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PARKS, TRAILS, AND OPEN SPACE COMMITTEE

MARCH 3<sup>RD</sup>, 2020

6:00 PM

TOWN HALL

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# Committee Member Meeting Packet

Agenda Item #2:

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PARKS, TRAILS, AND OPEN SPACE COMMITTEE  
MEETING MINUTES  
JANUARY 14TH, 2020  
6:00 PM  
TOWN HALL

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Committee Present: Jared Coburn, Doug Canright, Lois Zeimann, Sue Husch, Erin Smith, Nick Williams, Town Councilor Robb Austin.

Town Staff: Chase Jones

I. Call to Order

6:05pm

II. Approval of Meeting Minutes from November 5th, 2019

*Jared moved to approve the minutes*

*Lois seconded the motion*

*All committee members present voted in favor*

III. Review Upcoming Events in Public Parks

*There are no upcoming events before the next meeting.*

IV. Community garden – Accomplishments and Potential Site Toilet Improvement

*Agnieszka Przeszlowska played a short video from the Community Garden website which showed work done in 2019. She also shared the following:*

- *\$43,500 was spent in 2019 with \$10,000 from the Town. This did not include in-kind labor and equipment.*
- *They have received high interest from the schools; high school students built the raised beds, the middle school help winterize the beds, and kindergarteners created a welcome banner.*
- *41 or 43 beds were rented, 1 bed was for communal herbs and 1 bed was for demonstration.*
- *In 2020 they're hoping to install some higher beds and a children's area*

*Chris Lance then brought up the possibility of installing a composting toilet at the garden. The desired unit is designed for a family of 6, liquid excess would go into separate bin, solid compost would not be used onsite, Chris would take compost off site to her property, and it would cost \$1600 for the toilet plus \$1000 for building. The toilet would likely be located in the SW corner, inside the garden's fence.*

*Sue Husch commented that her husband put a Sun-Mar toilet into their cabin with upwards of 10 people and had no problem, these units are used a lot in Midwest and would trust the volume estimate from the company. It was noted that the unit Sue used had a motor option and electricity.*

*The committee agreed that improving the Community Garden's lease site with a compostable toilet is acceptable and has their support, with the request that signage be posted that states the compost isn't used onsite and that the enclosure match the park and garden long terms aesthetics.*

*The Community Garden will require further approval from Town Council for any improvement per the Community Garden's lease.*

**V. Athletic Park Pavilion Design and Donation Update**

*Chase shared that the fundraising goal has been met but the Town is still waiting on final checks. Construction documents are expected at the end of the month and a Request for Bid will be out in February. The Town did fundraising outreach through; Facebook, fliers, vertical response, press release, water bill notes and targeted calls.*

**VI. Budget Update**

*Chase shared the following information related to the Parks Committee budgetary requests:*

- The baseball field improvements in the Athletic Park received \$5,000 from Town Council. The interest group has received a \$2,000 grant from the Montrose Community Foundation.*
- \$650 was budgeted in 2020 to replace Weaver Park signage.*
- Tree maintenance funds doubled in 2020 to \$20,000.*
- \$4,000 was allotted to expand or update the Town's tree inventory*
- \$250 was budgeted for more holiday lights.*

**VII. New Business**

*Robb requested a banner at Heritage Park to announce improvements.*

*Chase shared that an "Affirmation Station" was installed by Public Arts Ridgway Colorado in Hartwell.*

**VIII. Old Business**

*One Hartwell tree which was removed in Fall 2019 but could not be high stumped due to metal being present within the trunk.*

*Century Link's radio drums may be rearranged in the future which could eliminate Hartwell tree interference.*

*Trails in Cottonwood Park are crusher fines with no underlying cloth.*

*The GOCO grant to pay for a youth conservation crew in 2020 was not awarded to the Town.*

**IX. Adjourn**

*7:20pm*

Agenda Item #3:

**Events between March 3rd and May 31st occurring on Town Park Property as of Feb 28th, 2020:**

May 9<sup>th</sup> – School parking lot sale in Hartwell's south lot.

May 22<sup>nd</sup> – Farmers Market begins for 2020. Every Friday in Hartwell Park until October 9<sup>th</sup>.

May 23<sup>rd</sup> – ROCC parking lot sale (tentative).

May 30<sup>th</sup> – Love Your Valley Festival.

Agenda Item #4:

Agenda Item #5:





**ADVERTISEMENT FOR BIDS  
TOWN OF RIDGWAY  
ATHLETIC PARK PAVILION CONSTRUCTION PROJECT**

Notice is hereby given that the Town of Ridgway, Colorado will receive sealed bids from qualified contractors for the Athletic Park Pavilion Construction Project for the Town of Ridgway, Colorado. The project generally consists of construction of a shelter, concession area, and equipment storage for park users, including all labor, materials and services for the work necessary to complete the project as indicated in the full Request for Bids that contains a Scope of Work and attached construction documents.

Two (2) paper copies printed double sided and one (1) electronic copy of the proposal in a sealed envelope, clearly marked with "Athletic Park Pavilion Construction Project" and the name, address and phone number of the Bidder will be received by Pam Kraft, Town Clerk, at Town Hall, 201 N. Railroad St., PO Box 10, Ridgway, CO 81432 until 10:00 a.m., local time, on the 20<sup>th</sup> day of March, 2020, at which time all bids will be publicly opened and read aloud. Any bid received after the time stated above will be returned to the Bidder unopened.

The full Request for Bid along with construction documents, may be obtained from the Town Planner at Ridgway Town Hall, 201 N. Railroad, PO Box 10, Ridgway, CO 81432. In addition, all documents associated with this solicitation will be available online at <https://www.colorado.gov/pacific/ridgway/requests-proposals-bids>.

Questions regarding this proposal shall be received by 3:00 p.m. on March 6, 2020. Questions must be submitted via email to: Shay Coburn, Town Planner, at [scoburn@town.ridgway.co.us](mailto:scoburn@town.ridgway.co.us). The responses to any submitted questions will be prepared by Town staff and then provided via email to all vendors that have indicated an interest in submitting a proposal and posted on the Town's website by the date listed in the proposed schedule indicated in the full Request for Bids.

The Town of Ridgway reserves the right to reject any and all bids, to waive any and all informalities in bidding and to negotiate contract terms with the successful Bidder, or to make Award in such a manner as they may deem right and proper for the best interest of the Town of Ridgway.

TOWN OF RIDGWAY, COLORADO

By: Pam Kraft, Town of Ridgway, Town Clerk



## REQUEST FOR BIDS TOWN OF RIDGWAY ATHLETIC PARK PAVILION CONSTRUCTION PROJECT

### INTRODUCTION

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#### Purpose and Goals

The Town of Ridgway is accepting bids from qualified contactors (hereinafter referred to as “Contractor”) to build the Ridgway Athletic Park Pavilion (hereinafter referred to as “Pavilion”).

The Pavilion is to be built in the Regional Athletic Park south of Chipeta Drive and west of County Road 23. The Pavilion will include shelter, concession area, and equipment storage for park users and has been made possible by a generous donor and community fundraising efforts. The Pavilion has been designed, with community input, by Reynolds Ash + Associates. Full construction documents are attached.

### PROJECT OVERVIEW

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Contactor(s) shall prepare and submit a bid for building the Pavilion based on the Scope of Work below. Once selected, the Contractor(s) will work with the Town staff to refine this Scope of Work as necessary.

#### Scope of Work

The Scope of Work is based on the attached construction documents, see Exhibit 2. Contractors are highly encouraged to inspect the site prior to submitting a bid.

The Town has committed in-kind support for this construction project. Bidders are asked to bid the full project and the areas where the Town may provide support will be sorted out when the contract terms are negotiated with the successful Bidder.

#### Estimated Timeline

Project start: 4/13/2020

Bi-monthly onsite progress meetings

Construction schedule to be updated every 30 days throughout the project

Project completion: 10/31/2020



## SUBMITTAL REQUIREMENTS

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### Submittal Instructions

Submit two (2) paper copies printed double sided and one (1) electronic copy of the proposal in a sealed envelope no later than **10:00 a.m. on March 20, 2020** to:

Town of Ridgway  
Town Clerk  
Attn: Athletic Park Pavilion Construction Project  
PO Box 10  
201 N Railroad Street  
Ridgway, CO 81432

### Bid Format

The bid submitted to Town shall include the following information:

A. Cover letter, including:

1. Contractor(s) name, address, and location(s).
2. Brief description of project interest and project understanding.
3. Signature of the person having proper authority to make formal decisions and commitments on behalf of the primary Bidder.
4. Affirmation statement that Bidder has read and understands the requirements of the draft contract (Exhibit 1 to this RFB), and can meet the requirements stated in the contract, or an indication of which specific requirements cannot be met.

B. Contractor and superintendent information, including:

1. Contractor and superintendent name, title, role, and contact information.
2. Brief description of qualifications and relevant experience for the contactor.
3. At least three relevant projects and references including: project name, location, brief description, and contact information of the client.

C. Project budget, including:

1. A detailed budget based on the Scope of Work and construction documents attached as Exhibit 2. The budget included in the bid shall include an itemized list of the costs of labor, materials, equipment, incidentals, contractor overhead fees, and all other costs required to build a fully complete Pavilion as designed and detailed in the construction documents in Exhibit 2.



2. If suggesting additions not outlined in the Scope of Work, please ensure the cost for those services are separate or clearly identified as additions.

D. Project schedule, including:

1. A proposed project schedule based on the estimated timeline above.
2. Details of what input Contractor will need from the Town and in what timeframe.

### Submitting Questions or Clarifications

Questions regarding this RFB shall be received by **3:00 p.m. on March 6, 2020**. Questions must be submitted via email to: Shay Coburn, Town Planner, at [scoburn@town.ridgway.co.us](mailto:scoburn@town.ridgway.co.us). The responses to any submitted questions will be prepared by Town staff and then provided via email to all vendors that have indicated an interest in submitting a proposal and posted on the Town's website by the date listed in the tentative schedule below.

### Proposed Schedule (subject to change)

RFB Published	February 24, 2020
Question Deadline	March 6, 2020, 3:00 p.m.
Question Responses Provided	March 11, 2020
<u>Proposals Due</u>	<u>March 20, 2020, 10:00 a.m.</u>
Notifications	March 25, 2020
Contractor Interviews	March 30, 2020
Contractor Notification	April 2, 2020
Approval of Contract by Council	April 8, 2020
Project Start	April 13, 2020

### SELECTION PROCESS

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The Town will review the bids and interview Contactor(s) if desired. Bids will be evaluated using the following criteria:

1. Project understanding and Contractor(s) fit with the Town of Ridgway.
2. Contractor(s) qualifications, relevant experience, and quality of references.
3. Price/value of proposed services.
4. Proposed schedule.



The Town reserves the right to accept or reject any or all proposals, to waive any and all informalities and to negotiate contract terms with the successful Bidder, or to accept the bid for the contract, which in its judgement best serves the interest of the Owner, and the right to disregard all non-conforming, non-responsive, or conditional proposals. The Town reserves the right to self-perform work and negotiate the provided price accordingly.

Contractor(s) must be willing to work with the Town and other contractors as necessary to complete the project.

## ADDITIONAL INFORMATION

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The selected Contractor(s) will be required to enter into a contract with the Town regarding the scope of work, schedule, and cost of the project. See Exhibit 1 for a draft Construction Contract. Contractor(s) will be required to affirm that the terms in the contract will be met with any successful award.

The Town will work to honor confidentiality requests to the extent possible and reasonable. If you feel certain aspects of your proposal are proprietary in nature, please clearly indicate those specific components in the submittal.

For more information about the Town of Ridgway, please visit [www.colorado.gov/ridgway](http://www.colorado.gov/ridgway).



## EXHIBIT 1

### CONSTRUCTION CONTRACT

THIS AGREEMENT is made between the Town of Ridgway, Colorado, (Owner or Town) and \_\_\_\_\_ (Contractor), for the Project known as: Ridgway Athletic Park Pavilion.

The Owner's Representative (OR) is: \_\_\_\_\_  
Town Manager

The Owner and Contractor agree as follows:

#### ARTICLE 1 THE WORK:

The Contractor shall perform all the Work required by the Contract Documents for the Ridgway Athletic Park Pavilion Build. The specifications shall be in accordance with <<insert appropriate standards>> standards. The Scope of Services and Timeline is attached hereto as Exhibit A.

#### ARTICLE 2 TIME OF COMMENCEMENT AND COMPLETION:

The construction Work shall be commenced upon written notice to proceed from the Town and completed within \_\_\_\_\_ calendar days.

#### ARTICLE 3 CONTRACT AMOUNT AND BASIS:

The Owner shall pay the Contractor for the satisfactory performance of the Work, subject to additions and deductions by Change Order as provided in the General Conditions, the following: See attached Exhibit B.

#### ARTICLE 4 PROGRESS PAYMENTS:

Monthly payments upon invoicing.



## ARTICLE 5

### FINAL PAYMENT:

Subject to withholding of 10% until final payment pursuant to CRS §38-26-107.

## ARTICLE 6

### ENUMERATION OF CONTRACT DOCUMENTS:

The Contract Documents are as noted in Paragraph 7.1 of the General Conditions and are indicated as follows:

- ☐ Agreement including General Conditions
- ☐ Special Conditions
- ☐ Specifications
- ☐ Drawings
- ☐ Addenda
- ☐ Change Orders - if any
- ☐ Modifications - if any
- ☐ Written Interpretation of OR - if any
- ☐ Performance Bond or ☐ Letter of Credit
- ☐ Payment Bond or ☐ Letter of Credit
- ☐ Notice to Proceed
- ☐ Contractor Proposal and itemized costs

## ARTICLE 7

### CONTRACT DOCUMENTS:

- 7.1 The Contract Documents consist of this Agreement (which includes the General Conditions), Special Conditions, the Drawings, the Specifications, all Addenda issued prior to the execution of this Agreement, all modifications, any performance or payment bonds, all Change Orders, and all written interpretations of the Contract Documents issued by the OR, and the Proposal as submitted by Contractor. These form the Contract and what is required by any one shall be as binding as if required by all. The intention of the Contract Documents is to include all labor, materials, equipment and other items as provided in Paragraph 10.2 necessary for the proper execution and completion of the Work and the terms and conditions of payment therefore, and also to include all Work which may be reasonably inferable from the Contract Documents as being necessary to produce the intended results.
- 7.2 By executing the Contract, the Contractor represents that he has visited the site and familiarized himself with the local conditions under which the Work is to be performed.



- 7.3 The term Work as used in the Contract Documents includes all labor necessary to produce the construction required by the Contract Documents, and all materials and equipment incorporated or to be incorporated in such construction.

## ARTICLE 8

### OWNER'S REPRESENTATIVE (OR)

- 8.1 The OR will provide general administration of the Contract and will be the Owner's representative during construction and until issuance of the final Certificate for Payment.
- 8.2 The OR shall at all times have access to the Work wherever it is in preparation and progress.
- 8.3 The OR will make periodic visits to the site to familiarize himself generally with the progress and quality of the Work and to determine in general if the Work is proceeding in accordance with the Contract Documents. On the basis of his on-site observations, he will keep the Owner informed of the progress of the Work, and will endeavor to guard the owner against defects and deficiencies in the Work of the Contractor. The OR will not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. The OR will not be responsible for construction means, methods, techniques, sequences or procedures or for safety precautions and programs in connection with the Work, and he will not be responsible for the Contractor's failure to carry out the Work in accordance with the Contract Documents.
- 8.4 Based on such observations and the Contractor's Applications for Payment, the OR will determine the amounts owing to the Contractor and will issue Certificates for Payment in accordance with Article 16.
- 8.5 The OR will be, in the first instance, the interpreter of the requirements of the Contract Documents. He will make decisions on all claims and disputes.
- 8.6 The OR will have authority to reject Work which does not conform to the Contract Documents.

## ARTICLE 9

### OWNER:

The Owner shall issue all instructions to the Contractor through the OR. The Owner shall not be responsible for the provision of any labor or materials associated with this Work.

## ARTICLE 10

### CONTRACTOR:

- 10.1 The Contractor shall supervise and direct the Work, using his best skill and attention. The Contractor





- shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.
- 10.2 Unless otherwise specifically noted, the Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work.
  - 10.3 The Contractor shall at all times enforce strict discipline and good order among his employees, and shall not employ on the Work any unfit person or anyone not skilled in the task assigned to him.
  - 10.4 The Contractor warrants to the Owner and the OR that all materials and equipment incorporated in the Work will be new unless otherwise specified, and that all Work will be of good quality, free from faults and defects and in conformance with the Contract Documents. All Work not so conforming to these standards may be considered defective.
  - 10.5 The Contractor shall give all notices and comply with all laws, ordinances, rules, regulations, and orders of any public authority bearing on the performance of the Work, and shall notify the OR if the Drawings and Specifications are at variance therewith.
  - 10.6 The Contractor shall be responsible for the acts and omissions of all his employees and all Subcontractors, their agents and employees and all other persons performing any of the Work under a contract with the Contractor.
  - 10.7 The Contractor shall review, stamp with his approval and submit all samples and shop drawings as directed for approval of the OR for conformance with the design concept and with the information given in the Contract Documents. The Work shall be in accordance with approved samples and shop drawings.
  - 10.8 The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the Work he shall remove all his waste materials and rubbish from and about the Project as well as his tools, construction equipment, machinery and surplus materials, and shall clean all glass surfaces and shall leave the Work "broom clean" or its equivalent, except as otherwise specified.

## ARTICLE 11

### SUBCONTRACTS:

- 11.1 A Subcontractor is a person who has a contract with the Contractor to perform any of the Work at the site.
- 11.2 Unless otherwise specified in the Contract Documents or in the Instructions to Bidders, the Contractor, as soon as practicable after the award of the Contract, shall furnish to the OR in writing a list of the names of Subcontractors proposed for the principal portions of the Work. The Contractor



shall not employ any Subcontractor to whom the Owner may have a reasonable objection. The Contractor shall not be required to employ any Subcontractor to whom he has a reasonable objection. Contracts between the Contractor and the Subcontractor shall be in accordance with the terms of this Agreement and shall include the General Conditions of this Agreement insofar as applicable.

## **ARTICLE 12**

### **SEPARATE CONTRACTS AND OWNER WORK:**

- 12.1 The Owner reserves the right to award other contracts in connection with other portions of the Project or other work on the site or to perform such work itself.
- 12.2 Any costs caused by defective or ill-timed work shall be borne by the party responsible therefore.

