINEERING

DURANGO, CO 81301 (970) 259 - 7494 FAX (970) 259 - 7492

262 PAGOSA STREET, STE. 200 P.O. BOX 96 PAGOSA SPRINGS, CO 81147 (970) 264 - 6884

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RA+A ARCHITECTS, P.C.

2020-02-24 PERMIT SET

REVISIONS:

A-401

SCHEDULES

DESIGN LIVE LOADS:

- LIVE LOAD: 100 PSF (MINIMUM) FLOOR - DEAD LOAD: 50 PSF - LIVE LOAD: 40 PSF - DEAD LOAD: 15 PSF (MINIMUM)

GROUND SNOW LOAD: 72 PSF

SEISMIC CRITERIA

1e = 1.0Ss = 0.350 5i = 0.089SITE CLASS "D" 5ms = 0.5315m1 = 0.213

SEISMIC DESIGN CATEGORY = "C" 5ds = 0.3545d1 = 0.142

WIND DESIGN

lw = 1.0: = 1.0: Kzi = 1.0: MIND EXPOSURE: C COMPONENTS AND CLADDING: 20.9 PSF EITHER DIRECTION NORMAL TO THE SURFACE, UNLESS NOTED OTHERWISE.

SNOW DESIGN FLAT ROOF SNOW LOAD = 50 PSF Ce = 1.0I = 1.0

BASIC WIND SPEED = 115 MPH

SEE FRAMING PLANS FOR DRIFTING LOADS

ALLOWABLE SOIL BEARING PRESSURE: 1500 PSF FOR SPREAD FOOTINGS.

FLOOD DESIGN DATA: N/A

GENERAL CONSTRUCTION NOTES

VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL.

SEE ARCHITECTURAL FOR EXACT DIMENSIONS FOR OPENINGS IN WALLS, ROOF AND FLOOR SYSTEMS.

VERIFY ALL MECHANICAL OPENING SIZES AND LOCATIONS WITH MECHANICAL CONTRACTOR.

NO PIPES, SLEEVES, ETC. SHALL PASS THROUGH BEAMS OR COLUMNS UNLESS INDICATED ON PLAN.

CONTRACTOR SHALL DESIGN, PROVIDE AND MAINTAIN TEMPORARY BRACING, SHORING, GUYING, ETC. AND OTHER METHODS AS REQUIRED TO PREVENT EXCESSIVE LOADING AND TO STABILIZE STRUCTURAL ELEMENTS DURING CONSTRUCTION. THESE METHODS SHALL REMAIN IN PLACE UNTIL ALL MEMBERS AND FINAL CONNECTIONS HAVE BEEN COMPLETED.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND SAFETY PROVISIONS.

TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAIL CUT IS REFERENCED.

THE STRUCTURAL PLANS SHOW PRINCIPAL FRAMING MEMBERS ONLY; CONTRACTOR SHALL PROVIDE FOR ALL FRAMING AND SUPPORTS NECESSARY TO RESIST LATERAL AND VERTICAL LOADS, AS WELL AS CONNECTIONS OF THESE MEMBERS.

THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM DAMAGE DURING CONSTRUCTION.

SOILS/EARTHWORK:

SOIL SHALL BE STRIPPED, COMPACTED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF ASTM D-1557.

CENTER ALL FOOTINGS UNDER THEIR RESPECTIVE COLUMNS OR WALLS, UNLESS OTHERWISE SHOWN ON PLANS. MAXIMUM MISPLACEMENT OR ECCENTRICITY SHALL BE 2". TOLERANCE FOR MISLOCATION OF COLUMN DOWELS OR ANCHOR BOLTS TO PER ACI OR AISC STANDARDS.

HORIZONTAL JOINTS IN FOOTINGS SHALL NOT BE PERMITTED.

WHERE VERTICAL CONSTRUCTION JOINTS OCCUR IN CONTINUOUS FOOTINGS, PROVIDE A MINIMUM CONTINUOUS 2" BY 4" KEYWAY ACROSS JOINT.

THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IF SOIL CONDITIONS ARE UNCOVERED THAT PREVENT THE REQUIRED SOIL BEARING PRESSURE FROM BEING OBTAINED.

COORDINATE PLUMBING LINES WITH THE FOOTING LOCATIONS TO AVOID INTERFERENCE. INDIVIDUAL FOOTINGS SHALL BE LOWERED AND WALL FOOTINGS STEPPED (WITH THE PRIOR WRITTEN APPROVAL OF THE DESIGNER) TO AVOID SUCH INTERFERENCE.

EXCAVATING UNDER OR NEAR IN-PLACE FOOTINGS OR FOUNDATIONS WHICH DISTURBS THE COMPACTED SOIL BENEATH SHALL NOT BE PERMITTED.

PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION AND WITH FINAL GRADING. MINIMUM FINISHED SLOPE AWAY FROM ALL STRUCTURES IS 4% FOR 20' MINIMUM.

REINFORCED CONCRETE:

ALL CONCRETE DESIGN AND PLACEMENT SHALL BE IN STRICT ACCORDANCE WITH THE ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ", ACI 318.

STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301 SPECIFICATIONS AND DEVELOP A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF: FOOTINGS: 3000 PSI, 4" MAX. SLUMP STEMMALLS/BASEMENT WALLS: 3500 PSI, 4" MAX. SLUMP INTERIOR FLATWORK: 3500 PSI, 5" MAX. SLUMP EXTERIOR FLATWORK: 4000 PSI, 5" MAX. SLUMP

ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33. 6. MIX DESIGN SHALL CONTAIN 50% COARSE AGGREGATES.

CONTRACTOR SHALL COMPLY WITH ACI 305 REQUIREMENTS FOR HOT WEATHER CONCRETE REQUIREMENTS AND COLD WEATHER REQUIREMENTS, AS REQUIRED. CONTRACTOR SHALL KEEP A COPY OF ACI 305 ON-SITE THROUGHOUT CONSTRUCTION.