## **ARTICLE 13**

### **ROYALTIES AND PATENTS:**

Not Applicable

## **ARTICLE 14**

### **PERFORMANCE AND PAYMENT BONDS:**

For the construction portion of the Work, the Contractor shall furnish, at the Contractor's expense, a performance bond and a separate labor and materials payment bond, each for an amount not less than 100% of the Contract Price. The bonds shall be issued by a qualified corporate surety licensed to transact business in Colorado. If at any time during performance of the Work, the surety on the bonds shall be disqualified from doing business in Colorado, or shall become insolvent or otherwise impaired, the Contractor shall furnish bonds from an alternate surety acceptable to the Town. The bonds shall be delivered to the Town's Purchasing Agent prior to the commencement of the Work and shall remain in effect until one year from completion of the Work. The Contractor shall secure an increase in the bonds in an amount equal to the cost of any additional work authorized pursuant to a duly executed Change Order or contract amendment.

## **ARTICLE 15**

### **TIME:**

- 15.1 All time limits stated in the Contract Documents are of the essence of the Contract.
- 15.2 If the Contractor is delayed at any time in the progress of the Work by changes ordered in the Work, by labor disputes, fire, unusual delay in transportation, unavoidable casualties, causes beyond the



Contractor's control, or by any cause which the OR may determine justifies the delay, then the Contract Time shall be extended by Change Order.

## ARTICLE 16

### PAYMENTS:

- 16.1 Payments shall be made as provided in Article 4 of this Agreement.
- 16.2 Payments may be withheld on account of (1) defective Work not remedied, (2) claims asserted or evidence which indicates probable assertion of claims, (3) failure of the Contractor to make payments properly to Subcontractors or for labor, materials, or equipment, (4) damage to another Contractor or Owner, or (5) unsatisfactory prosecution of the Work by the Contractor.

## ARTICLE 17

### PROTECTION OF PERSONS AND PROPERTY AND RISK OF LOSS:

The Contractor shall be responsible for initiating, maintaining, and supervising all safety precautions and programs in connection with the Work. He shall take all reasonable precautions for the safety of, and shall provide all reasonable protection to prevent damage, injury or loss to (1) all employees on the Work and other persons who may be affected thereby, (2) all the Work and all materials and equipment to be incorporated therein, and (3) other property at the site or elsewhere. Contractor shall bear all risk of loss to the work, or materials or equipment for the work due to fire, theft, vandalism, or other casualty or cause, until the work is fully completed and accepted by the Owner. He shall comply with all applicable laws, ordinances, rules, regulations and orders of any public authority having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss. All damage or loss to any property caused in whole or in part by the Contractor, any Subcontractor, any Sub-subcontractor or anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable, shall be remedied by the Contractor.

## ARTICLE 18

### INDEMNIFICATION AND INSURANCE:

18.1 Indemnification:

The Contractor agrees to indemnify and hold harmless Owner, its officers, employees, insurers, and self-insurance pool, from and against all liability, claims, and demands, on account of injury, loss, or damage, including without limitation claims arising from bodily injury, personal injury, sickness, disease, death, property loss or damage, or any other loss of any kind whatsoever, which arise out of or are in any manner connected with this contract, if such injury, loss, or damage is caused in whole or in part by, or is claimed to be caused in whole or in part by, the act, omission, error, Contractor error, mistake, negligence, or other fault of the Contractor, any subcontractor of the Contractor, or any officer, employee, representative, or agent of the Contractor or of any subcontractor of the



Contractor, or which arise out of any workmen's compensation claim of any employee of the Contractor or of any employee of any subcontractor of the Contractor. The Contractor agrees to investigate, handle, respond to, and to provide defense for and defend against, any such liability, claims or demands at the sole expense of the Contractor, or at the option of Owner, agrees to pay Owner or reimburse Owner for the defense costs incurred by Owner in connection with, any such liability, claims, or demands. The Contractor also agrees to bear all other costs and expenses related thereto, including court costs and attorney fees, whether or not any such liability, claims, or demands alleged are groundless, false, or fraudulent. The obligation of this Section 18.1 shall not extend to any injury, loss, or damage which is caused solely by the act, omission, or other fault of the Owner, its officers, or its employees.

18.2 Insurance:

The Contractor agrees to procure and maintain, at its own cost, a policy or policies of insurance sufficient to insure against all liability, claims, demands, and other obligations assumed by the Contractor pursuant to Section 18.1. Such insurance shall be in addition to any other insurance requirements imposed by this contract or by law. The Contractor shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to Section 18.1 by reason of its failure to procure or maintain insurance, or by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types.

18.2.1 Contractor shall procure and maintain, and shall cause any subcontractor of the Contractor to procure and maintain, the minimum insurance coverages listed below. Such coverages shall be procured and maintained with forms and insurers acceptable to Owner. All coverages shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Contractor pursuant to Section 18.1. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage.

- (A) Workmen's Compensation insurance to cover obligations imposed by applicable laws for any employee engaged in the performance of work under this contract, and Employers' Liability insurance with minimum limits of FIVE HUNDRED THOUSAND DOLLARS (\$500,000) each accident, FIVE HUNDRED THOUSAND DOLLARS (\$500,000) disease - policy limit, and FIVE HUNDRED THOUSAND DOLLARS (\$500,000) disease - each employee. Evidence of qualified self-insured status may be substituted for the Workmen's Compensation requirements of this paragraph.
- (B) Commercial General Liability insurance with minimum combined single limits of ONE MILLION DOLLARS (\$1,000,000) each occurrence and ONE MILLION DOLLARS (\$1,000,000) aggregate. The policy shall be applicable to all premises and operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket contractual, independent Contractors, products, and completed operations. The policy shall include coverage for explosion, collapse, and underground hazards. The policy shall contain a severability



of interests provision.

- (C) Comprehensive Automobile Liability insurance with minimum combined single limits for bodily injury and property damage of not less than ONE MILLION DOLLARS (\$1,000,000) each occurrence and ONE MILLION DOLLARS (\$1,000,000) aggregate with respect to each of Contractor's owned, hired and non-owned vehicles assigned to or used in performance of the services. The policy shall contain a severability of interests provision. If the Contractor has no owned automobiles, the requirements of this Paragraph (3) shall be met by each employee of the Contractor providing services to the Owner under this contract.

- 18.2.2 Every policy required above shall be primary insurance and any insurance carried by Owner, its officers, or its employees, or carried by or provided through any insurance pool of Owner, shall be excess and not contributory insurance to that provided by Contractor. No additional insured endorsement to any policy shall contain any exclusion for bodily injury or property damage arising from completed operations. The Contractor shall be solely responsible for any deductible losses under any policy required above.
- 18.2.3 Failure on the part of the Contractor to procure or maintain policies providing the required coverages, conditions, and minimum limits shall constitute a material breach of contract upon which Owner may immediately terminate this contract, or at its discretion Owner may procure or renew any such policy or any extended reporting period thereto and may pay any and all premiums in connection therewith, and all monies so paid by Owner shall be repaid by Contractor to Owner upon demand, or Owner may offset the cost of the premiums against any monies due to Contractor from Owner.
- 18.2.5 Owner reserves the right to request and receive a certified copy of any policy and any endorsement thereto.
- 18.2.6 The parties hereto understand and agree that Owner is relying on, and does not waive or intend to waive by any provision of this contract, the monetary limitations (presently \$350,000 per person and \$990,000 per occurrence) or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act (CRS §24-10-101 *et seq.*) as from time to time amended, or otherwise available to Owner, its officers, or its employees.

## ARTICLE 19

### CHANGES IN THE WORK:

The Owner without invalidating the Contract may order Changes in the Work consisting of additions, deletions, or modifications with the Contract Sum and the Contract Time being adjusted accordingly. All such changes in the Work shall be authorized by written Change Order signed by the Owner. The Contract Sum and the Contract Time may be changed only by Change Order. The cost or credit to the Owner, if any,



from a Change in the Work shall be determined by unit prices if specified in the contract documents, or by mutual agreement.

## **ARTICLE 20**

### **CORRECTION OF WORK:**

The Contractor shall correct any Work that fails to conform to the requirements of the Contract Documents where such failure to conform appears during the progress of the Work, and shall remedy any defects due to faulty materials, equipment or workmanship which appear within a period of one year from the Date of Final Settlement of the Contract or within such longer period of time as may be prescribed by law or by the terms of any applicable special guarantee required by the Contract Documents. The provisions of this Article 20 apply to Work done by Subcontractors as well as to Work done by direct employees of the Contractor, and are in addition to any other remedies or warranties provided by law.

## **ARTICLE 21**

### **TERMINATION BY THE CONTRACTOR:**

If the OR fails to issue a payment for invoiced billings within a thirty-day period, the Contractor may, upon seven days' written notice to the Owner and the OR, terminate the Contract and recover from the Owner payment for all Work executed and for any proven loss sustained upon any materials, equipment tools, and construction equipment and machinery, including reasonable profit and damages.

## **ARTICLE 22**

### **TERMINATION BY THE OWNER:**

If the Contractor defaults or neglects to carry out the Work in accordance with the Contract Documents or fails to perform any provision of the Contract, the Owner may, after seven days' written notice to the Contractor and without prejudice to any other remedy he may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due the Contractor or, at his option, may terminate Contractor's work under the Contract and take possession of the site and of all materials, equipment, tools, and construction equipment and machinery thereon owned by the Contractor and may finish the Work by whatever method he may deem expedient, and if the unpaid balance of the Contract Sum exceeds the expense of finishing the Work, such excess shall be paid to the Contractor, but if such expense exceeds such unpaid balance, the Contractor shall pay the difference to the Owner. These rights and remedies are in addition to any right to damages or other rights and remedies allowed by law.

## **ARTICLE 23**

### **OWNERSHIP:**

23.1 Regardless of the future services retained by the successful contractor, all of the products of this project, including recommendations, drawings, artwork, photos, and similar materials used to



produce the required submittals, shall become the property of the Town of Ridgway. Any furnished materials shall remain the property of the Town of Ridgway. All such items shall be delivered to the Town of Ridgway in usable condition after completion of the work, and prior to submission of the invoice for payment.

- 23.2 Any materials excavated from the project site shall be used on the project where possible. The Town reserves the right to maintain possession of any unused excavated materials at the Town's discretion.

#### **ARTICLE 24**

##### **MISCELLANEOUS PROVISIONS:**

This contract is governed by the laws of the State of Colorado.

Contractor shall not assign this contract. The provisions of the contract are binding on the heirs, successors or assignees of the parties.

The rights and remedies available under this contract shall be in addition to any rights and remedies allowed by law.

No failure to enforce any provision of the contract on account of any breach thereof, shall be considered as a waiver of any right to enforce provisions of this contract concerning any subsequent or continuing breach.

The terms of this agreement shall remain in full force and effect following final payment.

#### **ARTICLE 25**

##### **ILLEGAL ALIEN PROVISIONS REQUIRED BY COLORADO REVISED STATUTES 8-17.5-102, AS AMENDED:**

- A. Contractor shall not knowingly employ or contract with an illegal alien to perform work under this Agreement.
- B. Contractor shall not enter into a contract with a Subcontractor that fails to certify to the Contractor that the Subcontractor shall not knowingly employ or contract with an illegal alien to perform work under this Agreement.
- C. Contractor has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this agreement through participation in either (1) the e-verify program, (the electronic employment verification program created in Public Law 104-208 as amended and expanded in Public Law 108-156, as amended, and jointly administered by the US Department of Homeland Security and the Social Security Administration, or its successor program) or (2) the Department Program (the employment verification program established pursuant to CRS 8-17.5-102(5)(c)).





- D. Contractor is prohibited from using the e-verify program or the Department program procedures to undertake pre-employment screening of job applicants while this Agreement is being performed.
- E. If the Contractor obtains actual knowledge that a Subcontractor performing work under this Agreement knowingly employs or contracts with an illegal alien, the Contractor shall be required to: (a) notify the Subcontractor and the Town within three days that the Contractor has actual knowledge that the Subcontractor is employing or contracting with an illegal alien; and (b) terminate the subcontract with the Subcontractor if within three days of receiving the notice required pursuant to (a) of this paragraph (E), the Subcontractor does not stop employing or contracting with the illegal alien; except that the Contractor shall not terminate the contract with the Subcontractor if during such three days the Subcontractor provides information to establish that the Subcontractor has not knowingly employed or contracted with an illegal alien.
- F. Contractor shall comply with any reasonable request by the Department of Labor and Employment in the course of an investigation that the Department is undertaking pursuant to CRS 8-17.5-102(5)
- G. If Contractor violates these illegal alien provisions, the Town may terminate this Agreement for a breach of contract. If this Agreement is so terminated, Contractor shall be liable for actual and consequential damages to the Town. The Town will notify the Office of the Secretary of State if Contractor violates these provisions and the Town terminates this Agreement for that reason.
- H. Contractor shall notify the Town of participation in the Department program and shall within 20 days after hiring an employee who is newly hired for employment to perform work under this Agreement affirm that the Contractor has examined the legal work status of such employee, retained file copies of the documents required by 8 USC 1324a and not altered or falsified the identification documents for such employee. Contractor shall provide a written, notarized copy of the affirmation to the Town.

<<insert signatures>>





## EXHIBIT A to Construction Contract SCOPE OF SERVICES and PROJECT TIMELINE

### Scope of Services

<<Insert from proposal with any agreed upon edits>>

### Project Timeline

<<Insert from proposal with any agreed upon edits>>

## EXHIBIT B to Construction Contract BUDGET

<<Insert from proposal with any agreed upon edits>>



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TOWN HALL PO Box 10 | 201 N. Railroad Street | Ridgway, Colorado 81432 | 970.626.5308 | [www.town.ridgway.co.us](http://www.town.ridgway.co.us)

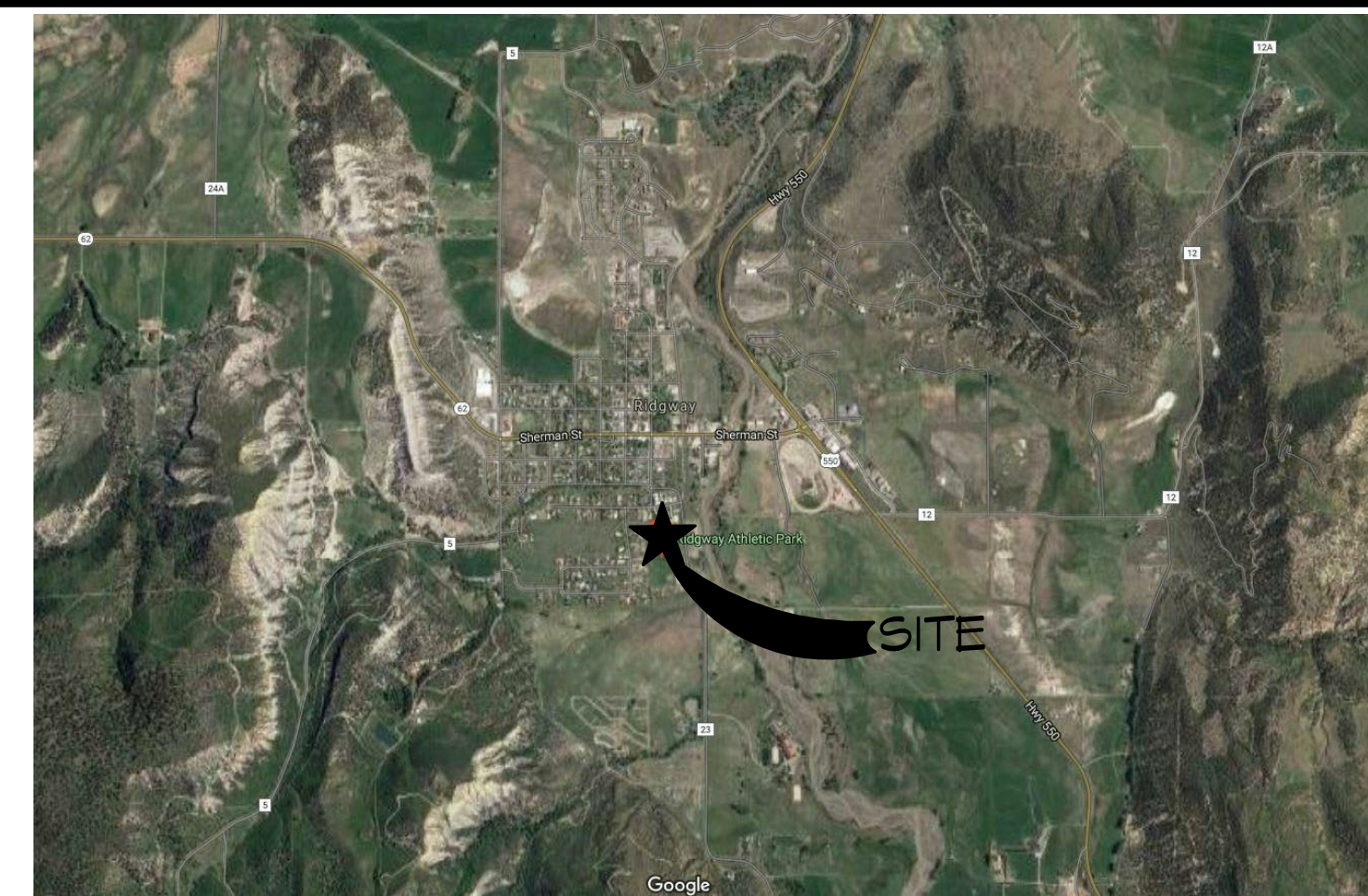
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## EXHIBIT 2

### CONSTRUCTION DOCUMENTS



SITE VICINITY MAP



PROJECT DATA

GROSS FLOOR AREAS	
CONCESSION	128 SF
EQUIPMENT STORAGE	538 SF
TOTAL	666 SF
UNCONDITIONED DECK SPACE	2,212 SF
OCCUPANCY GROUPS:	S-2 A-5 B
CONSTRUCTION TYPE:	V-B

PROPERTIES LEGAL DESCRIPTION:  
SOLAR RANCHES #2B OUTLOT A

RIDGWAY ATHLETIC  
PAVILION

6579 COUNTY ROAD 23  
RIDGWAY, CO 81432



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

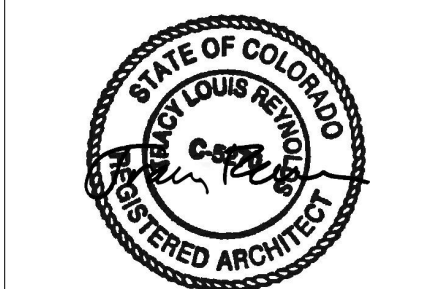
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DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