EXTERIOR EXPOSED CONCRETE SHALL HAVE FROM 5 TO 7% ENTRAINED

CONSOLIDATE ALL CONCRETE WITH A VIBRATOR. ALL PUMPED CONCRETE SHALL CONTAIN A HIGH RANGE WATER REDUCING AGENT (HRWR). MINIMUM SIZE OF DISCHARGE SHALL BE 4" FOR #57 AND 2" FOR #89 AGGREGATE.

CHAMFER ALL EXPOSED EDGES 3/4" UNLESS NOTED OTHERWISE ON THE DRAMINGS.

ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND INSTALLED IN ACCORDANCE WITH ACI 318-02 AND ACI DETAILING MANUAL OF STANDARD PRACTICE, ACI 315-99.

REINFORCING STEEL SHALL BE NEW DEFORMED BARS, FREE FROM RUST, SCALE AND OIL, CONFORMING TO ASTM A-615, GRADE 60, WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. ALL MESH SHALL BE PROVIDED IN FLAT SHEETS.

LAP CONTINUOUS REINFORCEMENT 48 BAR DIAMETERS (1'-6" MINIMUM) OR AS NOTED OTHERWISE. SEE DRAWINGS FOR CLASS B TENSION SPLICES. LAP CONTINUOUS BEAM BOTTOM STEEL OVER SUPPORTS AND CONTINUOUS TOP STEEL AT MID-SPAN , UNLESS OTHERWISE DIRECTED ON THE DRAWINGS

PROVIDE CORNER LAP BARS TO MATCH IN SIZE AND SPACING OF ALL HORIZONTALS

PROVIDE 3" SLAB BOLSTER WITH CONTINUOUS BOTTOM PLATE AT 4'-0" MAXIMUM FOR POSITIONING ALL FOOTING BARS.

PROVIDE SLAB BOLSTER WITH CONTINUOUS BOTTOM PLATE AT 4'-0" MAXIMUM CENTERS FOR POSITIONING ALL MESH.

TERMINATE ALL DISCONTINUOUS TOP BARS WITH STANDARD 90° HOOK (PLACED VERTICALLY) UNLESS NOTED OTHERWISE ON STRUCT. DETAILS.

PROVIDE THE FOLLOWING CONCRETE COVERAGE OVER REINFORCING: FOOTINGS (AGAINST EARTH) 3" CLEAR 3/4" CLEAR WALLS (INTERIOR FACE) WALLS (EXTERIOR FACE) 1 1/2" CLEAR SLABS (SINGLE MAT) CENTERED

SLEEVE ALL PENETRATIONS THROUGH BEAMS AND SLABS INDIVIDUALLY. CORE DRILLING WILL NOT BE PERMITTED. SUBMIT LOCATION AND SIZE OF SLEEVES THROUGH BEAMS TO ARCHITECT FOR REVIEW PRIOR TO CASTING CONCRETE.

AT ALL OPENINGS THROUGH CONCRETE WALLS LARGER THAN 12" X 12", PROVIDE AN ADDITIONAL 2#5'S AT THE PERIMETER.

NO REINFORCING BARS SHALL BE CUT TO ACCOMMODATE THE INSTALLATION OF ANCHORS, EMBEDS OR OTHER ITEMS.

AT CHANGES IN DIRECTION OF CONCRETE WALLS, BEAMS AND STRIP FOOTINGS, PROVIDE CORNER BARS OF SAME SIZE AND QUANTITY (U.N.O.) AS THE HORIZONTAL STEEL. REFER TO TYPICAL DETAIL.

ALL EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.

ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530 AND "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1, EXCEPT AS AMENDED BELOW.

THIS STRUCTURE HAS BEEN DESIGNED AS A BEARING WALL STRUCTURE. ALL MASONRY UNITS SHALL BE LAID PRIOR TO CONCRETE PLACEMENT OF COLUMNS, BEAMS, AND SLABS FOR THE SAME STORY.

USE TYPE "S" OR "M" MORTAR WITH MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI.

MASONRY UNITS SHALL CONFORM TO ASTM C 90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON NET SECTION, TO PROVIDE NET AREA COMPRESSIVE STRENGTH OF MASONRY (F'M) OF 1500 PSI.

PROVIDE REINFORCED FILLED CELLS AS SHOWN ON PLANS. IN ADDITION, PROVIDE REINFORCED FILLED CELLS ADJACENT TO ALL OPENINGS, AT

PROVIDE FULL MORTAR BEDDING AROUND ALL FILLED CELLS WITH VERTICAL REINFORCING.

REINFORCING FOR FILLED CELLS SHALL CONFORM TO ASTM A615, GRADE 60. PROVIDE THE FOLLOWING LAP SPLICES FOR REINFORCING: #4 BARS -24" LAPS

> #5 BARS -30" LAPS #6 BARS -36" LAPS

ANCHORAGE OF CONNECTIONS.

ALL FILLED CELLS AND COLUMNS SHALL BE POURED AT LEAST TWO (2) HOURS PRIOR TO POURING BEAMS AND LINTELS.

CONCRETE FOR FILLED CELLS SHALL BE VIBRATED DURING PLACEMENT USING A "PENCIL" TYPE VIBRATOR.

THE TOP COURSE OF ALL CMU WALLS, PARTITIONS AND PARAPETS SHALL BE CONSTRUCTED OF KNOCK-OUT BLOCKS REINFORCED WITH 1-#5 HORIZONTAL BAR IN GROUTED BOND BEAM. BEND BARS WITH STANDARD HOOK AT ALL CORNERS AND INTERSECTIONS.

STRUCTURAL STEEL:

FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC "MANUAL OF STEEL CONSTRUCTION", NINTH EDITION AND THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", MOST RECENTLY ADOPTED EDITION.

ALL STRUCTURAL STEEL MEMBERS NOT OTHERWISE NOTED SHALL CONFORM TO ASTM A-50 WITH MINIMUM YIELD STRENGTH OF 50 KSI.