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ABBREVIATIONS

A.B. ACT A.F.F. AGGR. AL. ALT. APPROX. ARCH.	ANCHOR BOLT ACOUSTICAL CEILING TILE ABOVE FINISHED FLOOR AGGREGATE ALUMINUM ALTERNATE APPROXIMATE ARCHITECTURAL	I.D. INSUL. INT.	INSIDE DIAMETER INSULATION INTERIOR
BD. BL.D.S. BLK. BLK'S. BM. BOT. BTWN. B.U.R. B.W.	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM BETWEEN BUILT UP ROOFING BOTH WAYS	JAN. JNT. JST. KIT.	JANITOR JOINT JOIST KITCHEN
C.J. CL.G. CLK.G. CLR. C.M.U. COL. CONC. CONN. CONSTR. CONT. C.T. C.O.A.	CONTROL JT. CEILING CAULKING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CERAMIC TILE CENTER OF ARCH	LAB. LAM. LAV. LT.	LABORATORY LAMINATE LAVATORY LIGHT
DES. DET./DTL. D.F. DIAG. DIA. Ø DN. DS. DWS.	DEGREE DETAIL DRINKING FOUNTAIN DIAGONAL DIAMETER DOWN DOWN DRAPOUT DRAWING	MAX. MECH. MEMB. MFR. M.H. MIN. MISC. M.O. MTL. MUL.	MAXIMUM MECHANICAL MEMBRANE MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING METAL MULLION
E (E) EA. E.J. E.I.F.S.	EAST EXISTING EACH EXPANSION JOINT EXTERIOR INSULATION AND FINISH SYSTEM ELEVATION	N N.I.C. NO. NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
EL./ELEV. ELEC. ELEV. EMER. ENCL. EQ. EQUIP. E.V. E.V.C. EXP. EXT.	ELECTRICAL ELEVATION EMERGENCY ENCLOSURE EQUAL EQUIPMENT EACH WAY ELECTRIC WATER COOLER EXPANSION EXTERIOR	P.C.T. P.L. P.LAM. PLAS. PLYND. FR.	PRE-CAST PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR
F.A. F.D. F.D.C. FDN. F.E. F.E.C. F.F. F.H.C. FIN. F.L. FLR. FLUOR. FND. F.O.B. F.O.C. F.S. FT. FTG. FURR.	FIRE ALARM FLOOR DRAIN FIRE DEPARTMENT CONNECTION FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FIRE HOSE CABINET FINISH FLOW LINE FLOOR FLUORESCENT FOUNDATION FACE OF BRICK FACE OF CONCRETE FULL SIZE FOOT OR FEET FOOTING FURRING	PCT. P.L. P.LAM. PLAS. PLYND. FR. Q.T.	QUARRY TILE
G.A. GALV. G.C. G.L. GR. GYP. GYP. BD.	GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GRADE GYPSUM GYPSUM BOARD	R. R.D. RE. REFR. REINFR. REINFD. RM R.O.	RISER ROOF DRAIN REFER TO ... REFRIGERATOR REINFORCED REQUIRED ROOM ROUGH OPENING
H.B. H.C. H/C HDWD. HDVE. H.M. HORIZ. HR. HT. HVAC	HOSE BIBB HOLLOW CORE HANDICAPPED HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT HEATING, VENTILATION AND AIR CONDITIONING	S S.G. SCHED. SECT. S.F. SHT. SIM. S.P. SPEC. SQ. OR S.S. S.S.D. STAGG. STD. STIFF STEEL STRUC. SUSPENDED	SOUTH SOLID CORE SCHEDULE SECTION SQUARE FOOT SHEET SIMILAR SPRING POINT SPECIFICATION SQUARE STAINLESS STEEL SEE STRUCTURAL DRAWINGS STAGGERED STANDARD STIFFENER STEEL STRUCTURAL SUSPENDED
T.B. T & B TER. T & G THK. T.O. TUBE STEEL TYP.	TREAD TOP AND BOTTOM TERRAZZO TONGUE & GROOVE THICK TOP OF TUBE STEEL TYPICAL	TR T & B TER. T & G THK. T.O. TUBE STEEL TYP.	TREAD TOP AND BOTTOM TERRAZZO TONGUE & GROOVE THICK TOP OF TUBE STEEL TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE	U.N.O.	UNLESS NOTED OTHERWISE
V.C.T. VER. VERT.	VINYL COMPOSITION TILE VERIFY VERTICAL	V.C.T. VER. VERT.	VINYL COMPOSITION TILE VERIFY VERTICAL
W W/ W.C. WD. W/O	W W/ WATER CLOSET WOOD WITHOUT	W W/ W.C. WD. W/O	W W/ WATER CLOSET WOOD WITHOUT
CL	CENTERLINE	CL	CENTERLINE

NOTE: Clarify with Architect any abbreviations not listed.  
Some abbreviations on list may not be used in project.

PROJECT DIRECTORY

<b>OWNER CONTACT:</b> TOWN OF RIDGWAY SHAY COBURN - TOWN PLANNER 201 N. RAILROAD STREET RIDGWAY, COLORADO 81432 (970) 626-5909 ext. 222	<b>STRUCTURAL ENGINEER:</b> REYNOLDS ASH + ASSOCIATES TRACY REYNOLDS 1140 MAIN AVENUE, SUITE B DURANGO, CO 81301 (970) 259-9474
<b>ARCHITECT:</b> REYNOLDS ASH + ASSOCIATES ELIZABETH BOONE 1140 MAIN AVENUE, SUITE B DURANGO, CO 81301 (970) 259-9474	<b>SURVEYOR:</b> ORION SURVEYING LLC PETER C. SAUER, PLS 38135 23414 UNCOMPAGRE ROAD MONTROSE, COLORADO 81403 (970)249-5349

ARCHITECTURAL SYMBOLS

	SECTION: SECTION NUMBER SHEET NUMBER		EXTERIOR ELEVATION: SHEET NUMBER ELEVATION NUMBER
	DETAIL: DETAIL NUMBER SHEET NUMBER		INTERIOR ELEVATION: SHEET NUMBER ELEVATION NUMBER
	DOOR DESIGNATION		WINDOW DESIGNATION
	COLUMN GRID		ROOF SLOPE INDICATION
	COLUMN LINE		ELEVATION TAG
	CENTER LINE		NORTH ARROW
	DIMENSION LINE TO WALL OR OTHER OBJCT.		

MATERIALS LEGEND

	- EARTH		- WOOD BLOCKING
	- RIGID INSULATION		- PLYWOOD/SHEATHING
	- CONCRETE		- GYPSUM BOARD

GENERAL NOTES:

<b>I. APPLICABLE CODES:</b> 2018 INTERNATIONAL BUILDING CODE APPENDICES E, I and J 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 NATIONAL ELECTRIC CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE	<b>III. PROJECT LAYOUT REQUIREMENTS:</b> A. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE DRAWINGS. B. DIMENSIONING IS AS FOLLOWS, UNLESS OTHERWISE NOTED: CENTERLINE OF COLUMNS FACE OF CONCRETE FACE OF MASONRY EXTERIOR FACE OF STUD AT EXTERIOR WALLS FACE OF STUD AT INTERIOR STUD WALLS CENTER OF WINDOW AND DOOR OPENINGS C. ALL FINISH FLOOR ELEVATIONS ARE TO TOP OF SLAB OR TOP OF SHEATHING, U.N.O. D. ALL STEPS SHALL HAVE 1" MAXIMUM RISERS AND 11" MINIMUM TREADS U.N.O OR SPECIFIED DIFFERENTLY ON THE DRAWINGS. E. ALL INTERIOR FEATURES SHOWN ARE CONCEPTUAL. VERIFY SHAPE, HEIGHT, AND DISTANCE OFF FINISH FLOOR WITH OWNER AND ARCHITECT AT CONSTRUCTION PHASE.	<b>V. PROJECT CONSTRUCTION REQUIREMENTS:</b> A. ALL FRAMED WALLS SHALL HAVE AN EXTERIOR MOISTURE BARRIER AS FOLLOWS: TYVEK OR EQUAL AT WOOD SIDING OR HARDI-PLANK SIDING ONE LAYER 30# FELT AT MASONRY VENEER TWO LAYERS 15# FELT AT STUCCO B. ALL WINDOWS SHALL BE FLASHED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS C. AT MASONRY VENEER, PROVIDE FLEXIBLE MEMBRANE FLASHING AT THE BASE OF ALL WALLS AND AT WINDOW AND DOOR HEADS. PROVIDE PVC KEEPS AT 24 INCHES O.C. DIRECTLY ABOVE THE FLASHING.
<b>II. GENERAL/CONTRACT REQUIREMENTS:</b> A. SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB. B. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY THE OWNER. C. SUBCONTRACTOR MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. D. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES WORKING SIMULTANEOUSLY OR FOLLOWING THEM. E. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.	<b>IV. LIFE SAFETY REQUIREMENTS:</b> A. SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: GLAZING IN SWINGING DOORS GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, HOT TUBS, WIRLPOOLS, ETC. GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF A DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. GLAZING MEETING ALL OF THE FOLLOWING: 1. EXPOSED AREA, 9 S.F. 2. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR 3. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR. 4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING. GLAZING IN GUARDRAILS AND RAILINGS. GLAZING ADJACENT TO STAIRWAYS OR RAMPS.	<b>VI. PROJECT WORKMANSHIP:</b> A. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. B. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. C. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE SUBCONTRACTOR. D. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK. E. SUBCONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEPT CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN. F. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.

DRAWING INDEX

01.GENERAL	COVER SHEET
6-101	CODE PLAN
02.SITE	
AS-101	SITE PLAN
AS-102	SITE SURVEY
AS-103	SITE PLAN OVERALL
03.LANDSCAPE	
L-101	LANDSCAPE PLAN
ARCHITECTURAL	
A-101	MAIN FLOOR PLAN
A-102	ROOF PLAN
A-103	REFLECTED CEILING PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-301	BUILDING SECTIONS
A-302	WALL SECTIONS
STRUCTURAL	
S-201	FOUNDATION PLAN
S-202	FOUNDATION DETAILS
S-301	MAIN FLOOR FRAMING PLAN
S-302	ROOF FRAMING PLAN

RIDGWAY ATHLETIC PAVILION  
6579 COUNTY ROAD 23  
RIDGWAY, CO 81432

JOB. NO.: 19175  
DATE: 2020-02-24  
DRAWN BY: RA+A

ISSUE RECORD:  
2020-02-24 PERMIT SET

REVISIONS:

G-101  
COVER SHEET



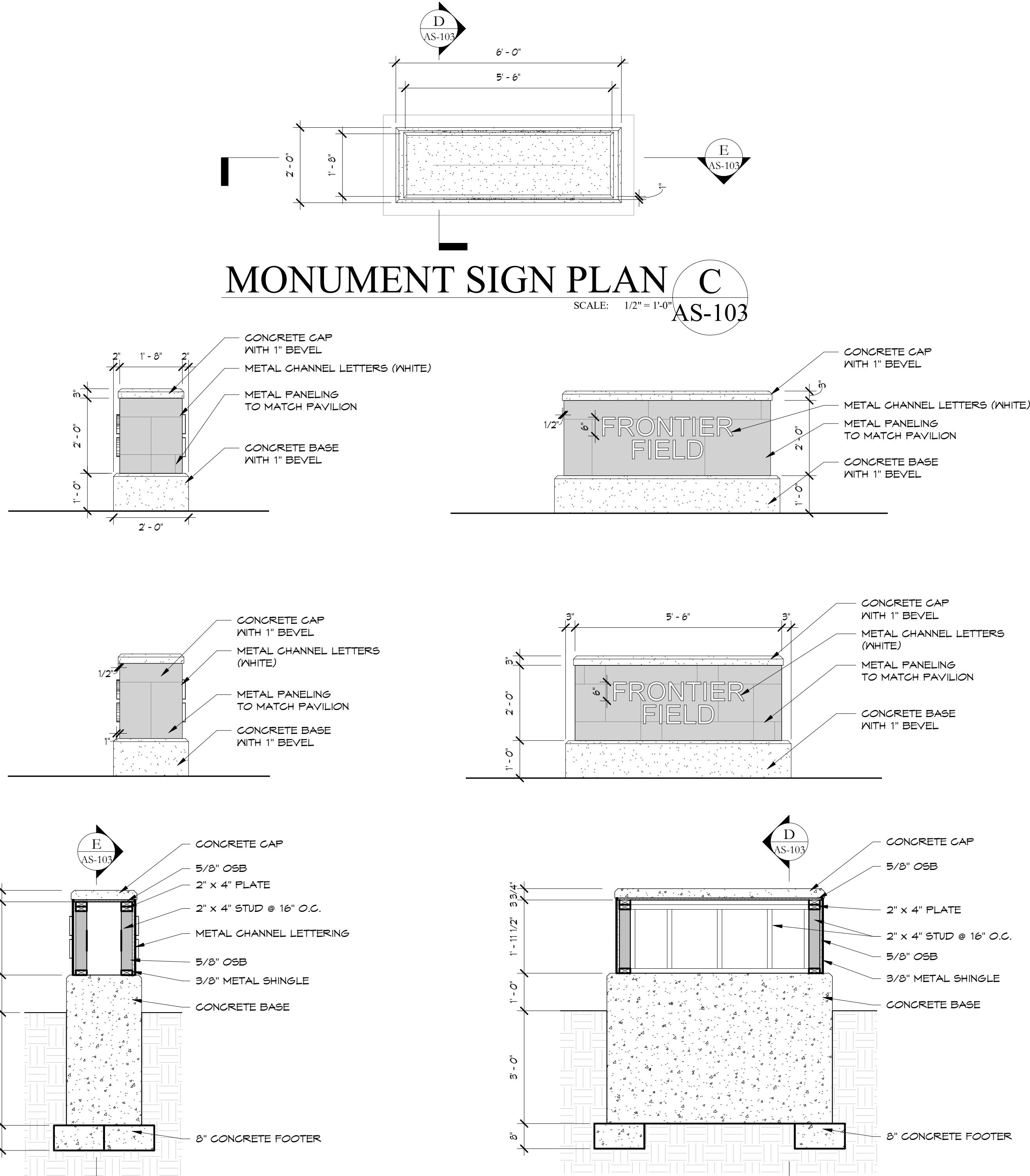










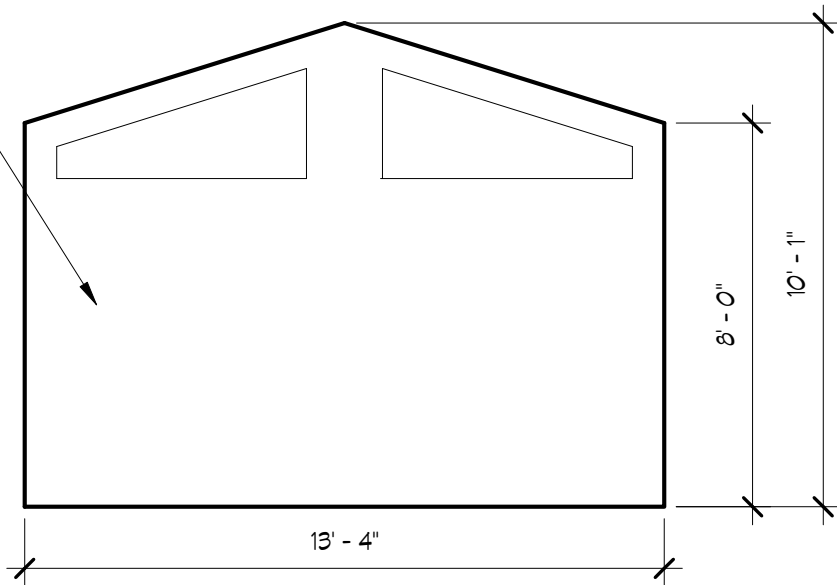


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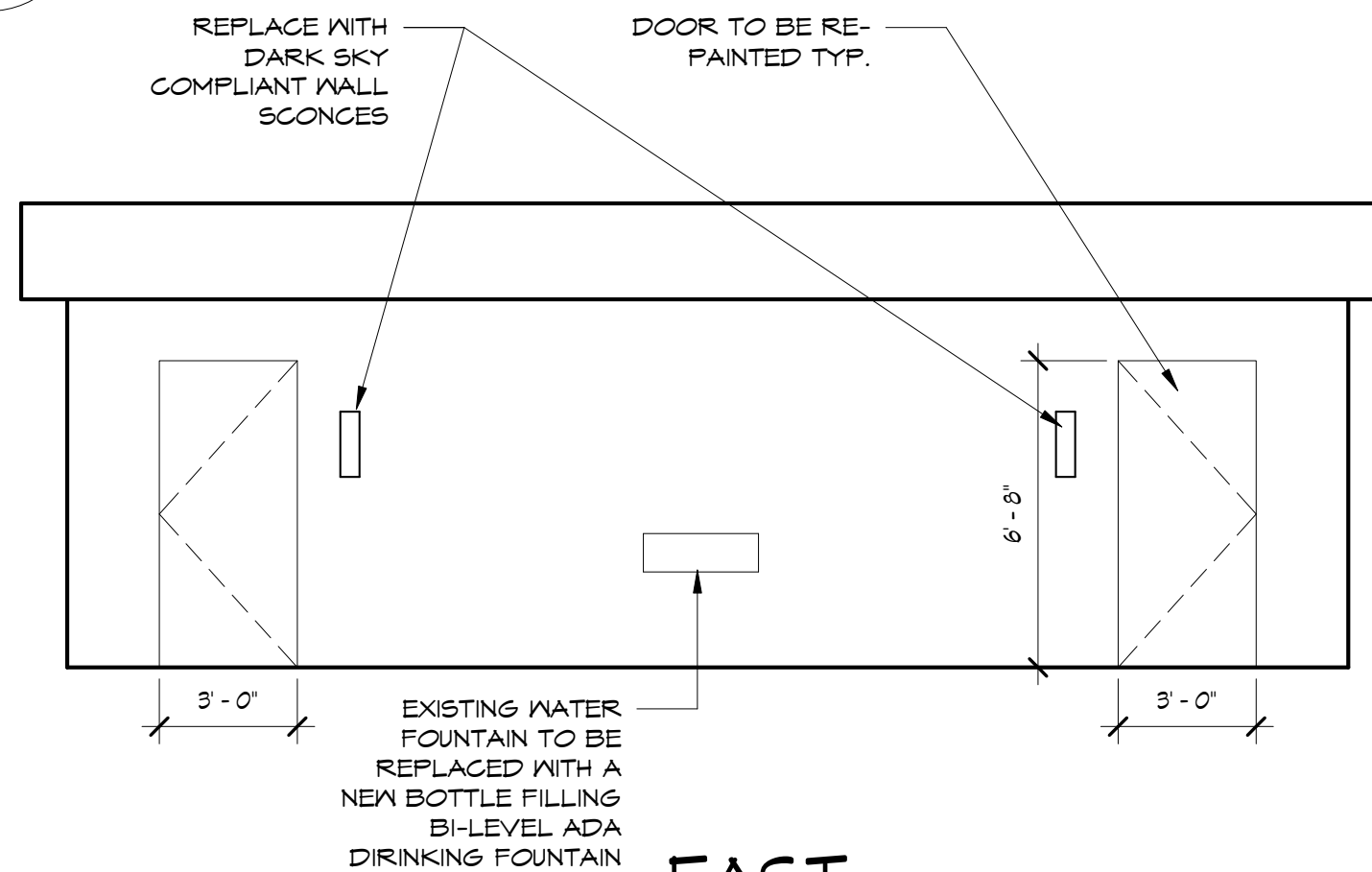
MONUMENT SIGN SECTION 2 E AS-103

EXISTING RESTROOM TO BE RE-CLAD IN RUSTED CORRUGATED SIDING

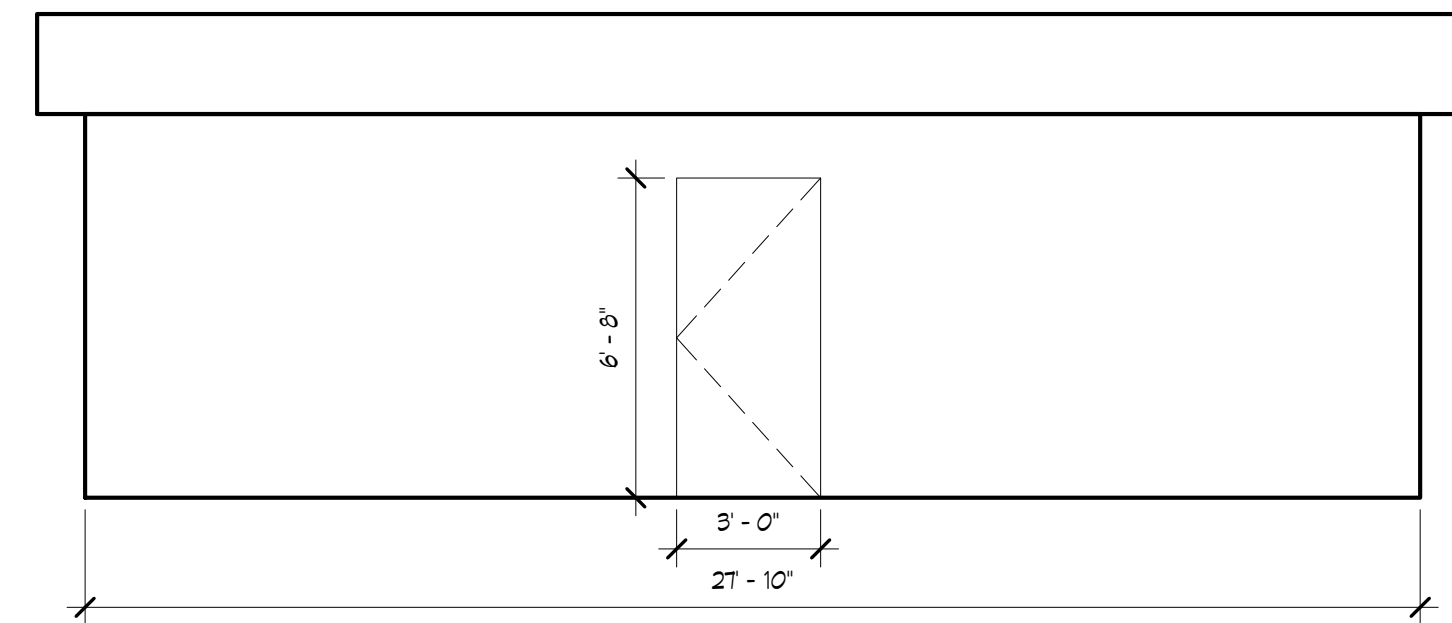
- NOTE:
1. PROVIDE THE OWNER PRICING FOR REPLACEMENT OF THE ROOF WITH METAL STANDING SEAM AS AN ALTERNATE
  2. REPLACE 2 MIRRORS OVER VANITY WITH ADA COMPLIANT MIRRORS
  3. ADD A VERTICAL GRAB BAR IN THE 2 ADA STALLS
  4. NEW DRINKING FOUNTAIN:  
MANUFACTURE - ELKAY  
MODEL - LZ5TL9NSSP  
DESCRIPTION - BOTTLE FILLING STATIONS AND BI LEVEL ACCESSIBLE ELECTRIC WATER COOLER



SOUTH / NORTH

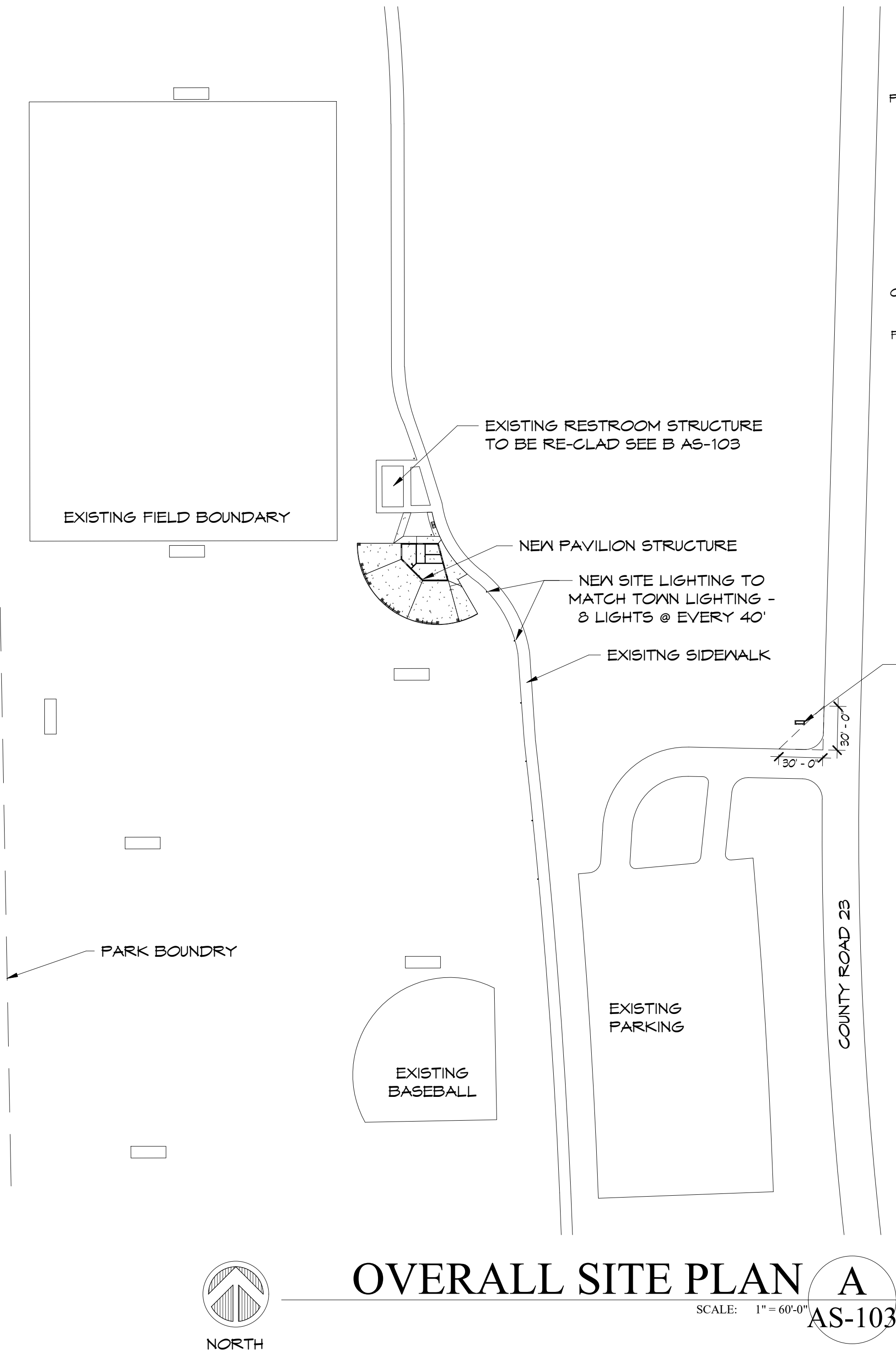


EAST



WEST

RESTROOM ELEVATION B AS-103



LIGHT TO BE PROVIDED BY TOWN

CONTRACTOR TO VERIFY REQUIRED FOOTING FOR SITE LIGHTS



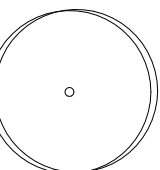
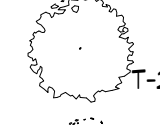



EXISTING SIDEWALK LIGHTING IN TOWN OF RIDGWAY BY ATTRACTION LIGHTING, LLC



PLANT SCHEDULE

T- TREES					TREE NAME QUANTITY
KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	
T-1	2' CAL.	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE		
T-2	1 3/4" CAL.	ACER GINNALA	AMUR MAPLE		
Shade Tree alt. option					TILIA CORDATA
Ornamental tree alt. option					PINK DOGWOOD
Ornamental Evergreen option					AUSTRIAN PINE
S- SHRUBS					PLANT NAME QUANTITY
KEY	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS	
S-1	5-1 GAL.	BUDDLEIA DAVIDI	BUTTERFLY BUSH		
S-2	5-1 GAL.	POTENTILLA 'JACKMAN'	JACKMAN'S POTENTILLA		
S-3	5 GAL.	GALAMAGOSTIS X ACQUIFLORA 'KARL'	KARL FORESTER REED GRASS		
Large Shrub Alt. Option					GOLDMOUND SPIREA
Large Shrub Alt. Option					SYMPHORICARPOS OROPHILIUS
Ornamental Grass Alt. Option					INDIAN RICE GRASS
G- GROUND COVERS					GROUND COVER TYPE
KEY	DESCRIPTION	REMARKS			
G-1	HYDRONIC MULCHING- NATIVE GRASS	THE LANDSCAPE CONTRACTOR SHALL FINISH GRADE THESE AREAS AND APPLY BY HYDRONIC MULCHING PROCESS OR A MECHANICAL SEED SPREADING PROCESS SUFFICIENTLY TO PROMOTE RAPID SEED GERMINATION.			
G-2	CEDAR MULCHING	CEDAR MULCHING TO BE APPLIED 4" DEEP IN AREAS INDICATED ON PLANS. INSTALL NEED MAT BELOW ALL AREAS TO RECEIVE MULCH.			

PLANT LEGEND

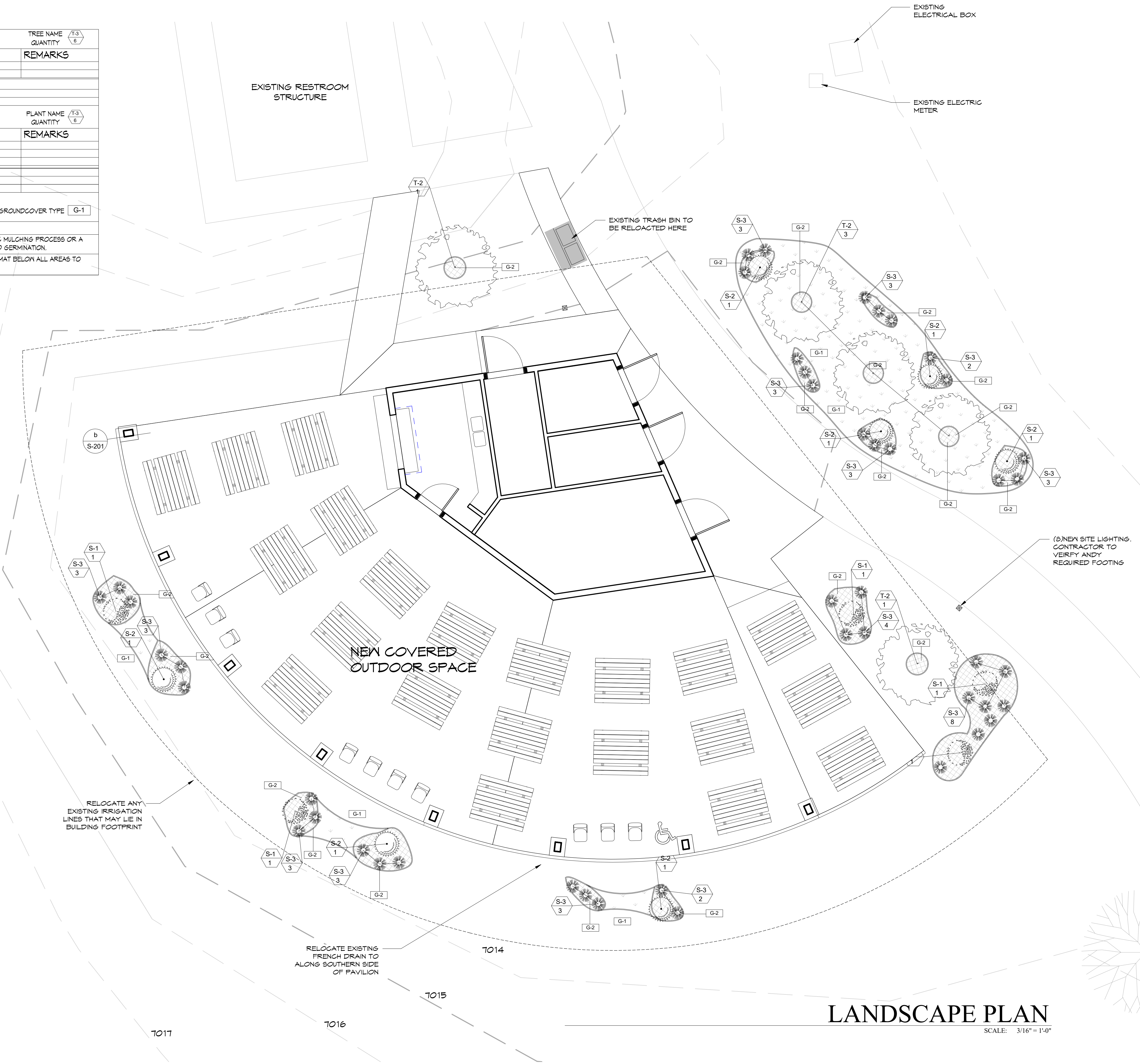
-  T-1 SHADE TREE--SEE SCHEDULE
-  T-2 ORNAMENTAL TREE--SEE SCHEDULE
-  S-1 LARGE SHRUB--SEE SCHEDULE
-  S-2 LARGE SHRUB--SEE SCHEDULE
-  S-3 ORNAMENTAL GRASS--SEE SCHEDULE

LANDSCAPE PLAN GENERAL NOTES :

1. LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
2. ALL PLANTINGS, IRRIGATION MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING ACCEPTANCE.
3. PROVIDE AUTOMATIC, TIMED, IRRIGATION TO ESTABLISH PLANTS. CONNECT TO EXISTING SYSTEM
4. FOLLOW CITY/COUNTY PRESERVATION AND PLANTING GUIDELINES.
5. PRESERVE ALL EXCAVATED BOULDERS LARGER THAN APPX. 2' FOR LANDSCAPING. VERIFY LOCATIONS OF BOULDERS WITH OWNER OR ARCHITECT.
6. XERISCAPE IS THE INTENTION, PLANT PROVIDER TO VERIFY. SUBSTITUTIONS ALLOWED PER OWNER APPROVAL AND NURSERY EXPERTISE.
7. ALL PLANTINGS TO BE PLANTED IN A DEFINED, EDGED AREA OF MULCH.
8. SPREAD SHREDDDED BARK MULCH MINIMUM 4" DEEP.
9. STEEL EDGER, DESIGNED FOR LANDSCAPE APPLICATIONS SHALL SEPARATE SHREDDDED BARK MULCH FROM OTHER AREAS.