ALL STEEL PLATES NOT OTHERWISE NOTED SHALL CONFORM TO ASTM A-36 WITH MINIMUM YIELD STRENGTH OF 36 KSI.

ALL HIGH-STRENGTH BOLTS SHALL MEET THE REQUIREMENTS OF THE "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM F3125 BOLTS".

UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE 3/4" DIAMETER F3125

AND SHALL BE BEARING TYPE CONNECTIONS.

ALL SHOP AND FIELD WELDING SHALL BE DONE BY CURRENTLY CERTIFIED MELDERS IN ACCORDANCE WITH AMS "STRUCTURAL MELDING CODE", LATEST EDITION.

ALL BOLTS CAST INTO CONCRETE SHALL CONFORM TO ASTM F1554

USE E70XX ELECTRODES FOR ALL WELDING, UNLESS NOTED OTHERWISE (GRIND ALL EXPOSED WELDS SMOOTH.)

PIPE COLUMNS SHALL CONFORM TO ASTM A-501 OR A53, TYPES E OR S, GRADE B, WITH A MINIMUM YIELD STRENGTH OF 36 KSI.

MINIMUM YIELD STRESS OF 46 KSI.

TUBE COLUMNS SHALL CONFORM TO ASTM A-500, GRADE B, WITH A

HEADERS HF#2 OR BETTER 850(MIN.) 1,300,000 2X

THE FOLLOWING MINIMUM PROPERTIES:

HF#2 OR BETTER 575(MIN.) 1,100,000 1,200(MIN.) 1,600,000 BEAMS: HF#2 OR BETTER 850(MIN.) 1,3*00,000* 1,350(MIN.) 1,600,000 2X6 THRU 2X10 1,300,000 HF#2 OR BETTER 850(MIN.) 2X12 900(MIN.) 1,400,000 HF STUD/ BETTER 675(MIN.) 1,200,000 2X4/2X6- OVER 96" HF#2 OR BETTER 700(MIN.) 1,400,000 HF CONST. GRADE 975(MIN.) 1,300,000 SILL PLATES

ALL WOOD CONSTRUCTION AND CONNECTIONS SHALL CONFORM TO AITC

"NATIONAL DESIGN SPECIFICATIONS FOR MOOD CONSTRUCTION", AND THE

MOST CURRENT ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE.

ALL MEMBER SIZES ARE TO BE AS SHOWN ON DRAWINGS AND PROVIDE

"AMERICAN INSTITUTE OF TIMBER CONSTRUCTION" MANUAL, AND THE

LOG POSTS, COLUMNS, BEAMS, ETC. LODGEPOLE PINE (STANDING DEAD & DRIED MIN. 3 YEARS). SPECIFIED DIAMETER IS THE MIN. AT ANY POINT.

OR HF#2

ALL MOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

ALL BOLTS FOR BOLTED CONNECTIONS SHALL CONFORM TO ASTM A307. USE MASHERS BETWEEN MOOD AND BOLT HEADS AND NUTS.

ALL METAL WOOD CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE CO. (OR APPROVED EQUAL) AND SHALL BE GALVANIZED.

ALL JOISTS SHALL BE LATERALLY SUPPORTED AT ENDS BY SOLID BLOCKING.

ALL EXTERIOR AND BEARING WALLS SHALL BE FRAMED OF 2X6'S @ 16' O.C. WHERE WALL SUPPORTS PREFABRICATED ROOF TRUSSES, FRAME WALL SO THAT EVERY OTHER TRUSS FALLS DIRECTLY OVER A STUD.

UNLESS NOTED OTHERWISE ON PLANS, PROVIDE DOUBLE STUDS AT ALL JAMBS OF OPENINGS UP TO 6'-O". USE TRIPLE STUDS FOR OPENINGS GREATER THAN 6'-O" AND LESS THAN 10'-O".

WHERE BEAMS OR COLUMNS ARE FORMED OF 2 OR MORE MEMBERS THEY SHALL BE FULL LENGTH AND FASTENED TOGETHER PER THE INTERNATIONAL BUILDING CODE.

WALL SHEATHING SHALL BE 7/16" OSB, MINIMUM SPAN RATING 24/16. FASTEN WITH 8D GALVANIZED BOX NAILS AT 4" O.C. MAXIMUM AT ALL PANEL EDGES. SPACE NAILS AT 12" O.C. MAXIMUM ALONG INTERMEDIATE FRAMING. BLOCK ALL PANEL EDGES.

ROOF SHEATHING SHALL BE 5/8" OSB, MINIMUM SPAN RATING 40/20, FASTEN WITH 8D NAILS AT 4" O.C. MAXIMUM AT ALL SUPPORTED EDGES SPACE NAILS 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS.

FLOOR AND FLAT ROOF SHEATHING SHALL BE 3/4" TONGUE AND GROOVE OSB SHEATHING, MINIMUM SPAN RATING 24 OC. APA STURD-I-FLOOR FASTEN MITH 10D NAILS AT 4" O.C. AT BOUNDARY AND 6" O.C. MAXIMUM AT ALL SUPPORTED EDGES AND 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS. PANEL LAYOUT SHALL BE CASE 1 WITH SHEETS PERPENDICULAR TO FRAMING WITH ALL JOINTS BLOCKED.

14. NAILING SCHEDULE:

V4 OR BETTER.

CONNECTION: NAILING: JOIST TO SILL OR GIRDER, TOENAIL 3-8D BRIDGING TO JOIST, TOENAIL EACH END 2-8D SOLE PLATE TO JOIST/BLOCKING, (TYP.) FACE NAIL 16D @ 16" O.C. TOP PLATE TO STUD, END NAIL 2-16D DOUBLE STUDS. FACE NAIL 16D @ 24" O.C. DOUBLE TOP PLATES, (TYP.) FACE NAIL 16D @ 16" O.C DOUBLE TOP PLATES, LAP SPLICE 8-16D BLOCKING B/W JSTS/RAFTERS TO TOP PLATE, TOENAIL 3-8D RIM JOIST TO TOP PLATE, TOENAIL 8D @ 6" O.C. TOP PLATES, LAPS & INTERSECTIONS, FACE NAIL 2-16D CONTINUOUS HEADER, TWO PIECES 16D @ 16" O.C. EA. EDGE CEILING JOISTS TO TOP PLATE, TOENAIL 3-8D CONTINUOUS HEADER TO STUD, TOENAIL 4-8D CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL 3-16D CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL 3-16D 3-8D RAFTER TO PLATE, TOENAIL BUILT-UP CORNER STUDS 16D @ 24" O.C. 10D @ 6" O.C. EDGES, 12" O.C. FIELD SUBFLOOR MALL SHEATHING 8D @ 6" O.C. EDGES, 12" O.C. FIELD

BCI AND VERSA-LAM JOIST AND BEAM PRODUCTS: LPI, TJI OR OTHER MANUFACTURER MAY BE SUBSTITUTED FOR BCI

PRODUCTS. ALL JOISTS SHALL BE SHIPPED, HANDLED AND INSTALLED AS DIRECTED BY THE JOIST MANUFACTURER THE JOIST MANUFACTURER SHALL PROVIDE ALL REQUIRED

HANGERS, SHAPED BEARING PLATES AND PRECUT BLOCKING REQUIRED FOR A COMPLETE INSTALLATION.

JOISTS SHALL RUN CONTINUOUS OVER INTERMEDIATE SUPPORTS. GLUE-LAMINATED MEMBERS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AITC SPECIFICATIONS. ALL GLUE-LAMS SHALL BE WEST COAST DF, EXTERIOR GLUE, ARCHITECTURAL APPEARANCE GRADE, 24F-

INTERIOR TIMBER BEAM MEMBERS SHALL BE DOUGLAS FIR #1 TIMBER 17. BEAM MEMBERS. EXTERIOR TIMBER BEAM MEMBERS SHALL BE WESTERN CEDAR, SELECT STRUCTURAL, ROUGH-SAWN, UNLESS OTHERWISE NOTED ON DRAWINGS.

WHERE STEEL FASTENERS ARE IN CONTACT WITH PRESSURE TREATED LUMBER, HOT DIP GALVANIZED OR OTHER CORROSION PROTECTION SHALL BE PROVIDED. THIS INCLUDES NAILS, BOLTS OR OTHER FASTENERS.

PRE-ENGINEERED WOOD TRUSSES:

DESIGN OF METAL CONNECTED ROOF TRUSSES SHALL COMPLY WITH: NFPA'S "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED

LUMBER AND ITS FASTENINGS". TRUSS PLATE INSTITUTE'S "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED ROOF TRUSSES."

SIGNED AND SEALED SHOP DRAWINGS SHOWING TRUSS CONFIGURATION WITH MEMBER SIZES AND CONNECTIONS, TRUSS LAYOUT WITH PIECE MARKS, REQUIRED TRUSS TO TRUSS CONNECTIONS, DESIGN LOADS, DURATION FACTORS AND ERECTION DETAILS MUST BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. IF REQUIRED, SUBMIT COPIES TO THE BUILDING DEPARTMENT AT TIME OF PERMITTING.

PRE-FABRICATED WOOD TRUSSES SHALL BE FABRICATED FROM HEM-FIR KILN DRIED #2 OR BETTER FOR CHORDS AND #3 GRADE OR BETTER FOR

NO MANE, SKIPS OR OTHER DEFECTS SHALL OCCUR IN THE PLATE CONTACT AREA OR SCARFED AREA OF WEB MEMBERS. PLATES SHALL BE CONNECTED WITH ONE REQUIRED EACH SIDE OF TRUSS.

NUMBER OF PANELS AND DIRECTION OF WEB MEMBERS TO SUIT CONTINUOUS OR SIMPLE SPAN TRUSS DESIGN REQUIREMENTS. SEE STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR OUTLINE SHAPE AND ANY SPECIAL CONDITIONS/LOCATIONS OF PANEL POINTS. NOTE BEARING WALL LOCATIONS AT ALL BALCONIES AND PORCHES.

PERMANENT TRUSS BRACING OR BRIDGING MEMBERS SHALL BE 2" X 4" MINIMUM HEM-FIR WITH MINIMUM LOCATIONS AS NOTED ON PLANS. ADDITIONAL BRACING REQUIRED TO STRENGTHEN TRUSS COMPONENTS SHOULD BE NOTED ON THE ERECTION DRAWINGS IN ACCORDANCE WITH TRUSS MANUFACTURER'S RECOMMENDATIONS.

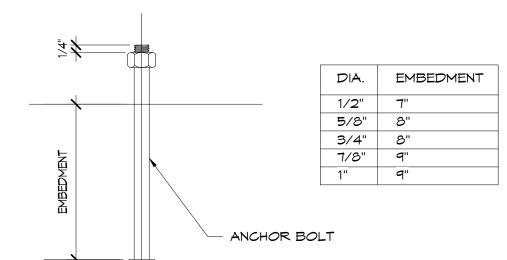
HANDLING, ERECTION AND BRACING OF WOOD TRUSSES SHALL BE IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE, LATEST EDITION, AND AS NOTED BELOW.

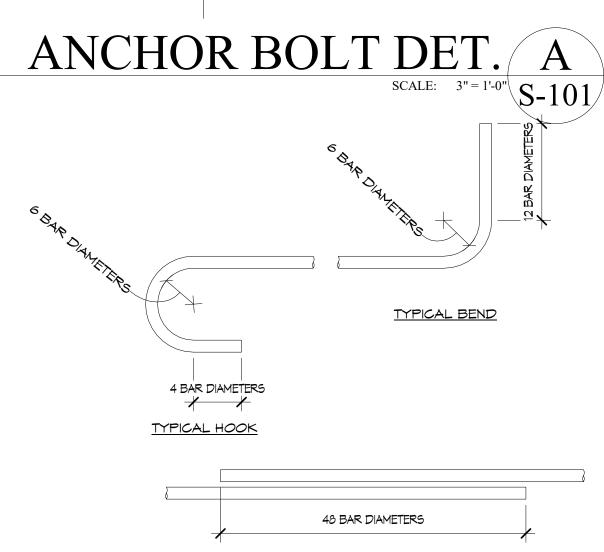
MINIMUM PERMANENT BRIDGING CRITERIA FOR PRE-ENGINEERED TRUSSES: PROVIDE 2" X 4" CONTINUOUS HORIZONTAL BRIDGING AT TOP AND BOTTOM CHORDS AND INTERMITTENT CROSS BRIDGING AT 10 FT SPACING AT THE FOLLOWING MINIMUM LOCATIONS:

AT 10 FT O.C. HORIZONTALLY - AT PANEL POINT LOCATIONS AT ALL DEEP (18") BEARING ENDS.