LANDSCAPE PLAN GENERAL NOTES :

1. PICNIC TABLES: TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR THERMOPLASTIC POWDER COATED STEEL, MOUNTED SECURELY TO GROUND. PROVIDE ANCHOR BOLTS IN SLAB AT MANUF. REC. LOCATIONS. COORDINATE WITH OWNER
2. TRASH CAN: EXISTING BEARPROOF BIN TO BE RELOACTED PROVIDE 1/2" DIA. ANCHOR BOLTS AS REQUIRED
3. BACKFLOW PREVENTER & VALVE PIT CASE - BACKFLOW ARMOR EKONOB03013, PROVIDE 1/2" DIA. ANCHOR BOLTS PER MANUF. SPECIFICATIONS
4. PEDESTRIAN LIGHTINGS - PER AS - 103 PLACE ON 12" X 52"D. SONATUBE BASE
5. STADIUM SEATS: TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR MOUNTED SECURELY TO GROUND. PROVIDE ANCHOR BOLTS IN SLAB AT MANUF. REC. LOCATIONS. COORDINATE WITH OWNER
6. SITE LIGHTING: TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR. CONTRACTOR TO VERIFY ANY REQUIRED FOOTING



LANDSCAPE PLAN

SCALE: 3/16" = 1'-0"



**REYNOLDS ASH + ASSOCIATES**

**ARCHITECTURE ENGINEERING**


1140 MAIN AVE, STE. B  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492

262 PAGOSA STREET, STE. 200  
P.O. BOX 96  
PAGOSA SPRINGS, CO 81447  
(970) 264-6884

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**RIDGWAY ATHLETIC PAVILION**

6579 COUNTY ROAD 23  
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JOB. NO.: 19175  
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DRAWN BY: EB

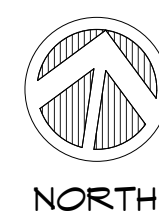
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**L-101**

LANDSCAPE PLAN





SCALE: 1/4" = 1'-0'

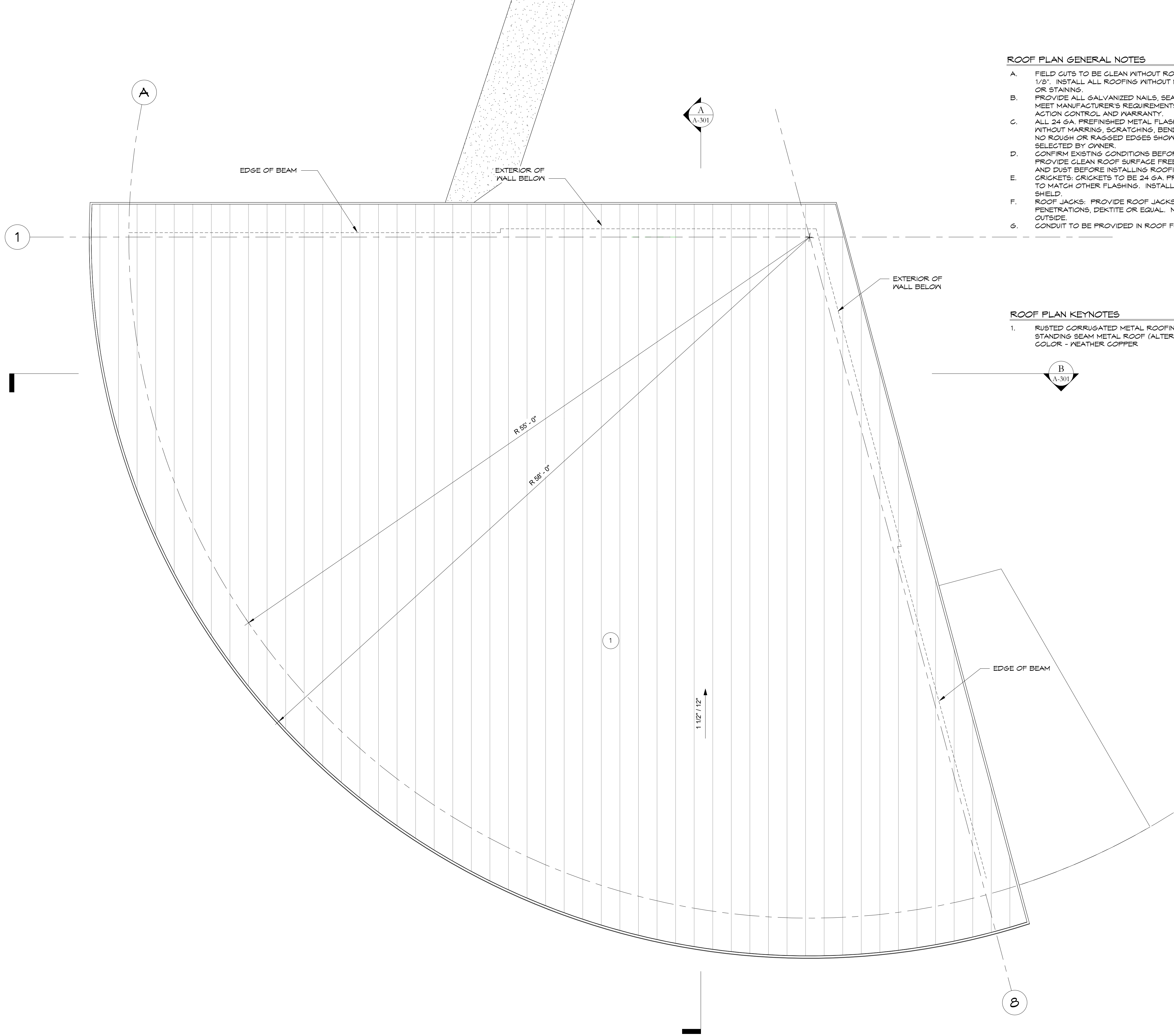
"A-101

CONCESSION	131 SF
EQUIPMENT STORAGE	419 SF
TOTAL	550 SF
UNCONDITIONED COVERED SPACE	2,212 SF
NEW SIDEWALK	622 SF



### MAIN FLOOR PLAN





- ROOF PLAN GENERAL NOTES**
- A. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8". INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
  - B. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
  - C. ALL 24 GA. PREFINISHED METAL FLASHINGS TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
  - D. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
  - E. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL, COLOR TO MATCH OTHER FLASHING. INSTALL OVER ICE AND WATER SHIELD.
  - F. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKTITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.
  - G. CONDUIT TO BE PROVIDED IN ROOF FOR FUTRE SOLAR PANELS

- ROOF PLAN KEYNOTES**
- 1. RUSTED CORRUGATED METAL ROOFING OR STANDING SEAM METAL ROOF (ALTERNATE) COLOR - WEATHER COPPER



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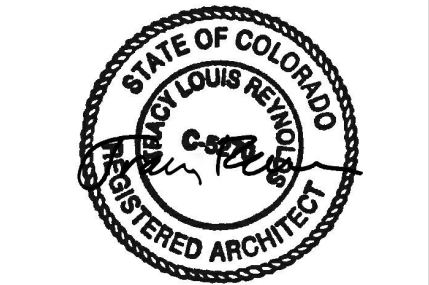
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**RIDGWAY ATHLETIC PAVILION**

6579 COUNTY ROAD 23  
RIDGWAY, CO 81432

JOB. NO.: 19175  
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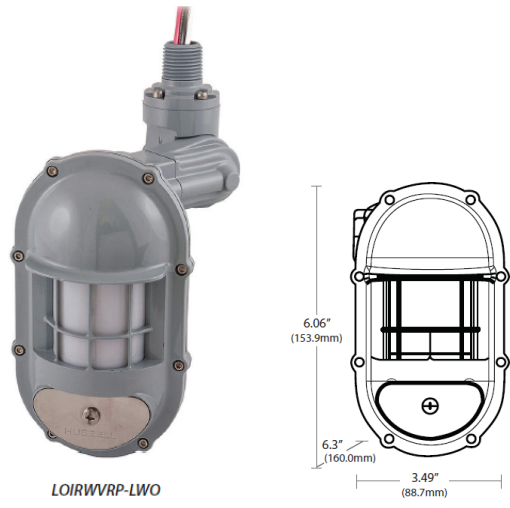
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ROOF PLAN

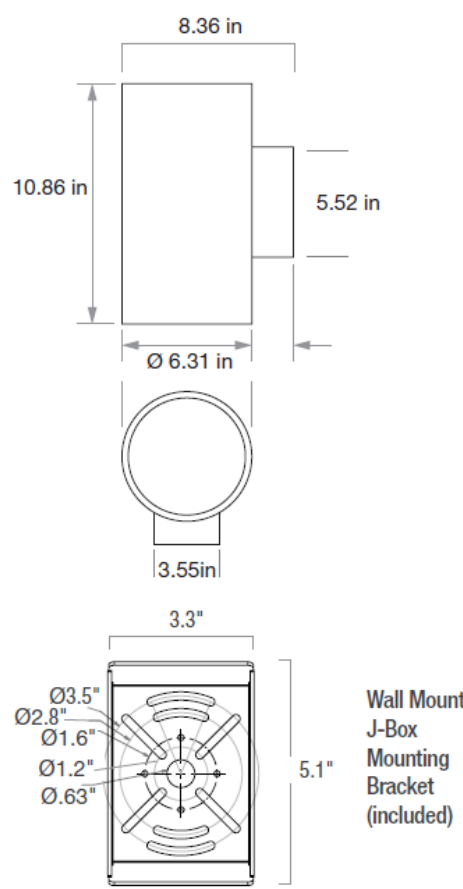


KEYNOTE # 10  
MANUFACTURE - HUBBELL CONTROLS SYSTEMS  
MODEL - LOIRAVRP-LAO

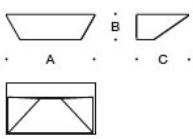


KEYNOTE # 6  
MANUFACTURE - FCC LIGHTING  
MODEL - FCC 600  
COLOR - BLACK  
DARKSKY - COMPLIANT

WALL MOUNT	
WM - wall mount	2.05" D
total fixture depth	8.36" D



KEYNOTE #5  
MANUFACTURE - BEGA  
MODEL - 24 362  
COLOR - BLACK



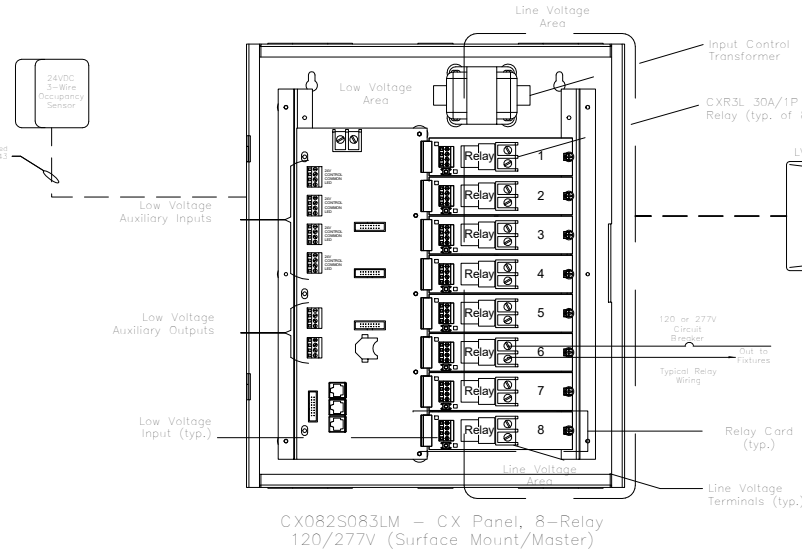
LED wall washer - asymmetrical light distribution	
LED	A B C
24362	33.6W 12% 4% 6



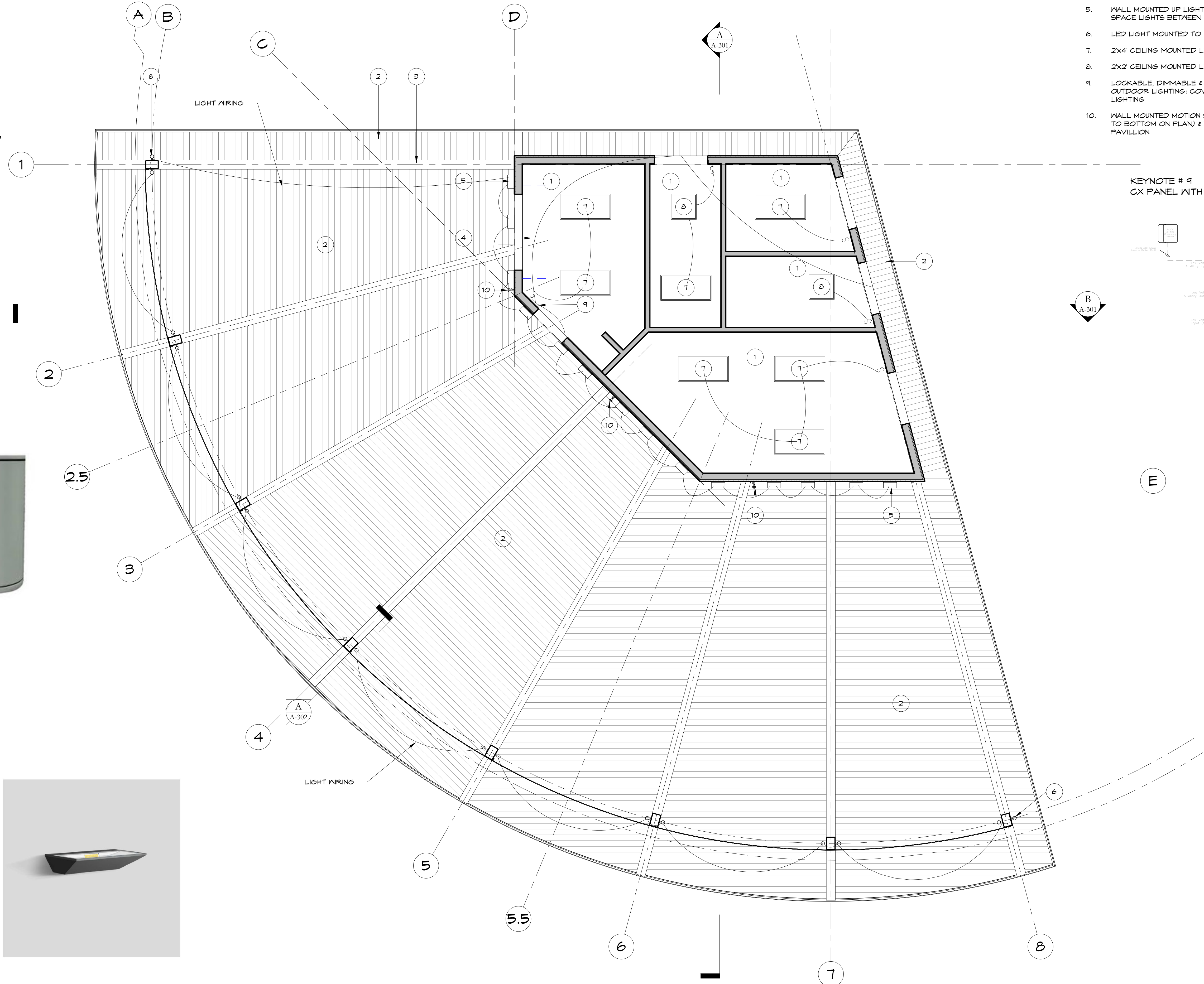
REFLECTED CEILING PLAN KEYNOTES

1. CEILING: 5/8" GYP. BRD. CLG. APPLIED DIRECTLY TO BOTTOM OF TRUSS.
2. TONGUE AND GROOVE PINE - CLEAR FINISH
3. GLULAM BEAM - CLEAR FINISH, SEE STRUCTURAL
4. ROLL UP DOOR
5. WALL MOUNTED UP LIGHTING LED, LOWEST LIGHT @ 9' HIGHEST LIGHT @ 12' SPACE LIGHTS BETWEEN EVENLY IN THE 36" SPACE
6. LED LIGHT MOUNTED TO STRUCTURAL COLUMN @ 8' ON BOTH SIDES
7. 2'x4' CEILING MOUNTED LED FIXTURE
8. 2'x2' CEILING MOUNTED LED FIXTURE
9. LOCKABLE, DIMMABLE & PROGRAMMABLE CONTROL PANEL FOR OUTDOOR LIGHTING: COVERED SPACE, SECURITY LIGHTS, AND SITE LIGHTING
10. WALL MOUNTED MOTION SENSOR, PLACED AT 11', 11'-6", & 12' (FROM TOP TO BOTTOM ON PLAN) & TILTED 100° FROM WALL TO COVER FULL PAVILLION

KEYNOTE # 9  
CX PANEL WITH SENSOR AND SWITCH OVERRIDE



LIGHTING CONTROL PANEL DETAIL



REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

1140 MAIN AVE, STE. B  
DURANGO, CO 81301  
(970) 259-7494  
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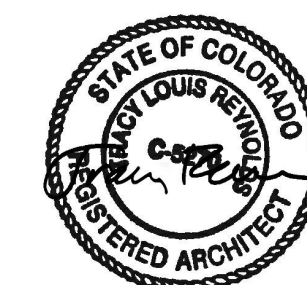
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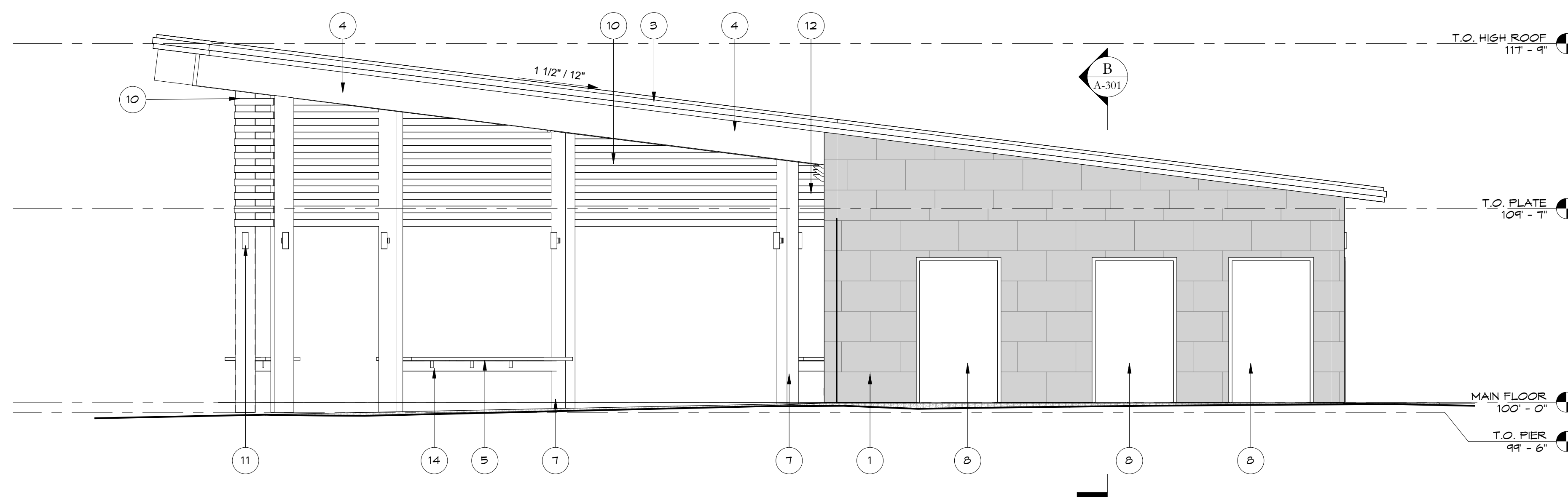
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A-201