PROVIDE CONTINUOUS 2" X 4" AT 48" O.C. PERPENDICULAR TO TRUSSES AT TOP CHORD WHERE ROOF PLYWOOD IS NOT RIGIDLY ATTACHED TO TOP CHORD OF TRUSS.

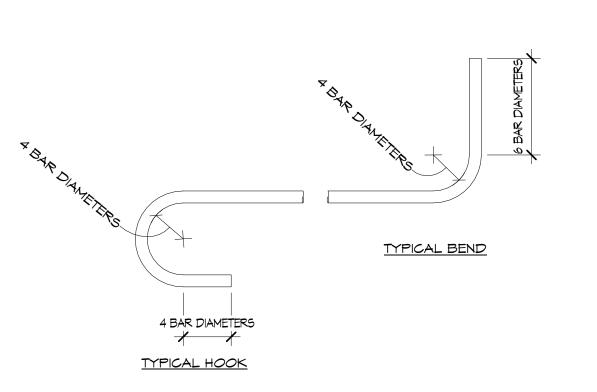
PROVIDE CONTINUOUS 2" X 4" AT 48" O.C. AT BOTTOM CHORD WHERE A RIGID CEILING IS NOT FIRMLY ATTACHED DIRECTLY TO THE BOTTOM

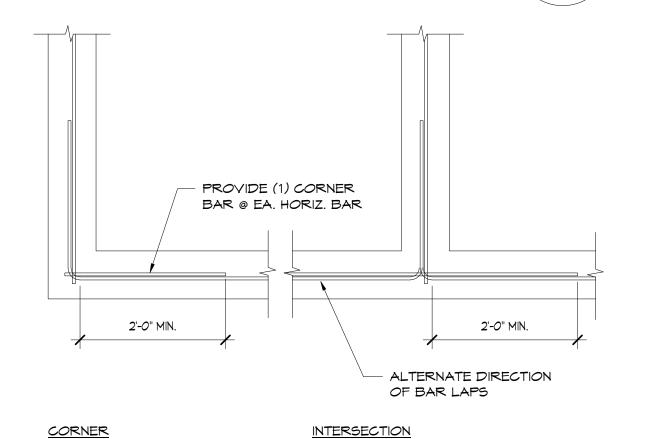




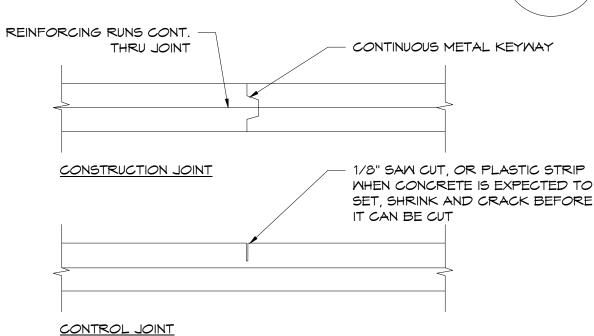


TYPICAL LAP





STIRRUP/TIE REINF. C $\backslash S-101$ CONCRETE DETAILS



NOTE:

PROVIDE CONSTRUCTION OR CONTROL JOINTS TO DIVIDE SLABS INTO AREAS NOT EXCEEDING 256 S.F.. LONG DIMENSION SHALL NOT EXCEED SHORT DIMENSION BY MORE THAN 20%.

IN REINF. SLABS, HALF OF THE REINFORCEMENT SHALL BE

ELINATED ACROSS CONTROL JOINTS

SLAB JOINTS/

REYNOLDS ASH + ASSOCIATES ARCHITECTURE ENGINEERING DURANGO, CO 81301 (970) 259 - 7494 FAX (970) 259 - 7492

 $262\,\mathrm{PAGOSA}\,\mathrm{STREET},\mathrm{STE}.\,200$ P.O. BOX 96 PAGOSA SPRINGS, CO 81147 (970) 264 - 6884 RA-AE.COM REYNOLDS ASH + ASSOCIATES, P.

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594C SABETA DRIVE RIDGWAY, CO 81432

IOB. NO.: 19175 DATE: 2020-02-10 DRAWN BY: RAA

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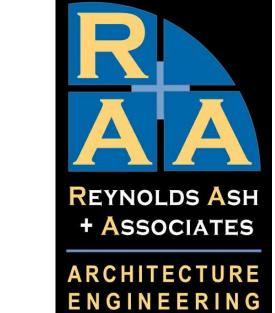
GENERAL NOTES

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

GENERAL FOUNDATION PLAN NOTES:

- A. ALL FOOTINGS SHALL BEAR A MINIMUM OF 48" BELOW LOWEST ADJACENT
- B. SEE GENERAL NOTES FOR CONCRETE REQUIREMENTS ON 5-101.
- C. DESIGN IS BASED ON BEARING CAPACITY OF 1250 PSF PER GEOTECHNICAL REPORT NO. 2389 BY GEIOTECHNICAL ENGINEERING GROUP, INC.. NOTIFY ARCHITECT/ENGINEER IF GRAVELLY CLAY SOILS ARE NOT ENCOUNTERED.
- D. A/E TO INSPECT EXPOSED SUBGRADE PRIOR TO FORMING OF FOOTINGS.
- E. CONTRACTOR TO VERIFY THAT SUBGRADE IS EXCAVATED TO NATIVE MATERIAL AND NO EXPANSIVE OR LOW STRENGTH SOILS ARE ENCOUNTERED.
- F. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS AND FOUNDATION ELEVATIONS PRIOR TO START OF WORK AND SHALL NOTIFY A/E OF ANY DISCREPANCIES.
- . CONTRACTOR TO INSTALL PASSIVE RADON SYSTEM UNDER INTERIOR SLAB W/ 6 MIL PLASTIC OVER GRAVEL. PROVIDE 8' OF 4" PERFORATED PIPE BELOW PLASTIC WITH 4" SOLID PIPE VENTED TO ROOF.



1140 MAIN AVE, STE. B DURANGO, CO 81301 (970) 259 - 7494 FAX (970) 259 - 7492

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RIDGWAY ATHLETIC PAVILI

594C SABETA DRIVE RIDGWAY, CO 81432

JOB. NO.: **19175** DATE: **2020-02-10**

ISSUE RECORD:

DRAWN BY: RAA

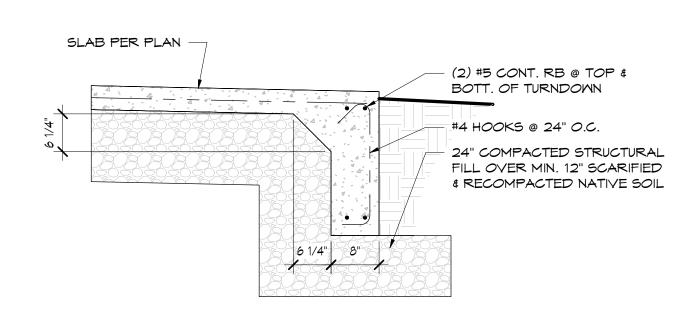
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S-201

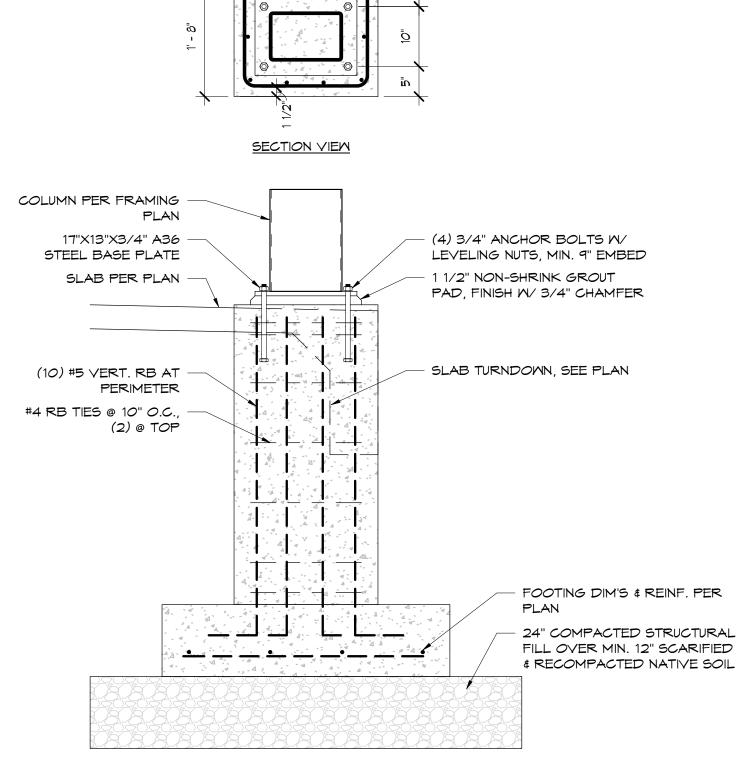
FOUNDATION PLAN



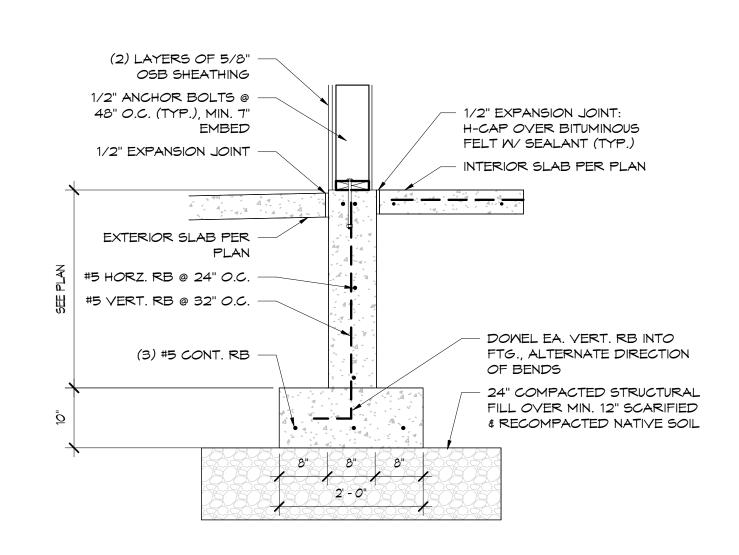


 ${\tt NOTE}:$ WHERE TURNDOWN MEETS ADJACENT SIDEWALK, USE 1/2" EXPANSION JOINT W/ H-CAP OVER BITUMINOUS FELT W/ SEALANT.