EXTERIOR  
ELEVATIONS

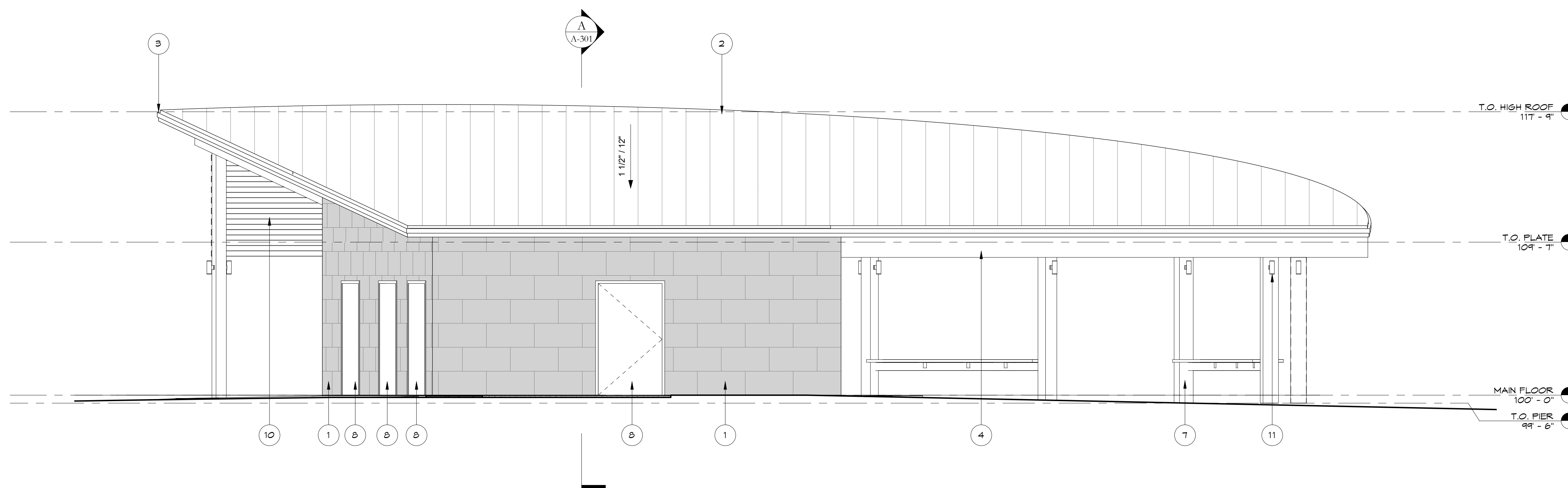
## ELEVATION KEYNOTES

1. METAL PANEL - 18" x 36" 18 GA. BLACK STEEL SHINGLE PANEL WITH CLEAR SEALER
2. CORRUGATED RUSTED METAL ROOF OR 2" STANDING SEAM METAL ROOF (ALTERNATE) COLOR - WEATHERED COPPER
3. COMPOSITE FASCIA WITH SHADONBOARD COLOR: WEATHERED COPPER
4. EXTERIOR GULNAM BEAM WITH CLEAR FINISH, SEE STRUCTURAL
5. 32" SOLID SURFACE COUNTERTOP, HONED FINISH
6. ROLL UP DOOR
7. HSS STEEL COLUMN WITH CLEAR SEALER, SEE STRUCTURAL
8. PAINTED METAL DOOR
9. TONGUE AND GROOVE PINE SOFFIT WITH CLEAR FINISH
10. BARE STEEL (RUSTED) SHADE STRUCTURE
11. LED LIGHT MOUNTED TO HSS COLUMN (FC LIGHTING, FCC600 SERIES)
12. OUTDOOR LED UPLIGHT (BEGA, 24 362)
13. LOCKABLE GFICI ELECTRICAL OUTLET, BLACK FINISH
14. COUNTERTOP SUPPORT, HSS BEAM WITH BLACKENED STEEL FINISH



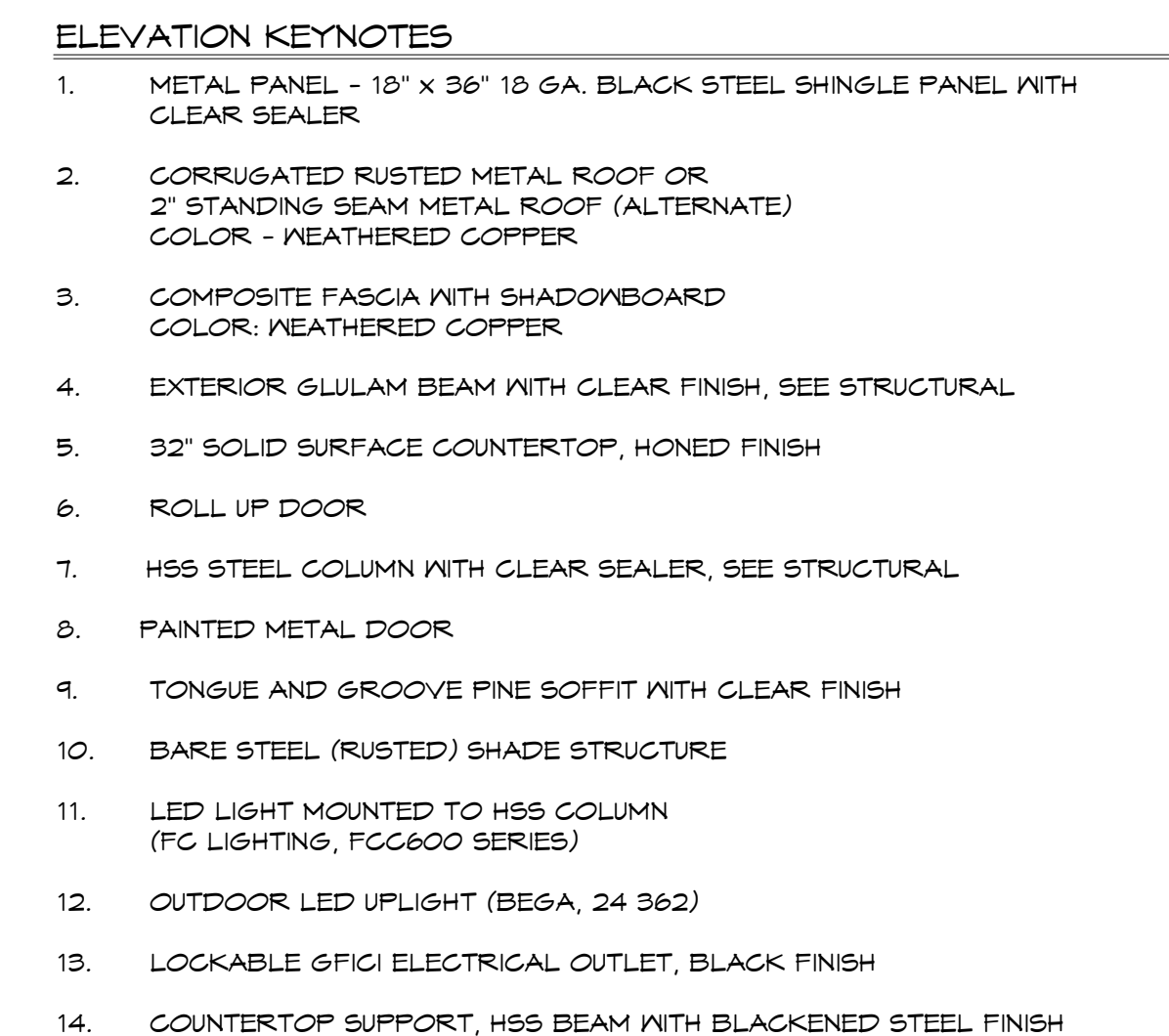
## EAST ELEVATION (A)

SCALE: 1/4" = 1'-0"



## NORTH ELEVATION (B)

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"





1. STEPMALL & CONCRETE FOOTING
2. NEW EXTERIOR WALL CONSTRUCTION: 2" x 6" STUD WALL R-19 BATT INSULATION, 2 LAYERS 5/8" OSB W/ 3/8" METAL SHINGLES EXTERIOR, 5/8" OSB INTERIOR
3. 4" CONCRETE SLAB ON GRADE
4. RUSTED CORRUGATED METAL ROOF OR 2" STANDING BEAM METAL ROOF (ALTERNATE) WITH TONGUE AND GROOVE PINE SOFFIT
5. TRUSSES 24" O.C., 5/8" DRYWALL CEILING, R-49 BATT INSULATION
6. EXTERIOR GLULAM BEAM, SEE STRUCTURAL
7. COMPOSITE FASCIA AND SHADOW BOARD
8. INTERIOR WALLS 2X4 FRAMING 16 O.C., R-49 BATT INSULATION 1/2 GYP. TEXTURED FINISH AND PAINT
9. HSS STEEL COLUMNS, SEE STRUCTURAL
10. HSS STEEL BEAM COUNTER TOP SUPPORT, SEE STRUCTURAL



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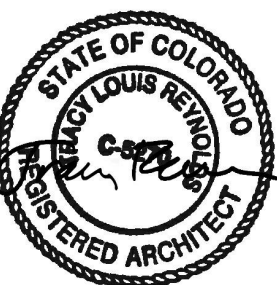
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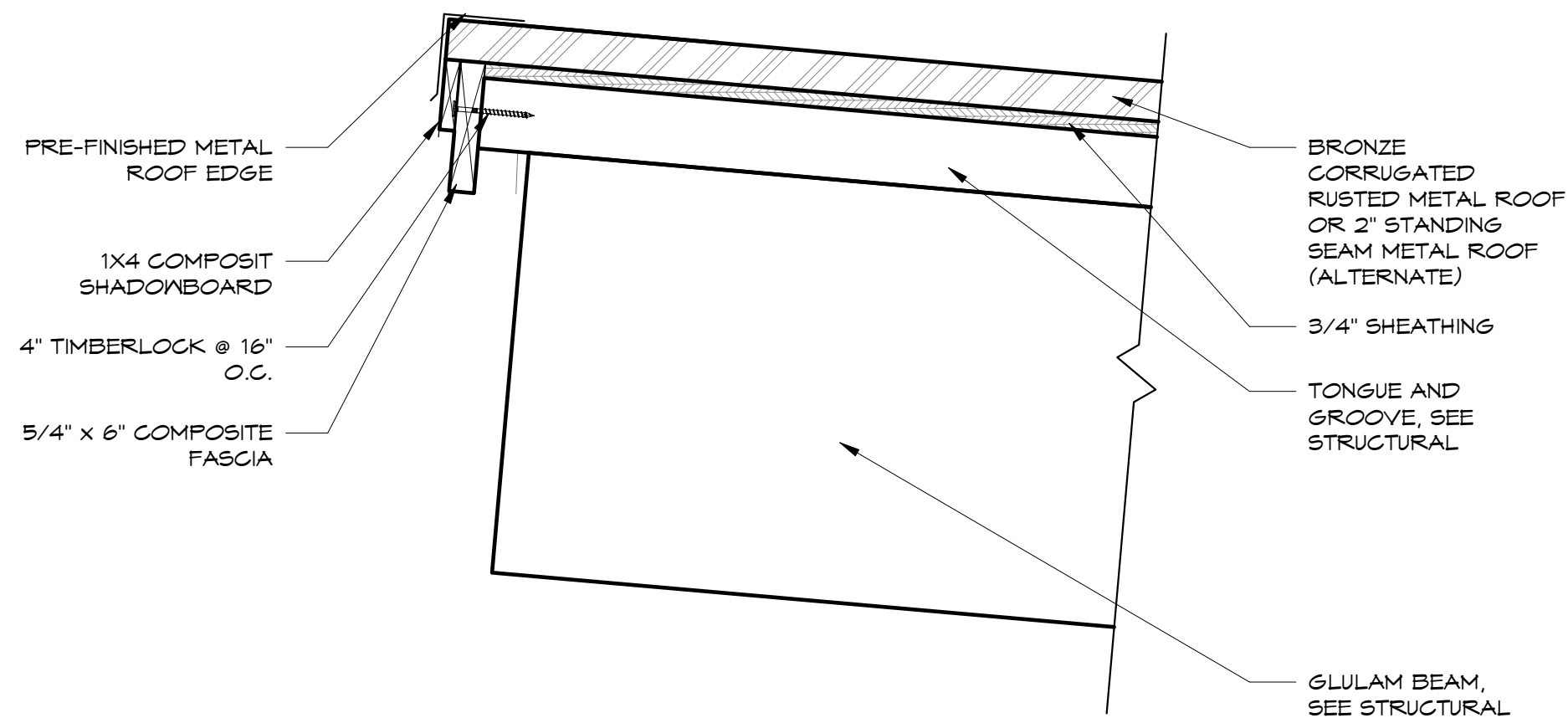
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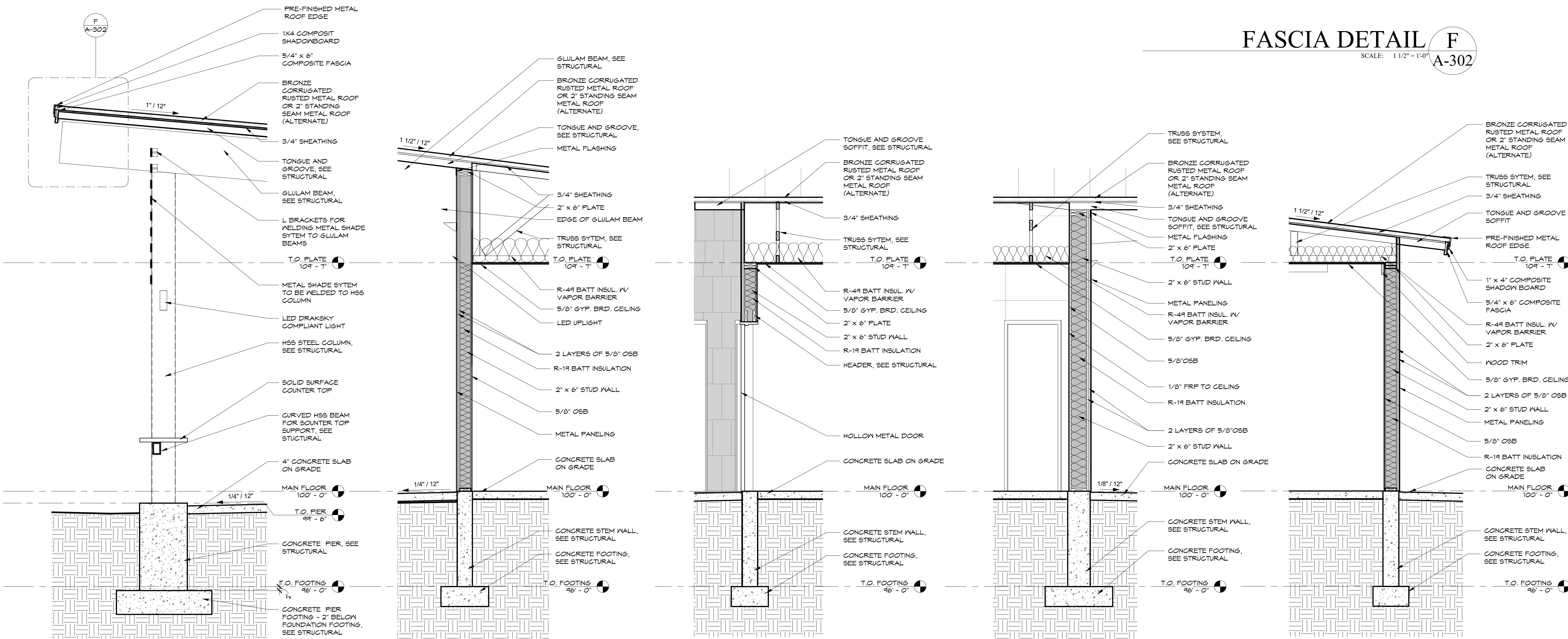
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## FASCIA DETAIL F

SCALE: 1 1/2" = 1'-0"

F  
A-302



## GLULAM COLUMN A

SCALE: 1/2" = 1'-0"

A-302

## BEARING WALL B

SCALE: 1/2" = 1'-0"

B  
A-302

## STUD WALL W/ DOOR C

SCALE: 1/2" = 1'-0"

C  
A-302

## CONCESSION WALL D

SCALE: 1/2" = 1'-0"

D  
A-302

## @ GRID LINE 1 E

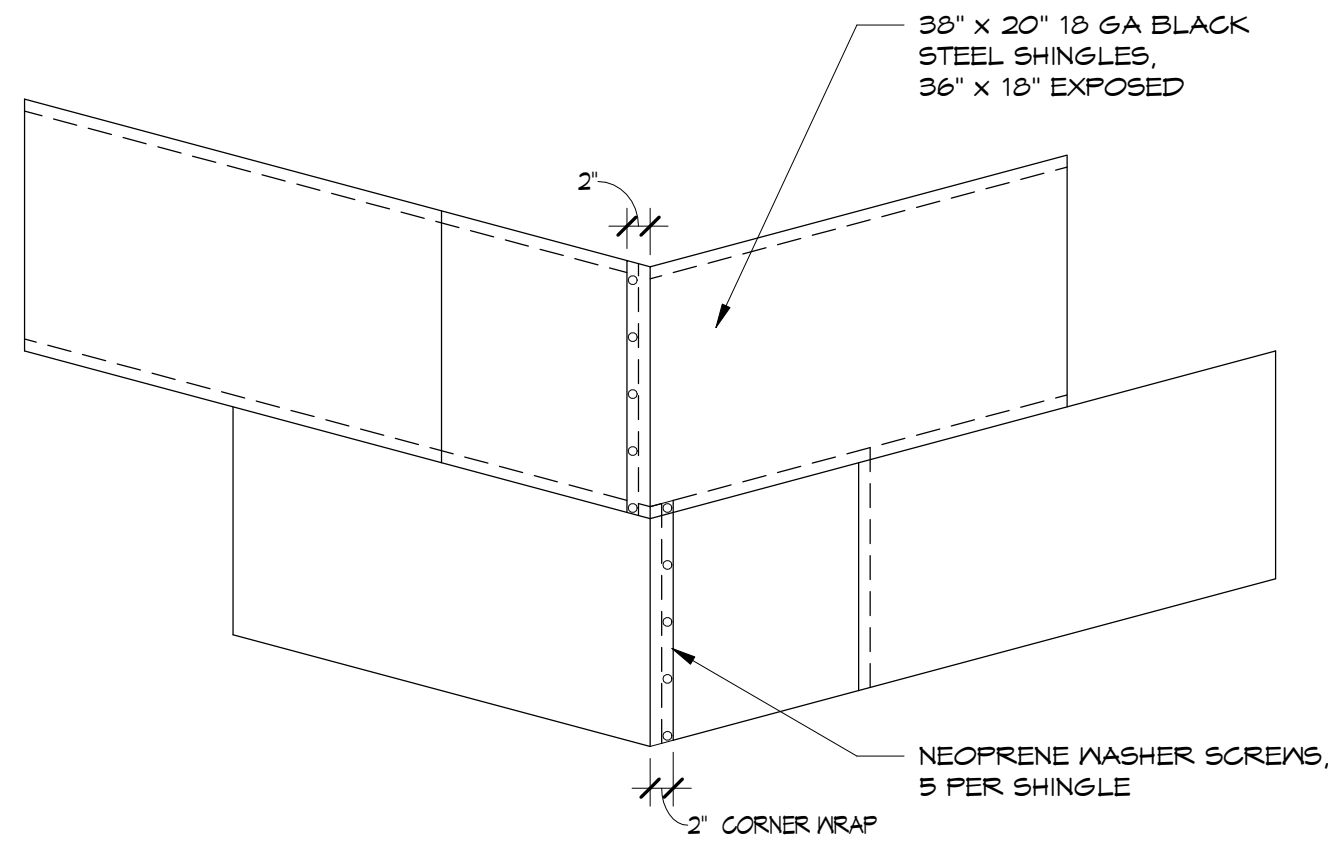
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E  
A-302