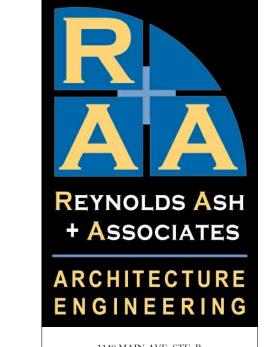












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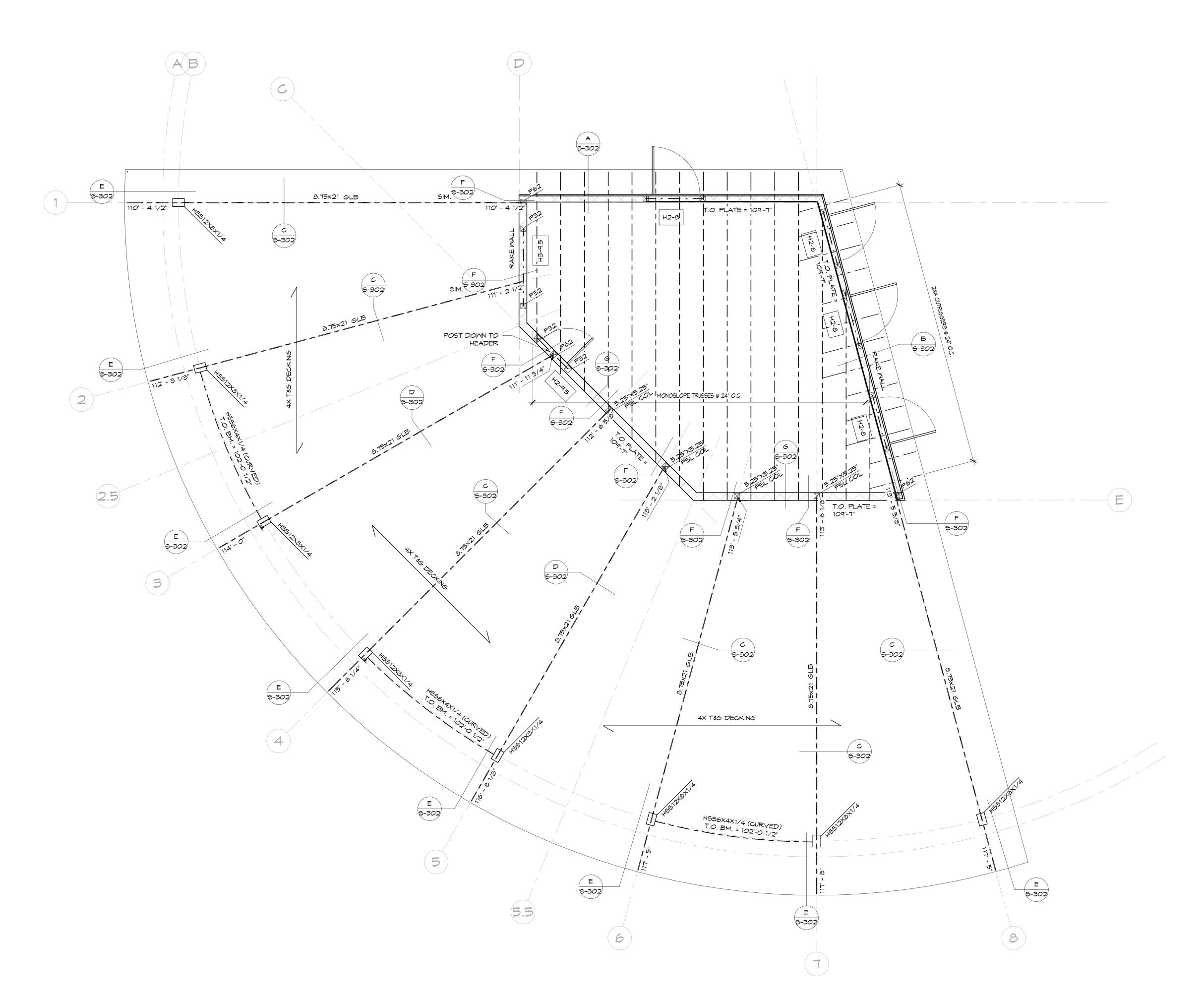
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S-202

FOUNDATION DETAILS



FRAMING PLAN

SCALE: 1/4" = 1'-0"

GENERAL FRAMING PLAN NOTES:

- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE CASCATE, INTERNATIONAL PAPER, OR LOUISIANA PACIFIC, OR ROSEBURG.
- B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, GLULAM, ETC...) SHALL BE GRADED AS 24F-1.8E
- C. ALL GLULAM BEAMS ARE TO BE OUTDOOR-RATED AND ARCHITECTURAL APPEARANCE GRADE.
- D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
- E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.

HEADER SCHEDULE: HA-B, WHERE:

"A" = NUMBER OF PLIES "B" = NOMINAL MEMBER SIZE 8 = 2X8 D.F. #1 10 = 2X10 D.F. #1 12 = 2X12 D.F. #1 7.25 = 1.75"X7.25" LVL 9.5 = 1.75"X9.5" LVL 11.875 = 1.75"X11.875" LVL 14 = 1.75"X14" LVL

POST SCHEDULE: PAB, WHERE:

"A" = NUMBER OF JACK OR CRIPPLE STUDS "B" = NOMINAL KING STUDS

ALL POSTS NOT OTHERWISE NOTED ARE P22 P44 = 4X4 TIMBER P66 = 6X6 TIMBER

P88 = 8X8 TIMBER P1010 = 10X10 TIMBER

- H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED ARE (2) 2X8'S.
- I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES ON 5-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- PRE-FAB TRUSSES TO BE POSITIONED SUCH THAT THEY AVOID THE BEARING POINTS OF THE GLULAM BEAMS.

REYNOLDS ASH + ASSOCIATES ARCHITECTURE ENGINEERING

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RIDGWAY

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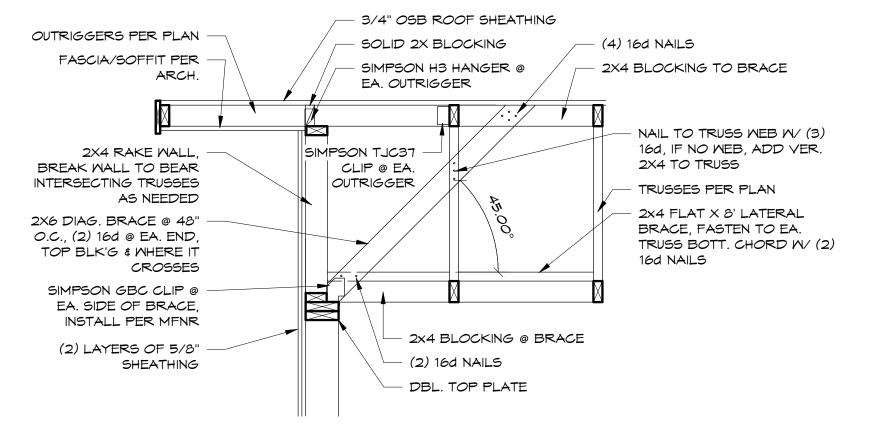
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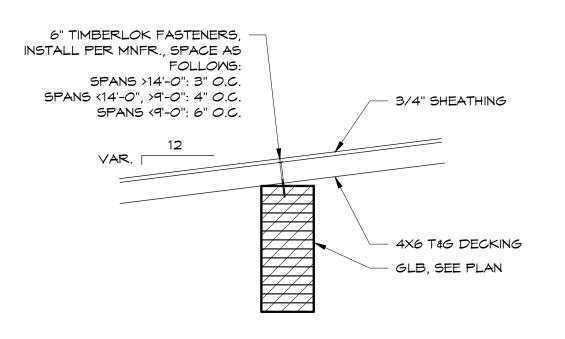
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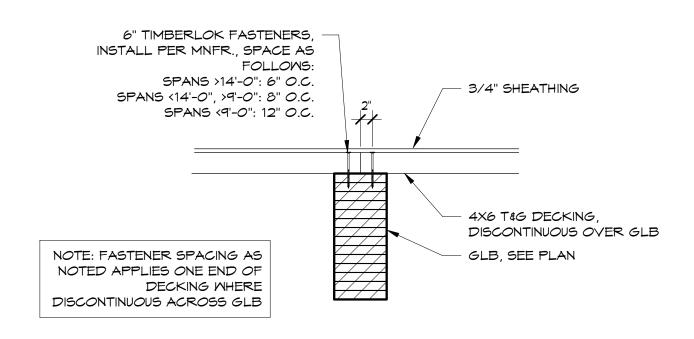
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S-301

FRAMING PLAN





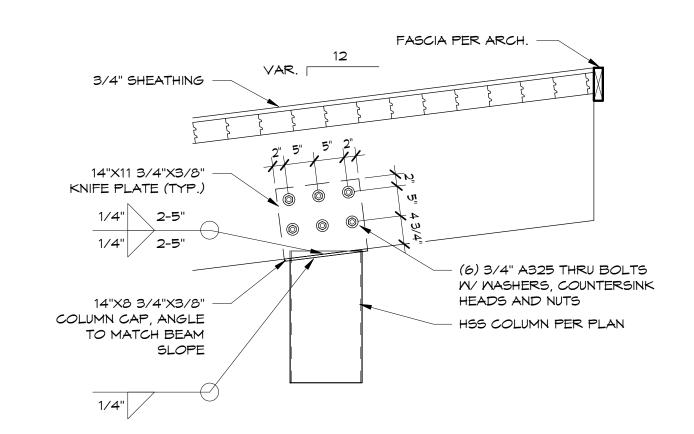


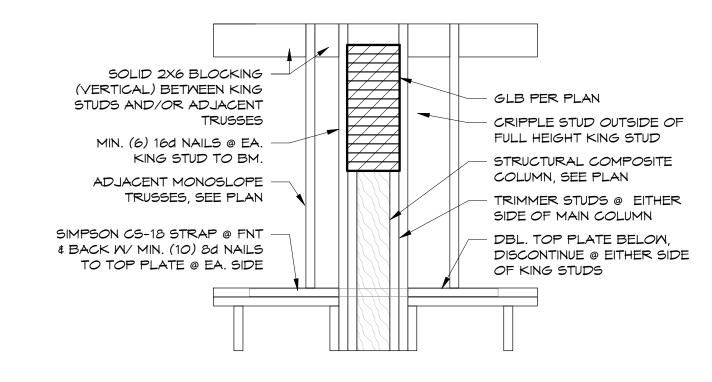


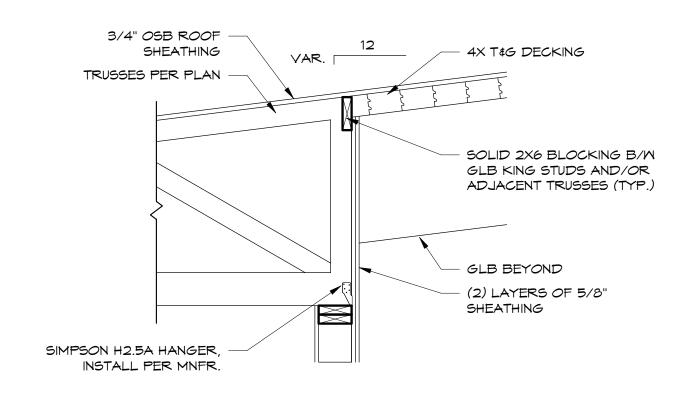


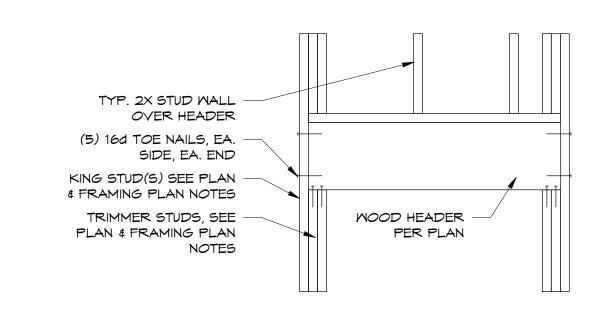










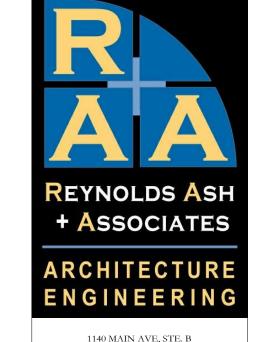












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FRAMING DETAILS