## A-302

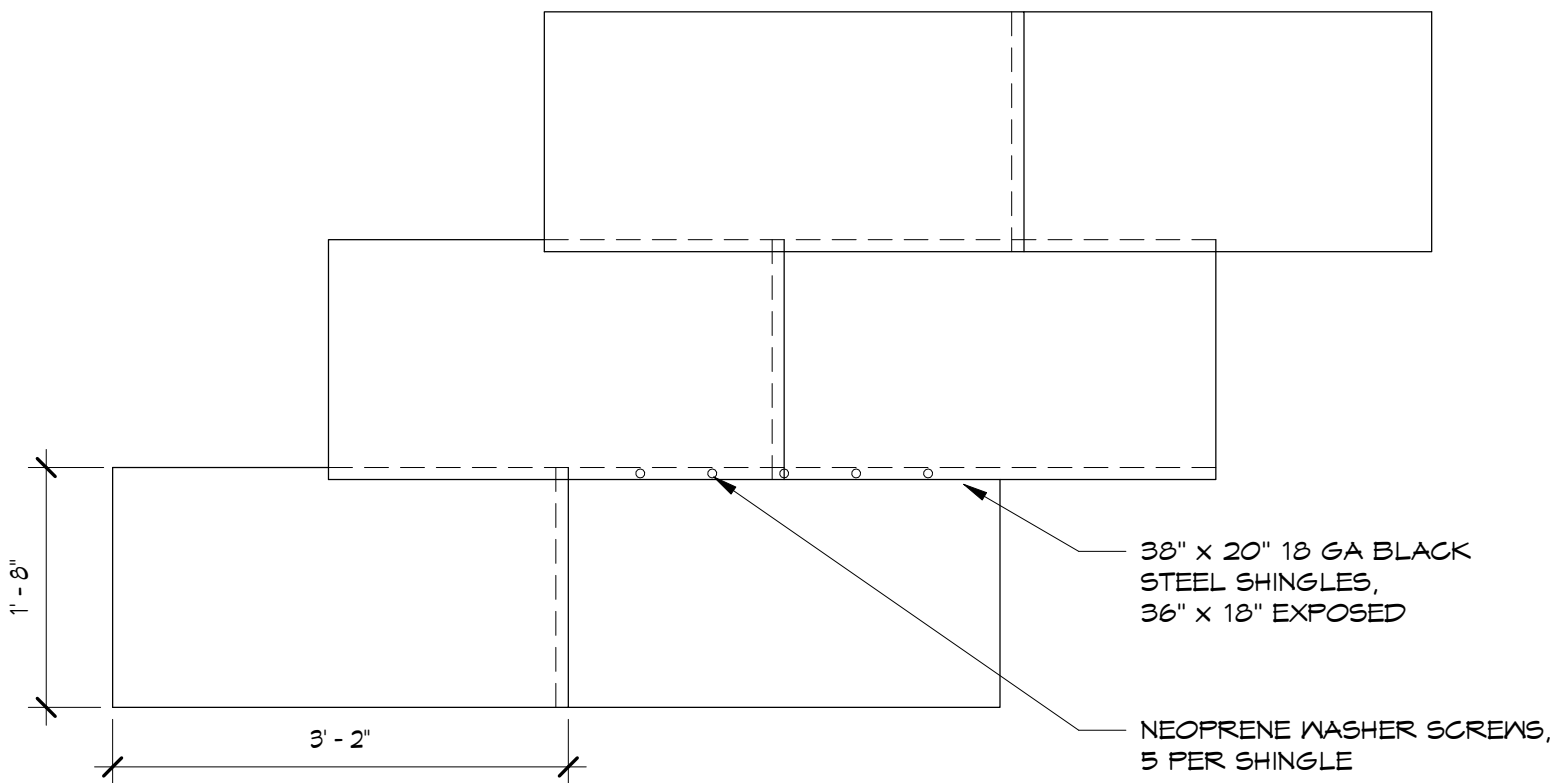
WALL SECTIONS





METAL SHINGLE DETAIL @ CORNER

A  
A-401



METAL SHINGLE DETAIL

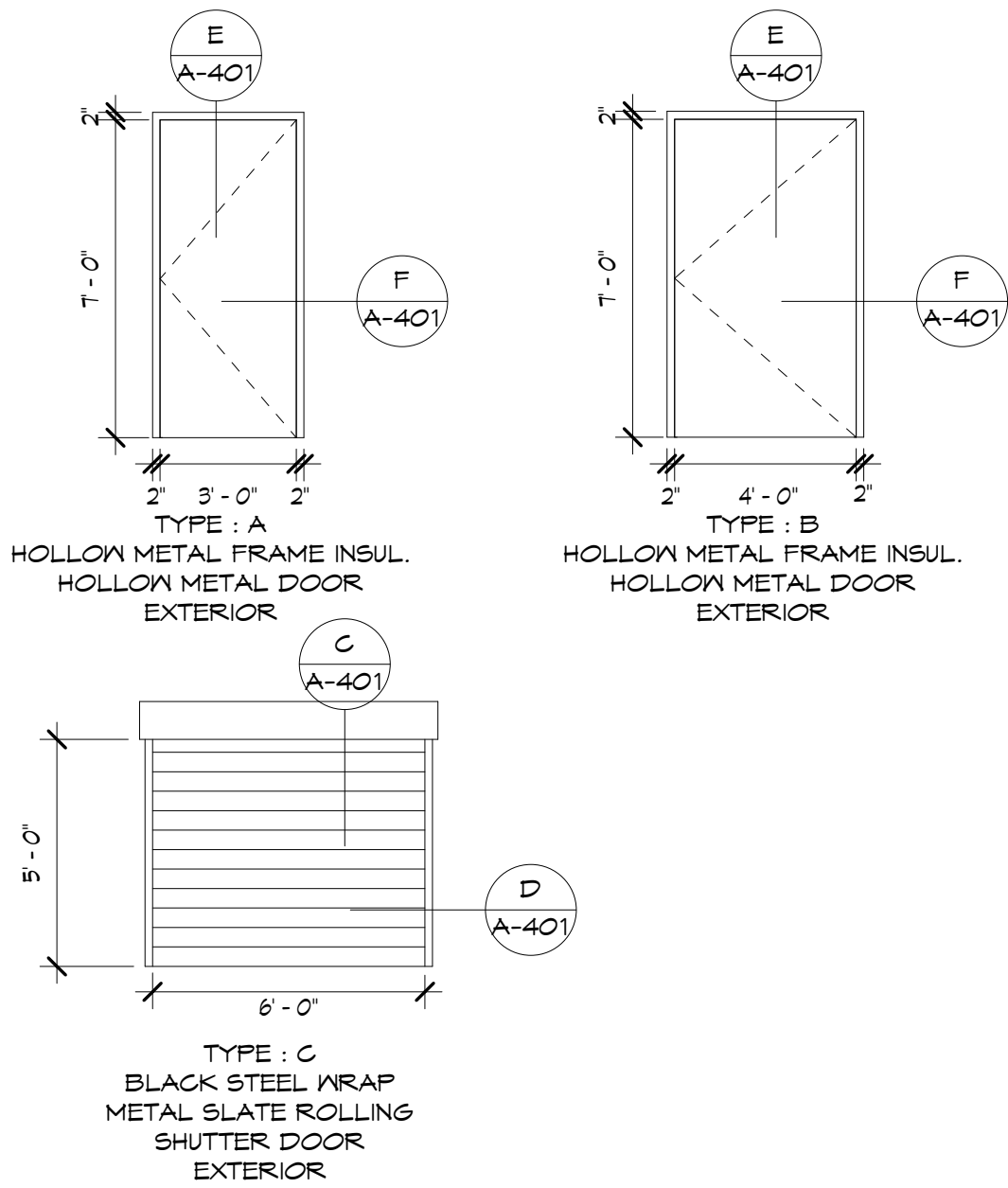
B  
A-401

ROOM FINISH SCHEDULE							
NO.	NAME	FLOOR FINISH	BASE TRIM	WALL COV.	CLG FINISH	COMMENTS	
101	CONCESSION	SEALED CONCRETE	FRP (WHITE)	FRP (WHITE)	PAINT(WHITE)	PAINTED WOOD TRIM @ WALL/CEILING(WHITE)	
102	STORAGE AREA 2	SEALED CONCRETE	RUBBER BASE (BLACK)	PAINT(WHITE)	PAINT(WHITE)	PAINTED WOOD TRIM @ WALL/CEILING(WHITE)	
103	STORAGE AREA 1	SEALED CONCRETE	RUBBER BASE (BLACK)	PAINT(WHITE)	PAINT(WHITE)	PAINTED WOOD TRIM @ WALL/CEILING(WHITE)	
104	STORAGE AREA 3	SEALED CONCRETE	RUBBER BASE (BLACK)	PAINT(WHITE)	PAINT(WHITE)	PAINTED WOOD TRIM @ WALL/CEILING(WHITE)	
105	STORAGE AREA 4	SEALED CONCRETE	RUBBER BASE (BLACK)	PAINT(WHITE)	PAINT(WHITE)	PAINTED WOOD TRIM @ WALL/CEILING(WHITE)	
107	COVERED SEATING	SEALED CONCRETE	RUBBER BASE (BLACK)	PAINT(WHITE)	PAINT(WHITE)	PAINTED WOOD TRIM @ WALL/CEILING(WHITE)	
108	UNCOVERED SEATING	SEALED CONCRETE	RUBBER BASE (BLACK)	PAINT(WHITE)	PAINT(WHITE)	BLACK METAL FLASHING TO COVE WD PLATE	

DOOR SCHEDULE								
MARK	WIDTH	HEIGHT	DOOR TYPE	DOOR FINISH	FRAME TYPE	FRAME FINISH	HARDWARE SET	REMARKS
101A	3' - 0"	7' - 0"	HOLLOW METAL	PAINT	METAL	PAINT	2	
101B	6' - 0"	5' - 0"	STAINLESS STEEL		METAL		1	
102	4' - 0"	7' - 0"	HOLLOW METAL	PAINT	METAL	PAINT	2	
103	4' - 0"	7' - 0"	HOLLOW METAL	PAINT	METAL	PAINT	2	
104	4' - 0"	7' - 0"	HOLLOW METAL	PAINT	METAL	PAINT	2	
105	4' - 0"	7' - 0"	HOLLOW METAL	PAINT	METAL	PAINT	2	

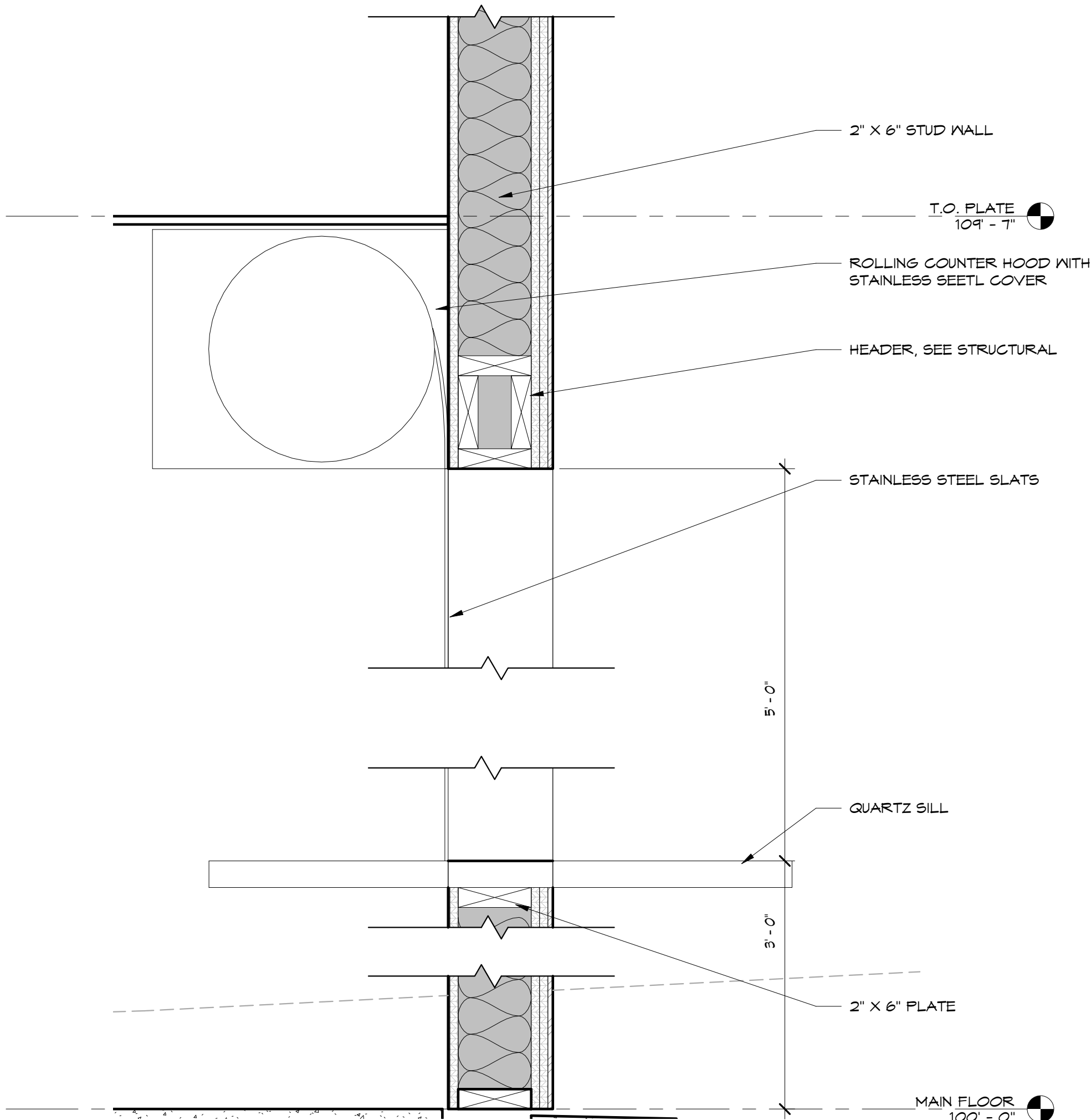
DOOR HARDWARE SCHEDULE

- ROLL UP DOOR:  
OPENER: MANUAL  
TRACK: ALUMINUM  
LOCK: PAD LOCK TO BE PROVIDED BY OWNER
- STORAGE:  
HINGES-FULL MORTISE  
DOOR STOP: FLOOR STOP  
LOCKSET: BATTERY KEYPAD ENTRY, EXIT ALWAYS OPEN



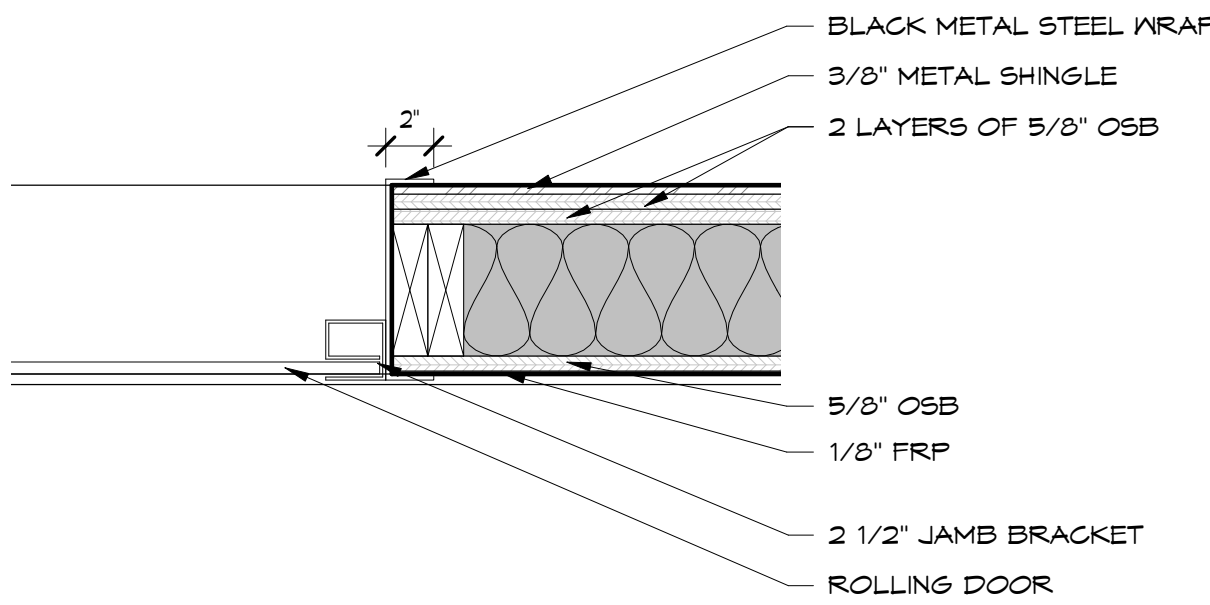
DOOR TYPES

SCALE: 1/4" = 1'-0"



ROLLING COUNTER SHUTTER

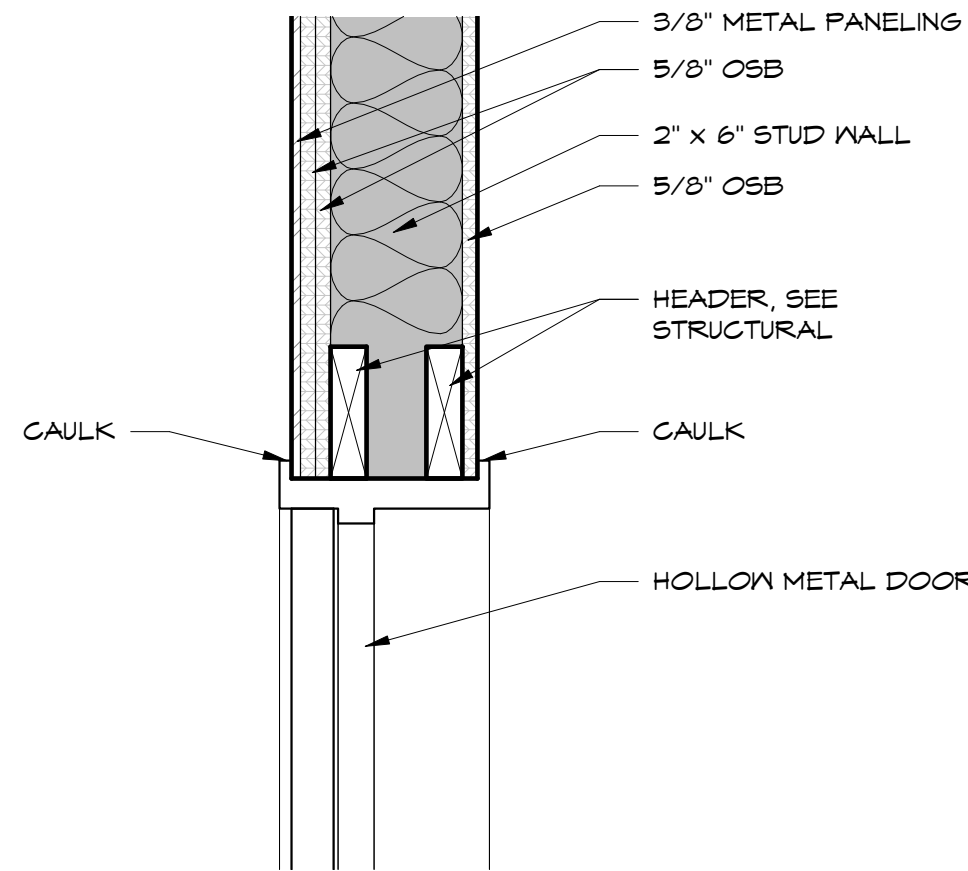
C  
A-401



ROLLING COUNTER SHUTTER JAMB

D  
A-401

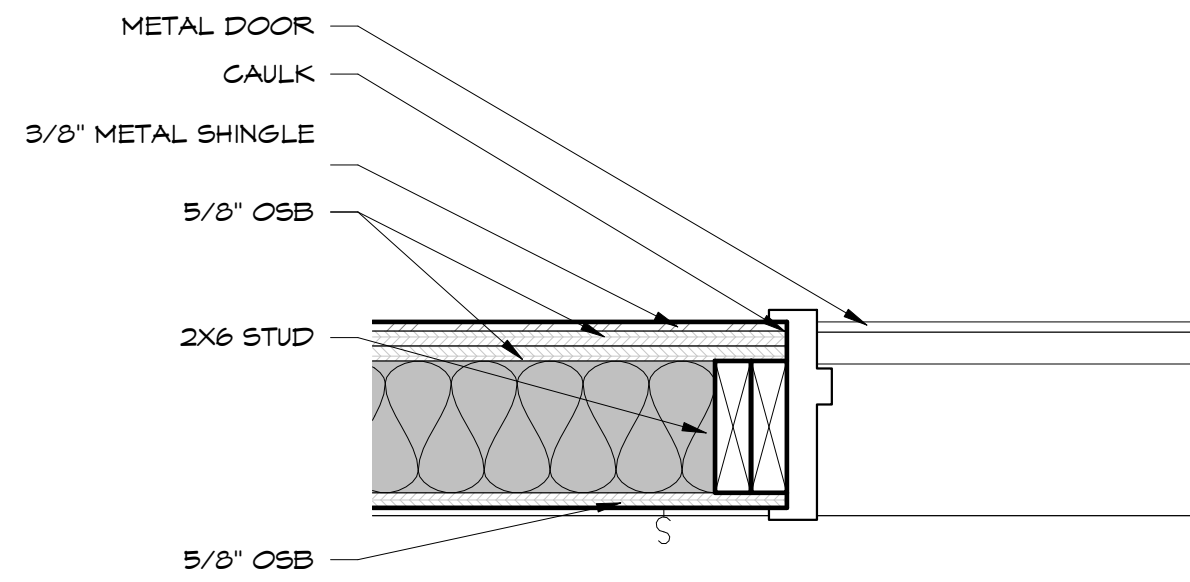
SCALE: 1 1/2" = 1'-0"



EXTERIOR DOOR HEADER

E  
A-401

SCALE: 1 1/2" = 1'-0"



EXTERIOR DOOR JAMB

F  
A-401

SCALE: 1 1/2" = 1'-0"



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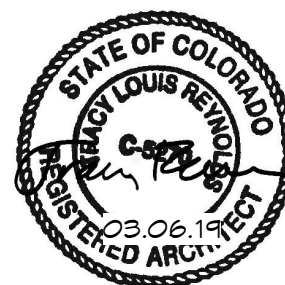
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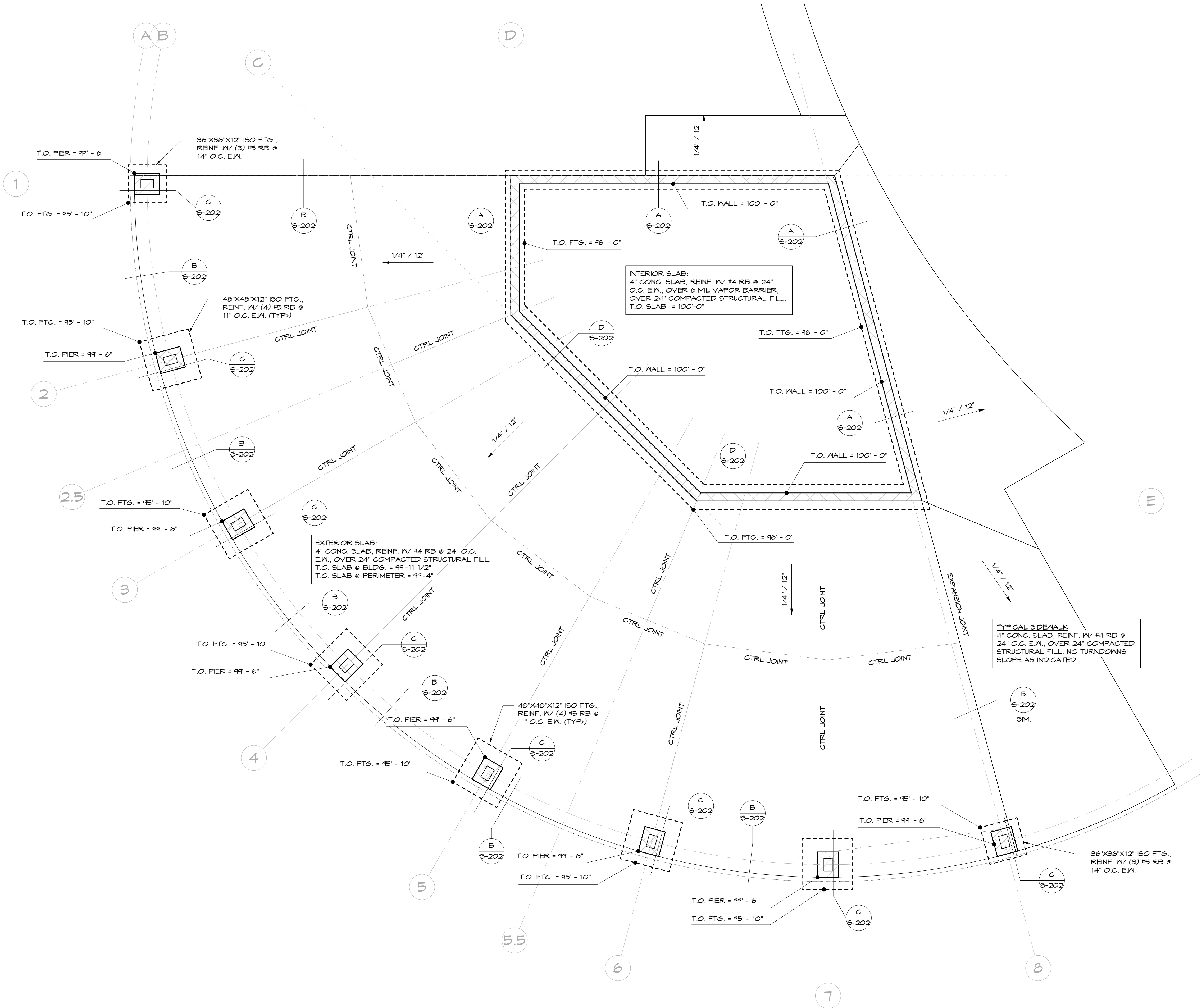
A-401

SCHEDULES









FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

GENERAL FOUNDATION PLAN NOTES:

- A. ALL FOOTINGS SHALL BEAR A MINIMUM OF 48" BELOW LOWEST ADJACENT GRADE.
- B. SEE GENERAL NOTES FOR CONCRETE REQUIREMENTS ON S-101.
- C. DESIGN IS BASED ON BEARING CAPACITY OF 1250 PSF PER GEOTECHNICAL REPORT NO. 2384 BY GEOTECHNICAL ENGINEERING GROUP, INC. NOTIFY ARCHITECT/ENGINEER IF GRAVELLY CLAY SOILS ARE NOT ENCOUNTERED.
- D. A/E TO INSPECT EXPOSED SUBGRADE PRIOR TO FORMING OF FOOTINGS.
- E. CONTRACTOR TO VERIFY THAT SUBGRADE IS EXCAVATED TO NATIVE MATERIAL AND NO EXPANSIVE OR LOW STRENGTH SOILS ARE ENCOUNTERED.
- F. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS AND FOUNDATION ELEVATIONS PRIOR TO START OF WORK AND SHALL NOTIFY A/E OF ANY DISCREPANCIES.
- G. CONTRACTOR TO INSTALL PASSIVE RADON SYSTEM UNDER INTERIOR SLAB W/ 6 MIL PLASTIC OVER GRAVEL. PROVIDE 3" OF 4" PERFORATED PIPE BELOW PLASTIC WITH 4" SOLID PIPE VENTED TO ROOF.



REYNOLDS ASH  
+ ASSOCIATES

ARCHITECTURE  
ENGINEERING

1140 MAIN AVE, STE. B  
DURANGO, CO 81301  
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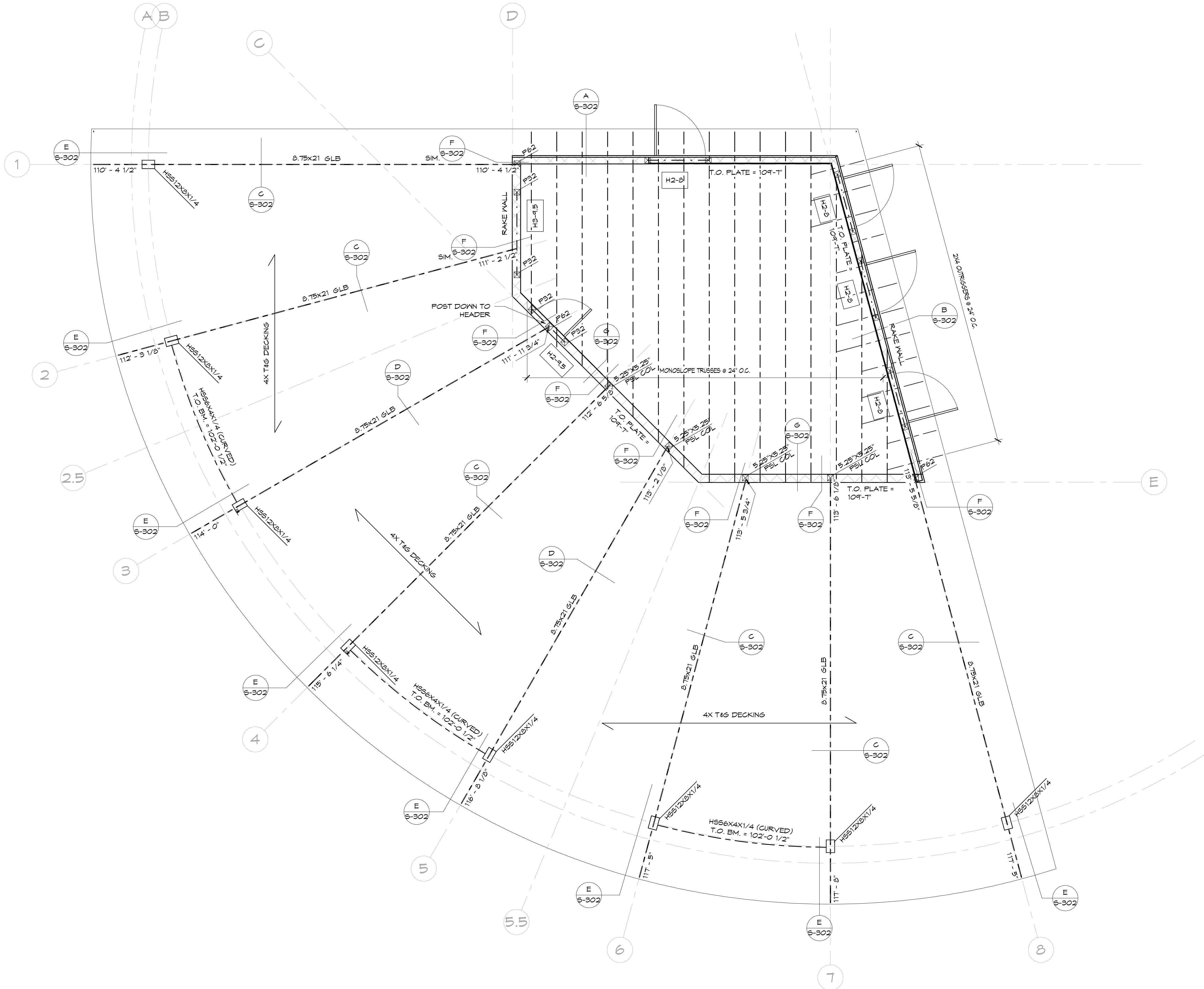
REVISIONS:

S-201

FOUNDATION  
PLAN

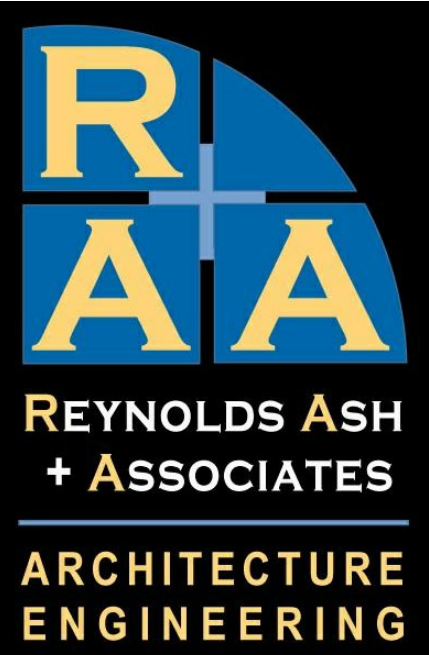






FRAMING PLAN  
SCALE: 1/4" = 1'-0"

- GENERAL FRAMING PLAN NOTES:
- A. ALL PRODUCTS NOTED MAY BE SUBSTITUTED WITH EQUAL PRODUCTS BY TRUS-JOIST, BOISE GASCATE, INTERNATIONAL PAPER, OR LOUISIANA PACIFIC, OR ROSEBURG.
- B. ALL STRUCTURAL COMPOSITE MEMBERS (LVL, PSL, GLULAM, ETC...) SHALL BE GRADED AS 24F-1.8E
- C. ALL GLULAM BEAMS ARE TO BE OUTDOOR-RATED AND ARCHITECTURAL APPEARANCE GRADE.
- D. ROOF TRUSSES AND CORRESPONDING HANGERS SHALL BE SIZED BY TRUSS MANUFACTURER. SEE GENERAL NOTES ON S-101.
- E. POSTS SHALL CARRY DOWN TO THE FOUNDATION.
- F. HEADER SCHEDULE: HA-B, WHERE:
- | HA-B | "A"               | "B"                   |
|------|-------------------|-----------------------|
|      | = NUMBER OF PLIES | = NOMINAL MEMBER SIZE |
|      | 8                 | = 2X8 D.F. #1         |
|      | 10                | = 2X10 D.F. #1        |
|      | 12                | = 2X12 D.F. #1        |
|      | 7.25              | = 1.75"X7.25" LVL     |
|      | 9.5               | = 1.75"X9.5" LVL      |
|      | 11.875            | = 1.75"X11.875" LVL   |
|      | 14                | = 1.75"X14" LVL       |
- G. POST SCHEDULE: PAB, WHERE:
- | PAB | "A"                                   | "B"                  |
|-----|---------------------------------------|----------------------|
|     | = NUMBER OF JACK OR CRIPPLE STUDS     | = NOMINAL KING STUDS |
|     | ALL POSTS NOT OTHERWISE NOTED ARE P22 |                      |
|     | P44                                   | = 4X4 TIMBER         |
|     | P66                                   | = 6X6 TIMBER         |
|     | P58                                   | = 8X8 TIMBER         |
|     | P1010                                 | = 10X10 TIMBER       |
- H. ALL HEADERS IN BEARING AND EXTERIOR WALLS NOT OTHERWISE NOTED ARE (2) 2X8S.
- I. WHERE BEAMS/HEADERS ARE NOTED AS "FLUSH", PLACE TOP OF BEAM FLUSH WITH TOP OF JOISTS, AND HANG JOISTS FROM BEAM WHERE APPLICABLE.
- J. FRAMING PLAN ELEVATIONS ARE TO TOP OF BEAM UNLESS OTHERWISE NOTED.
- K. SEE GENERAL NOTES ON S-101 FOR SHEATHING CONNECTION REQUIREMENTS.
- L. PRE-FAB TRUSSES TO BE POSITIONED SUCH THAT THEY AVOID THE BEARING POINTS OF THE GLULAM BEAMS.



1140 MAIN AVE, STE. B  
DURANGO, CO 81301  
(970) 259-7494  
FAX (970) 259-7492  
262 PAGOSA STREET, STE. 200  
P.O. BOX 96  
PAGOSA SPRINGS, CO 81447  
(970) 264-6884  
RA-AE.COM

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RIDGWAY ATHLETIC PAVILION  
594C SABETA DRIVE  
RIDGWAY, CO 81432

JOB. NO.: 19175  
DATE: 2020-02-10  
DRAWN BY: RAA

ISSUE RECORD:  
2020-02-10 PERMIT SET

REVISIONS:

S-301  
FRAMING PLAN





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594C SABETA DRIVE  
RIDGWAY, CO 81432

REVISIONS:

FRAMING DETAILS